



DEVELOPMENT SERVICES DEPARTMENT  
ENVIRONMENTAL COORDINATOR  
450 110<sup>th</sup> Ave NE., P.O. BOX 90012  
BELLEVUE, WA 98009-9012

### **OPTIONAL DETERMINATION OF NON-SIGNIFICANCE (DNS) NOTICE MATERIALS**

The attached materials are being sent to you pursuant to the requirements for the Optional DNS Process (WAC 197-11-355). A DNS on the attached proposal is likely. This may be the only opportunity to comment on environmental impacts of the proposal. Mitigation measures from standard codes will apply. Project review may require mitigation regardless of whether an EIS is prepared. A copy of the subsequent threshold determination for this proposal may be obtained upon request.

File No. 24-122583-LD  
Project Name/Address: Pinnacle South Design Review  
Planner: Angus Bevan  
Amy Tarce  
Phone Number: (425)-229-6607  
(425)-452-2896 -

**Minimum Comment Period: November 14, 2024, 5PM**

Materials included in this Notice:

- Blue Bulletin
- Checklist
- Vicinity Map
- Plans
- Other:



# SEPA Environmental Checklist

## *Project Proposals*

The City of Bellevue uses this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

### Instructions

The checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully and to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions.

You may respond with "Not Applicable" or "Does Not Apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies and reports. Please make complete and accurate answers to these questions to the best of your ability in order to avoid delays. For assistance, see [SEPA Checklist Guidance](#) on the Washington State Department of Ecology website.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The city may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

### Background

1. Name of proposed project, if applicable \_\_\_\_\_
2. Name of applicant \_\_\_\_\_
3. Contact person \_\_\_\_\_ Phone \_\_\_\_\_
4. Contact person address \_\_\_\_\_
5. Date this checklist was prepared \_\_\_\_\_ Update #4, 9/25/2023
6. Agency requesting the checklist \_\_\_\_\_

7. Proposed timing or schedule (including phasing, if applicable)

Subject to change.

8. Do you have any plans for future additions, expansion or further activity related to or connected with this proposal? If yes, explain.

9. List any environmental information you know about that has been prepared or will be prepared, that is directly related to this proposal.

Studies can be requested through [DSRecords@bellevuewa.gov](mailto:DSRecords@bellevuewa.gov)

10. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain.

Pinnacle South Master Development Plan (21-104954-LP)

11. List any government approvals or permits that will be needed for your proposal, if known.

Correction - A.10 - Appendix A  
Appendix to the Environmental Checklist is extremely long. To view the appendix in its entirety, contact [DSRecords@bellevuewa.gov](mailto:DSRecords@bellevuewa.gov).

12. Give a brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) **Correction - A.11 - Appendix A**

**Appendix to the Environmental Checklist is extremely long. To view the appendix in its entirety, contact DSRecords@bellevuewa.gov.**  
**Approximately, 88,267 square feet of Retail Use, 2,114 Residential Units, and 2,223 Parking Stalls contained at ground floor and within three below grade parking levels.**

13. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and the section, township and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

**KC Parcel #: 570900-0240**  
**Project site relates to 10116 NE 8th Street parcel only. Bound by NE 10th St to the north, 102nd Ave NE to east, NE 8th Street to south, and unnamed right of way to west. Project site does not include land immediately west at 912 100th Ave NE.**

## Environmental Elements

### Earth

1. General description of the site:
  - Flat
  - Rolling
  - Hilly
  - Steep Slopes
  - Mountainous
  - Other \_\_\_\_\_
2. What is the steepest slope on the site (approximate percent slope)? \_\_\_\_\_

3. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

4. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

5. Describe the purpose, type, total area and approximate quantities and total affected area of any filling, excavation and grading proposed. Indicate the source of the fill.

6. Could erosion occur as a result of clearing, construction or use? If so, generally describe.

Sedimentation and temporary erosion control will be reviewed per BCC 23.76

7. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? \_\_\_\_\_

Existing impervious - 94.12%  
Proposed impervious - 95.3%  
Subject to change

8. Proposed measures to reduce or control erosion, or other impacts to the earth, if any.

The project will be required to comply with the Bellevue City Code, BCC 23.76, Erosion and Sediment Control and site inspections will be conducted during construction.

