



City of Bellevue

Post Office Box 90012 ▪ Bellevue, Washington ▪ 98009

February 21, 2025

Ms. Kandice Kwok
JYOM Architects
440 15th Street
San Diego, CA 92101
Kandice.kwok@jyomarchitects.com

RE: Pinnacle Bellevue North
Project #: 21-103195-LD; 21-103192-LP
Revision Request #10

SENT VIA EMAIL AND MYBUILDINGPERMIT.COM

Dear Ms. Kwok:

The Development Review Committee (DRC) has reviewed the plans submitted on September 14, 2023 for the Administrative Design Review, file number 21-103195-LD and Master Development Plan, file number 21-103192-LP. Below are additional comments and revision requests from the City's review team. **Please note that additional information may be requested as a result of our review of your resubmittal.**

Refer to the attached Marked Up Comment Response Letter to determine if you have satisfactorily responded to our Revision Request Letter. In your next resubmittal to the City, please ensure that you provide a response to every revision comment in one consolidated comment response letter.

Plan Preparation Standards: For best practice in preparing plans, we are sending these as a reminder that your plan sets meet our expectation would like to see the following level of thought and care in your submittal to aid us in understanding the information you provided for us to review:

1. All sheets must have titles in the title block that allows us to know what information is being conveyed by your drawings. Delete sheets that are redundant or do not provide additional information that we need to review for code compliance.
2. All drawings must be simplified to only provide the applicable information that needs to be reviewed. For example, your Landscape Plans should not show residential units at the same level as the plazas. We know there are no residential units on the plaza levels, and you provided information on the plans that are not only confusing but are inaccurate. This is a repeated comment because you continue to not address this on your plans.
3. All drawings must be oriented such that north is always on top of the page. Plans and elevation drawings of buildings should be oriented with the buildings shown upright on the page. We had difficulty reading and adding our comments on the sheets where you have turned your drawings at 90 degrees. There should be consistency throughout the plan set for orientation which is a standard architectural practice.
4. When showing compliance to dimensional requirements in your floor plans or elevation drawings, make sure to include the dimension lines and numerical information on all your drawings. For example, your Administrative Departure graphics for the build-to-line analysis is still missing the dimensions for the sidewalk and planter widths which we have asked for in the past. We do not approve plans that do not show the required dimensions on the plan drawings.
5. Update the dimensional tables to keep consistent with any changes to the FAR. Be sure to cross check these dimensional tables with the plan set to ensure consistency as we move toward project approval and note the plan sheet where we can find the dimensional information in the set.

6. If you are using different colors and types of line patterns on your plans, make sure a legend is provided on the page so we understand what the lines are meant to represent.
7. Remove unflattened viewports on all plans that need to be reviewed by the Fire Department.
8. When you are making changes to a plan sheet, please ensure that you are making the same changes to all applicable plan sheets. This is why we are continuing to see inconsistencies throughout this development plan set.
9. Do not change the sheet numbers when you add or subtract new sheets. We have started writing the staff report and referenced sheet numbers.

Department comments are as follows:

#21-103195-LD – DESIGN REVIEW

Land Use

Staff Contacts: Amy Tarce, (425) 452-2896, atarce@bellevuewa.gov

General

1. **Courtesy Notice:** Land Use staff has met with the Building Department reviewer regarding the status of the peer review of Building 1 and Building 2 of the Pinnacle North building permit applications. We are concerned about the construction phasing line for the Phase 1 area that shows phasing line running through the middle of the Through Block Connection. As you have chosen to construct this development in a single phase, and are working with Building to construction sequence the development, please be advised that if at any point construction is suspended, you will be required to apply for a Land Use Exemption to provide interim conditions to ensure that what has been constructed can stand on it's own for the FAR amenity incentive program, required plazas and through block pedestrian connections. This is because you have chosen to not phase the development through the MDP.
2. We have been continuously improving the graphic communication standards for Administrative Design Review plans since you first submitted your application in 2021. As we started drafting the staff report, we are finding that your plans may miss important information that are necessary to document how your project is meeting the requirements of the Land Use Code. As such, you will find additional comments in this review cycle that involves adding information on your plan sheets for clarification.
 - a. Project Name on plan sheets. Change project name to "Pinnacle North" on all Civil plan sheets to avoid confusion among our reviewers and the public. We have another project called "Bellevue North" and we have been using "Pinnacle North" as the name for this project. This is a clean up item.
 - b. To ensure the dimensional requirements analysis is clearly documented on the architectural plans, include code references to plan sheets, similar to what you did on Sheet A0.12, Tower Separation.
 - Add code references to sheets A0.21, Site Coverage;
 - On sheet A0.24, include the LUC street designation for 102nd Ave. NE and NE 10th Street per LUC 20.25A.170.B and reference LUC 20.25.070.C.1., Designation of an Active Use Departure criteria.
 - c. Sheet A0.22, Pedestrian Access & Through Block Connection & Bike Rack Location
 - i. Call out the existing bus stop on NE 10th Street across the street and add a pedestrian route line to and from the bus stop to the main entrances of your project. See mark ups on Sheet A0.22.
 - ii. Pedestrian path arrows are missing for Building 6. Show pedestrian paths from the street/s to the building lobby of Building 6. Per LUC 20.25A.160.B.2.b.iv, walkways should be placed to provide pedestrian access from the public

- sidewalk to the building entry without requiring pedestrians to walk in the driveway or come into conflict with vehicles.
- iii. Stairs should be highlighted in yellow and included in the Through Block Connection since this is the only way to connect the lower section to the upper-level section.
 - iv. Notes on Retail Entrances along 102nd Ave. NE are obscured by all the overlapping lines. Move them so they are legible.
3. Update the project narrative document as you continue to refine the project scope. **There are statistical items that need updating. We are still seeing inconsistent numbers in your Project Narrative and architectural plans** (see REPEAT COMMENTS under Dimensional Requirements).
 4. In your Project Narrative, include the evolution of your project from the initial proposal which included 7 buildings instead of 6, has one office building tower and 3 midrise residential buildings at heights no greater than 10 and 11 stories, and describe the IOC changes to the FAR, total residential unit count, residential and retail parking, building heights and required open space. Submit a comparative table of your dimensional requirements that shows how your proposed FAR, building heights, open space requirement, parking and other dimensional requirements changed from the initial submittal. For example, with the increased in building heights of Buildings 4, 5 and 6 from 10 stories to 14 stories, additional requirements such as Floor Plate reduction and Tower Separation now applies to the buildings. Explain also the dramatic reduction in your retail parking, from 306 spaces to 193.
 5. Submit an updated Title Report.

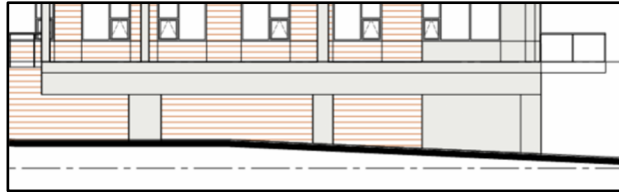
Dimensional Requirements

6. Weather Protection: Your departure request form shows 4 types of storefronts and demonstrates how in each location, you will have a canopy to deflect the exhaust fumes from the pedestrian areas. In looking at your proposed locations of canopies in the Departure Request for "A" Right-of-Way, Building 4 will not have weather protection. However, your elevation drawing for the east façade of Building 4 shows louver vents on top of the residential lobby doors. What is your proposed method for deflecting the odors and fumes from this exhaust vent? (image on left below is the elevation and image on right is the floor plan).



- A. On your departure request form for weather protection, instead of calling out the storefronts as type 1 to 4, show each of the elevation where there will be exhaust vents and clearly label the canopies and the elevation drawings.
 - B. On your departure response, you stated that the exhaust vents will be located between the marquee and a weather protection canopy. However, I don't see in your elevation drawings where that is the typical condition.
7. Weather protection diagrams do not match elevation drawings. On weather protection site plan for 102nd Avenue NE, the weather protection for the north façade of Building 2 is limited to the 2 building entries. On the North Elevation of Bldg.2, Sheet A4.12, you are showing a continuous canopy for the entire length of the ground floor of Building 2 that faces the Outdoor Plaza. This is another inconsistency that needs to be fixed.
8. Blank walls.

- a. What is the proposed treatment for the blank walls at the residential lobby of Building 3 on its west elevation? Blank wall treatment is required for any section of the wall that is visible from NE 10th Street.