**Air**

1. What types of emissions to the air would result from the proposal during construction, operation and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

x B). In total, the estimated lifespan emissions estimate for the project is

2,519,319 MTCO<sub>2</sub>e.

2. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

3. Proposed measures to reduce or control emissions or other impacts to air, if any.

Construction dust suppression measure per BCC 23.76 will be required.

**Water**

1. Surface Water

- a. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

- b. Will the project require any work over, in or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

- c. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of the fill material.

- d. Will the proposal require surface water withdrawals or diversions? Give a general description, purpose and approximate quantities, if known.

- e. Does the proposal lie within a 100-year floodplain? \_\_\_\_\_  
If so, note the location on the site plan.

- f. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

2. Ground Water

- a. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

- b. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.



3. Water Runoff (including stormwater)

- a. Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Water runoff, including stormwater will be reviewed per BCC 24.06

- b. Could waste materials enter ground or surface waters? If so, generally describe.

- c. Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

Impervious areas would be increased from 94.12% (existing) to 95.3% (proposed).  
Drainage will be reviewed per BCC 24.06

- d. Indicate any proposed measures to reduce or control surface, ground and runoff water, and drainage pattern impacts, if any.

Water runoff, including stormwater and drainage will be reviewed per BCC 24.06.

**Plants**

1. Check the types of vegetation found on the site:

- deciduous tree: alder, maple, aspen, other \_\_\_\_\_
- evergreen tree: fir, cedar, pine, other \_\_\_\_\_
- shrubs
- grass
- pasture
- crop or grain
- orchards, vineyards or other permanent crops
- wet soil plants: cattail, buttercup, bulrush, skunk cabbage, other \_\_\_\_\_
- water plants: water lily, eelgrass, milfoil, other \_\_\_\_\_
- other types of vegetation \_\_\_\_\_

2. What kind and amount of vegetation will be removed or altered?

3. List any threatened and endangered species known to be on or near the site.

4. Proposed landscaping, use of native plants or other measures to preserve or enhance vegetation on the site, if any.

5. List all noxious weeds and invasive species known to be on or near the site.

### Animals

1. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. Examples include:

Birds: hawk, heron, eagle, songbirds, other Peregrines, gulls, owls, woodpeckers, doves

Mammals: deer, bear, elk, beaver, other coyote, raccoon, chipmunk, squirrel, rabbits, opossum, bats, and other small mammals such as voles, mice, and shrews

Fish: bass, salmon, trout, herring, shellfish, other \_\_\_\_\_

2. List any threatened and endangered species known to be on or near the site.

3. Is the site part of a migration route? If so, explain.

4. Proposed measures to preserve or enhance wildlife, if any.

5. List any invasive animal species known to be on or near the site.

Insect species such as bronze birch borer and gypsy moths are present within the City of Bellevue as are New Zealand Mud Snails

### Energy and Natural Resources

1. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

2. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

3. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any.

## Environmental Health

1. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill or hazardous waste, that could occur as a result of this proposal? If so, describe.

- a. Describe any known or possible contamination at the site from present or past uses.

- b. Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

- c. Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

- d. Describe special emergency services that might be required.

- e. Proposed measures to reduce or control environmental health hazards, if any.

Environmental Covenant (King County Recording No. 19991130000117) requires approval from Department of Ecology for alteration, modification, removal or any other activity on the site that may result in release of PCE-contaminated soil.

2. Noise

- a. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Temporary construction activities associated with other development within vicinity may affect project over lifespan of use as is expected in dense inner urban locations.

- b. What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

No unreasonable noise anticipated as a result of proposal post-construction.  
Construction noise shall comply with the requirements of BCC 9.18

- c. Proposed measures to reduce or control noise impacts, if any.

## Land and Shoreline Uses

1. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

2. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to non-farm or non-forest use?

- a. Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling and harvesting? If so, how?