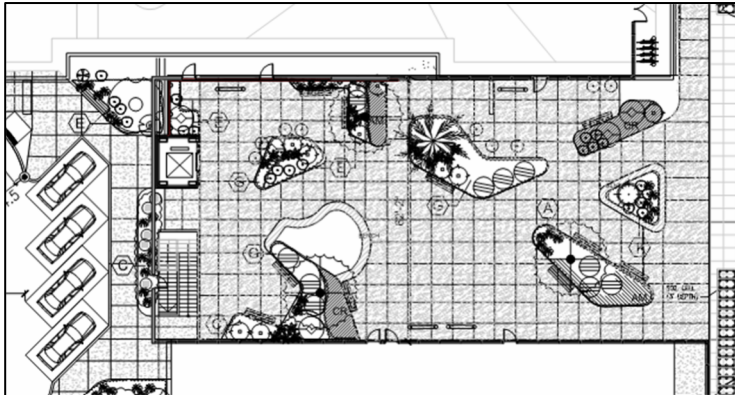


- b. Clarify whether the garage wall is visible along the north property line. If so, how will you mitigate the blank wall? See Sheet A4.21 for questions.

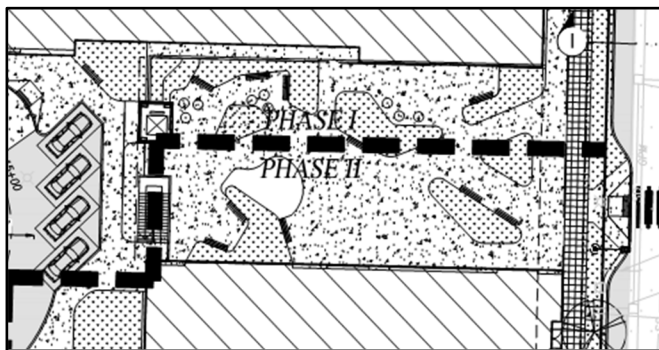


9. REPEAT COMMENTS. Inconsistencies in Dimensional Requirements. We are still finding conflicting or inconsistent dimensional numbers on numerous entries of your architectural plans, civil plans, and required Land Use documents. Here are the new items reflecting inconsistencies:
- Active Use Area: Sheet A0.24, Active Use, shows a total of **97,350 SF** and the Project Narrative and Amenity Plan and Chart indicate **96,220 SF**.
 - Outdoor Plaza total area shown on the Project Narrative does not match the rest of the architectural plans. On Architectural Sheets A0.21 and LA-100, the total Outdoor Plaza area is shown as 21,656 SF while the Project Narrative shows 32,656 SF.
 - Departure Request for "A" ROW Transparency and Weather Protection. On page 3, your response to criterion iv is referring to the "Build-to-Line" which we indicated in our previous review is not the correct answer. This departure request is not for the "build-to-line". Delete and replace with appropriate response. Please call Amy Tarce to set up time to meet so she can guide you on how to correctly respond to this Departure.
 - Why are your weather protection numbers showing you meet the required 75% but your description for departure request states you do not meet the 75% requirement on NE 10th? (See marked up Departure Request). This is another inconsistency.
 - Refer to the attached example of another project we approved for a similar Departure Request. The example is simpler than your site conditions in that it only needed a departure from one of the standards. Your Departure Request is for 4 "A" ROW standards that you are not meeting so you must describe how you are not meeting each of them and provide a rationale for each:
 - Active Use – you have residential lobbies where active use is required
 - Transparency
 - Weather Protection – clarify that you are not meeting the requirement to locate weather protection over the sidewalk and where the Outdoor Plaza breaks up the building street wall

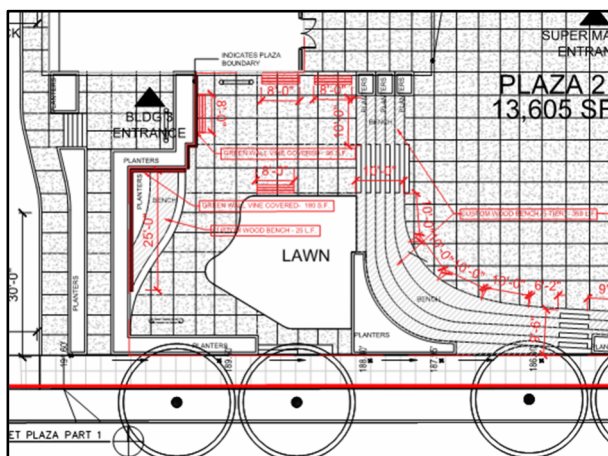
- d. **Civil Plans must be updated to reflect revisions to the architectural and landscape plans.** In addition to comment about the garage intake vent on the north property line not shown on the Civil Plans, we have found multiple inconsistencies in the information on the Clearing and Grading, Drainage and Site Plan A/B of the civil plan set. Below are examples of information on the civil plans that do not reflect the information in your landscape plan and architectural plans. It is your responsibility to do a quality check of all your plans and not just incrementally make changes to the plan sheets without consideration of other sheets that will be affected by the revision.



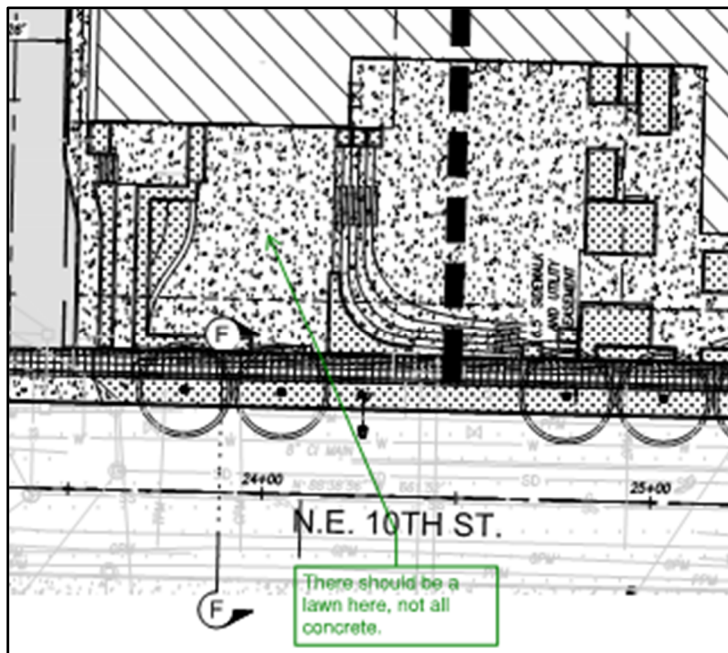
REVISED OUTDOOR PLAZA #1 IN LANDSCAPE AND ARCHITECTURAL PLAN



SITE PLAN B AND GRADING PLAN IN THE CIVIL PLANS WITH OLD INFORMATION



REVISED LANDSCAPE PLAN SHEET LA-201 - STREET PLAZA



SITE PLAN B AND DRAINAGE PLAN IN THE CIVIL PLANS WITH OLD INFORMATION

10. Courtesy Notice - Points of Interest. Your proposed etched glass or patterned glass as points of interest is acceptable; however, we are concerned with installing them on doors. Given the intended use of the active use spaces as a large single-tenant user (supermarket), it is unlikely that they will have multiple doors along the street. We will condition the approval of your Points of Interest to require that the Points of Interest must be retained or replaced with an equivalent if the storefront doors are removed due to tenant improvement project. (Review definition of DT-Points of Interest in the Land Use Code. Some examples of acceptable Points of Interest include permanent public artwork, architectural elements, landscape features, special walkway treatments, such as pavement mosaic and inlaid art, and seating areas. Points of Interest must be elements that are not easily removed or moved, and must be interesting and engaging to pedestrians.)

11. Affordable Housing (IOC)

- a. IOC Criteria 2 requires bedroom mix and exterior finishes to be comparable to market rate mix. Provide a breakdown of the Market Rate and Affordable Housing in this form:

Total No. of Market Rate Units: 1529 units

Overall unit mix

- o Studio: X no. of units (Percentage)
- o One-Bedroom: X no. of units (Percentage)
- o Two-Bedroom: X no. of units (Percentage)

Affordable Housing Units proposed: 84 units

Proposed affordable unit mix

- o Studio: X no. of units (Percentage)
- o One-Bedroom: X no. of units (Percentage)
- o Two-Bedroom: X no. of units (Percentage)

- b. **Courtesy Notice:** A recorded covenant agreement for the affordable housing units is required prior to first Building Permit issuance of a building in the DT-R B-1 Perimeter Overlay because you chose to submit a one-phased MDP. The covenant agreement document must be approved by the City Attorney's Office and requires additional review with ARCH. Our City Attorney's Office is currently updating the template for the covenant agreement and will be provided to you once a final version is available. We strongly encourage you to start the process for ARCH review of your affordable housing units as

soon as possible. Contact Terrell Edwards, Housing Policy and Program Planner, ARCH, at tedwards@bellevuewa.gov, (425) 553-1257.

Departure Requests

12. The following Departure Requests have been approved:

- Build-to-Line
- Compact Parking
- Exhaust Vent Heights

13. “A” Right of Way, Active Uses and Weather Protection: Additional revision is required on your response. See comments above under REPEAT COMMENTS. Your response must address 4 standards that are not met:

- a. Active Use
- b. Transparency
- c. Weather Protection

14. Tower Separation for Buildings 4, 5 and 6 above 80 feet: Your Separation Diagram, Sheet A0.12 shows separation between Buildings 4 and 5 to be 40 feet and 41.5 feet between Buildings 5 and 6. The required separation above 80 feet is 60 feet. Revise your floor plans and building elevations to meet the tower separation requirement. If this is not feasible, submit an Administrative Departure Request per LUC 20.25A.075.B.3. and staff will consider your request.

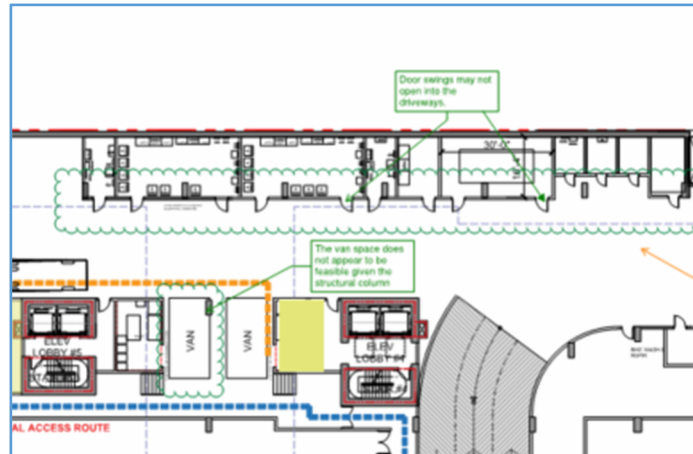
Parking and Loading Areas

15. Bike parking. The proposed number of bike parking, as shown on the Amenity Plan and Chart are acceptable. However, there is missing or inconsistent information regarding the following:

- a. On Sheet A0.22, you referenced a sheet LA-601 which was not provided. Show that the 5-bike racks will fit in the Outdoor Plaza locations shown.
- b. On Sheet A0.22, you indicated there are 4 covered bike parking for commercial use and they are included in the covered parking for residential bikes (Sheet A1.11). There are only 82 bike parking spaces in the covered parking area as shown on Sheet A1.11 and these are all designated for residential bike parking.
- c. Given the size of your development, bike storage should be distributed among the 6 residential buildings and not concentrated in one location. Covered bike storage should be accessible from all residential tower lobbies and the employees of the tenant spaces. The bike storage area appears to be only accessible from the Outdoor Plaza on 102nd Ave. NE. Explain how the residents and employees will safely access the covered bike storage area from each of the 6 building lobbies.

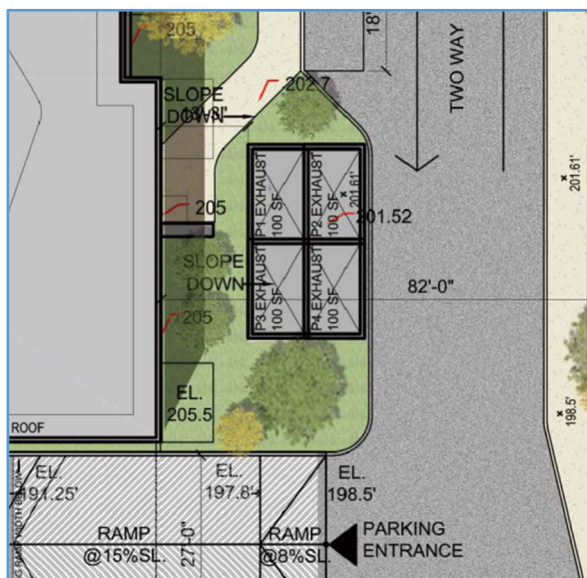
16. Moving van access and parking and potential conflicts with residential vehicles and Republic Services trucks. See Transportation review comments in TIA related to short term parking (Uber, delivery vans, USPS delivery and visitor loading) and operational plan for ensuring internal circulation in the garage loading areas will not result in spillover to the public right-of-way.

- a. Label all moving van parking spaces. It appears you only have one move-in/move-out van parking for the entire development and it is accessible only to Buildings 5 and 6?
 - Show dimensions of parking spaces like you did for the SU-30, WB-40 and WB-67 trucks.
 - Show turning movements for the moving vans.
- b. Republic Services review and approval of your revised loading areas is required. We will set up a meeting between your project team and Republic Services in the next few weeks. Make sure to check your email inbox for our request for your availability.



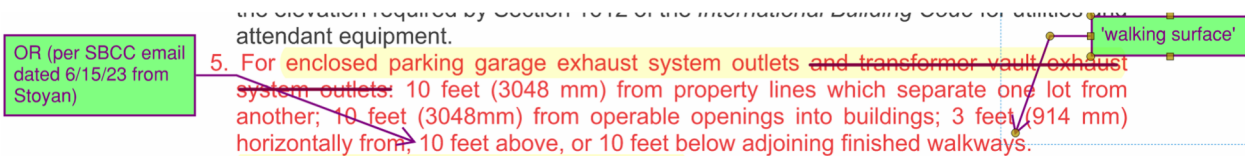
Mechanical Equipment Screening

17. Garage exhaust and intake vents must be shown on all Civil Plan drawings. Site Plan B, Grading Plan, Drainage Plan only showed the exhaust vents near Building 6 and did not show the ones proposed at the north property line.
18. Provide a detailed section of the roof of each building showing the height of the tallest mechanical equipment and the height of the proposed screening.
19. On the elevation drawings, you identified two materials for the rooftop mechanical equipment screening. Explain why you are using EIFS. With the heat produced by the mechanical equipment, is EIFS the appropriate material?
20. Provide details of the Garage Exhausts shown on sheet A1.13. Are these flushed to the ground? How does it work with the sloping site and what is the proposed screening? The same comment applies to the garage intake vents on the north property line since your site slopes from west down to east, towards 102nd



21. We requested our Mechanical Plans reviewer for a courtesy review of the proposed locations of your garage vents. Location of garage exhaust and intake vents do not appear to meet Mechanical Code 2021 IMC 51.3.1, item #5. Make sure to coordinate all applicable codes when

designing your mechanical equipment, especially if they will impact the site plan. If we approve a site plan and in subsequent construction permit reviews, we discover that the location of the mechanical vents are not compliant to other city codes, you will be required to submit a Land Use Exemption to revise your site plan. To avoid delays in your mechanical permit approval, show the garage exhaust and intake vents with the required distances prescribed in 2021 IMC 51.3.1, item #5.



Exterior Lighting Concept

22. On Sheet A7.04, describe in a narrative on this sheet, how you will ensure no glare will be produced with the proposed location of your building exterior lighting. Your graphics are fine but must reflect the conversation we had on community concerns about glare at night and how you do not propose to install exterior lighting above the ground floor. Add reference to Sheet LA-501 Lighting Plan.

Landscape Development Requirements and Landscape Plans

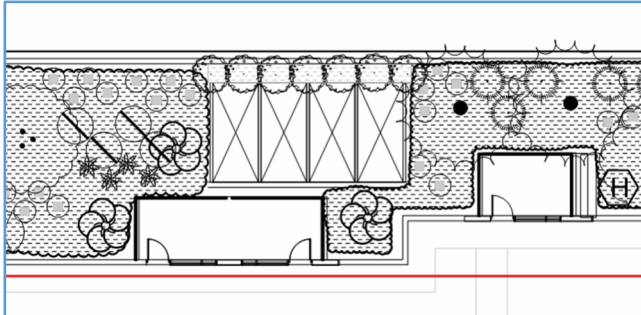
23. Provide bookmarks on Landscape Sheets and clean up drafting. Why are there unrelated lines on your sheets? See sheets LA-101, LA-302, LA-303, LA-401 for typical drafting issues.
24. Green and Sustainability Factor: Call out the bioretention facilities on the landscape plans of Sheet LA-404. Show volume or SF for each planter or landscape subzone.
25. Type III Landscaping. Revise sheets LA-C000 and A0.12 to include a 5-foot-wide Type III Landscape along the north property line (We previously commented on this but had the wrong width of 20 feet). On Sheet LA-401, demonstrate how you meet the planting requirement for a Type III Landscape Buffer along the north property line. A minimum width of 5 feet is required. See LUC 20.20.520.G.3:
- Evergreen and deciduous trees, with no more than 50 percent being deciduous, a minimum of six feet in height, and planted at intervals no greater than 30 feet on center; and
 - If planted to buffer a building elevation, shrubs, a minimum of three and one-half feet in height, and living ground cover planted so that the ground will be covered within three years

Provide a planting plan to show the number and type of trees within the Landscape Buffer and include the maximum distance between each tree. Provide a table showing the type of trees, size at planting and add a note indicating the groundcover type and size at planting are spaced to provide 100% coverage within 3 years. Since this area will be in the shade for most of the year, ensure that the plants you propose are suitable for the shaded conditions.

The garage exhaust should not be in the 5-foot landscape buffer.

Since there are two standards that you must meet for your landscape plans (Green and Sustainability Factor and the Type III Landscape buffer), you may use the same plants and trees to meet both standards. In looking at the current density and type of trees proposed for the north perimeter of the site, it does not appear that you meet the Type III Landscaping. You have garage exhaust vents and outdoor patios encroaching into the 5-foot landscape buffer. Consider reorienting the garage exhausts so that they are stacked horizontally instead of vertically and a clearance of 5 feet from the property line is maintained for the Type III Landscaping. In consideration of the shaded area of the northern perimeter of the site, and the proposed patios

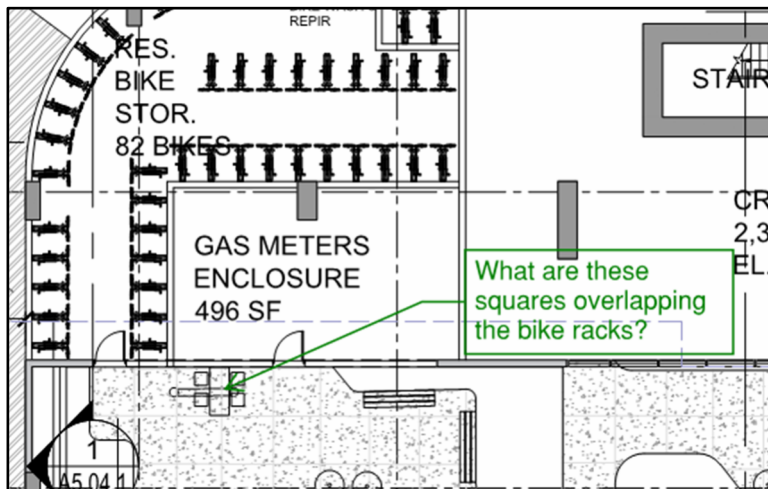
encroaching within the 5-foot landscape buffer area, an Alternative Landscaping Option (ALO) may be approved if a better combination of trees and plants meet the criteria in LUC 20.20.520.J.2. We have approved ALOs for downtown projects that proposed averaging the Type III landscape buffer width. If you choose to submit an ALO, you must answer all the criteria and provide adequate graphics or details of plan to justify your modification of the landscape standards.



Public Plaza and Through Block Connection

26. On Architectural Plan Sheet A0.22, include the stairs in the Through Block Connection. The public access easement to be required for the TBC will need to include both the stairs and the elevator to ensure accessibility. Confirm the width of the Through Block Connection throughout the development. The minimum width shall be 6 feet where site constraints exist, such as in front of Building 4, and 10 feet where possible.

27. Clarify drafting details on Sheets A1.11



28. Show Through Block Connection and Outdoor Plaza easements on the civil plans Sheet C1.4.

Parks Department

29. Transportation is considering whether they will allow the irrigation controller being placed in the ROW planter strip, or if it needs to be move to back edge of sidewalk.

30. Consider consolidation of soil cell drip zones from 4 to 2, one on NE 10th and another on 102nd.

31. LA-102- Soil volume calculations are not showing for all areas. Submit updated soil volume worksheets for all landscape areas in the right-of-way.

- 32.** Cornus 'Kelseyii' should not to be spaced closer than 3'. These shrubs are being shown too close together and too close to sidewalk and roadway and will cause encroachment issues. Spacing needs also to be adjusted on the plant schedule so that we can ensure they will not be installed too close to curb or side.

Transportation Department

Staff Contact: *Randa Kiriakos, (425)-452-2569, rkiriakos@bellevuewa.gov*

Refer to Land Use Comment Cover sheet for revision mark-ups and see attached Transportation Review Comments. A Word file copy will be sent to you via email to enable you to edit and respond to Transportation Review comments.

Fire Department

Staff Contact: *Shelley Jin, (425)-452-5251, sjin@bellevuewa.gov*

Refer to Land Use Comment Cover sheet for revision mark-ups and attached comment document.

Utilities Department

Staff Contact: *Samuel Stolmeier, (425) 452-7832, sstolmeier@bellevuewa.gov*

Utilities Department has no additional review comments and is ready for approval.

Building Department

Staff Contact: *Robert Snyder (425) 452-4475, rsnyder@bellevuewa.gov*

Building Department has no additional review comments and is ready for approval.

#21-103192-LP – MASTER DEVELOPMENT PLAN

Land Use

Staff Contact: *Amy Tarce, (425) 452-2896, atarce@bellevuewa.gov*

The Design Review comments above are applicable to both the Design Review (LD) and the MDP (LP), except for the following:

- Parking and Loading Area
- Mechanical Equipment Screening
- Exterior Lighting

Transportation Department

Staff Contact: *Randa Kiriakos, (425)-452-2569, rkiriakos@bellevuewa.gov*

Refer to Land Use Comment Cover sheet for revision mark-ups and see attached Transportation Review Comments. A Word file copy will be sent to you via email to enable you to edit and respond to Transportation Review comments.

Fire Department

Staff Contact: *Shelley Jin, (425)-452-5251, sjin@bellevuewa.gov*

Refer to Land Use Comment Cover sheet for revision mark-ups and attached comment document.

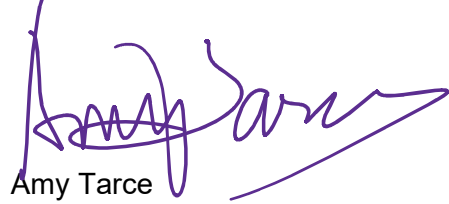
Next Steps:

Please submit a consolidated revision submittal regarding the above information requested within 30 days **(March 24, 2025)** and upload to both the LD and LP permits through www.mybuildingpermit.com. Please submit the complete set of plans (not just the sheets which changed) and any supporting documentation requested. You will also need to submit a copy of this letter along with your revision, and a narrative describing how each item was addressed, and indicate where in the plan set the change occurred. A word version of this letter can be provided upon request for ease in responding to each item.

Please ensure that when you resubmit to the city that you upload everything on the same day, for both the MDP and LD permits. Items cannot be uploaded over multiple days.

Please do not hesitate to contact me, or any of the department reviewers if you have any questions.

Sincerely,



Amy Tarce
Senior Planner

Attachments:

1. Land Use Comment Coversheet for MDP
2. Land Use Comment Coversheet for Design Review
3. Transportation Review Comments
4. Fire Review Comments
- Marked Up Plans and Documents, including:**
5. Comment Response Letter
6. Project Narrative PRE-10
7. Administrative Departures PRE-10
8. Dimensional Table (Land Use)
9. DJF-TIA comments-Rev 10.pdf (This includes the TIA comments and Design justification form they need to complete)
10. Architectural Plan PRE-10
11. Civil Plan PRE-10
12. Preliminary Landscape Plan PRE-10
13. Example Departure Request "A" Right-of-Way

Cc: Laurie Tyler, Urban Design Planning Manager
Review Team