3. Describe any structures on the site.

4. Will any structures be demolished? If so, what?

5. What is the current zoning classification of the site? Downtown Mixed Use District

6. What is the current comprehensive plan designation of the site? \_\_\_\_\_

7. If applicable, what is the current shoreline master program designation of the site?

8. Has any part of the site been classified as a critical area by the city or county? If so, specify.

Steep slope mapping represents a retaining wall on the northern edge of the existing QFC parking lot. Critical Areas Overlay District does not apply to Downtown per LUC 20.25H.005.

9. Approximately how many people would reside or work in the completed project? \_\_\_\_\_

10. Approximately how many people would the completed project displace? \_\_\_\_\_

11. Proposed measures to avoid or reduce displacement impacts, if any.

12. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any.



13. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any.

**Housing**

1. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

In total, approximately 2,114 units of housing would be provided by the Pinnacle Bellevue South project. Approximately 2,012 units would be market-rate and 102 units would be affordable housing for low-income residents earning at or below 80 percent of the Area Median Income (AMI).

2. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

3. Proposed measures to reduce or control housing impacts, if any.

**Aesthetics**

1. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

The tallest height associated with the project would be Tower # 1 , with a building height of approximately 272'10" feet (26-stories). Principal exterior building materials proposed will include glass window-wall system, metal panel and painted concrete.

2. What views in the immediate vicinity would be altered or obstructed?

3. Proposed measures to reduce or control aesthetic impacts, if any

### Light and Glare

1. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Project shall comply with Light and Glare requirements of LUC 20.20.522

2. Could light or glare from the finished project be a safety hazard or interfere with views?

3. What existing off-site sources of light or glare may affect your proposal?

4. Proposed measures to reduce or control light and glare impacts, if any.

### Recreation

1. What designated and informal recreational opportunities are in the immediate vicinity?

2. Would the proposed project displace any existing recreational uses? If so, describe.

3. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any.

### Historic and Cultural Preservation

1. Are there any buildings, structures or sites located on or near the site that are over 45 years old listed in or eligible for listing in national, state or local preservation registers located on or near the site? If so, specifically describe.

Existing structures on site were constructed in 1966. Remodeled several times.

2. Are there any landmarks, features or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

3. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

- Proposed measures to avoid, minimize or compensate for loss, changes to and disturbance to resources. Please include plans for the above and any permits that may be required.

### Transportation

- Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

- Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

Bellevue Transit Center and Light Rail Stop  
is located approximately 3000' east of the site on NE 6th St.

- Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle, or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

- How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

3,350	461	209 Trip Generation
Handbook 3rd Edition, City of Bellevue "Multimodal Concurrency Implementation Guide, and US Census American Community Survey Data 134		

Bellevue South anticipated to result in a net gain of 510 AM and 93 PM vehicular trips per day. See enclosed Traffic Impact Assessment prepared by Transportation Solutions dated September 27, 2023.

5. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

6. Proposed measures to reduce or control transportation impacts, if any.

### Public Service

1. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

2. Proposed measures to reduce or control direct impacts on public services, if any.

**Utilities**

1. Check the utilities currently available at the site:

- Electricity
- natural gas
- water
- refuse service
- telephone
- sanitary sewer
- septic system
- other

2. Describe the utilities that are proposed for the project, the utility providing the service and the general construction activities on the site or in the immediate vicinity which might be needed.

**Signature**

*The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.*

Signature                     Michelle Sartisto                    

Name of signee \_\_\_\_\_

Position and Agency/Organization \_\_\_\_\_

Date Submitted \_\_\_\_\_

**Update #4, 09/25/2023      Update #5, 9/19/2024**

# **Pinnacle Bellevue South**

## **Environmental Checklist Appendices**

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- **Appendix A** – Supplemental Environmental Checklist Responses
- **Appendix B** – Greenhouse Gas Emissions Worksheet
- **Appendix C** – Phase I Environmental Site Assessment
- **Appendix D** – Geotechnical Report

To view the appendix in its entirety, please contact [DSRecords@bellevuewa.gov](mailto:DSRecords@bellevuewa.gov).

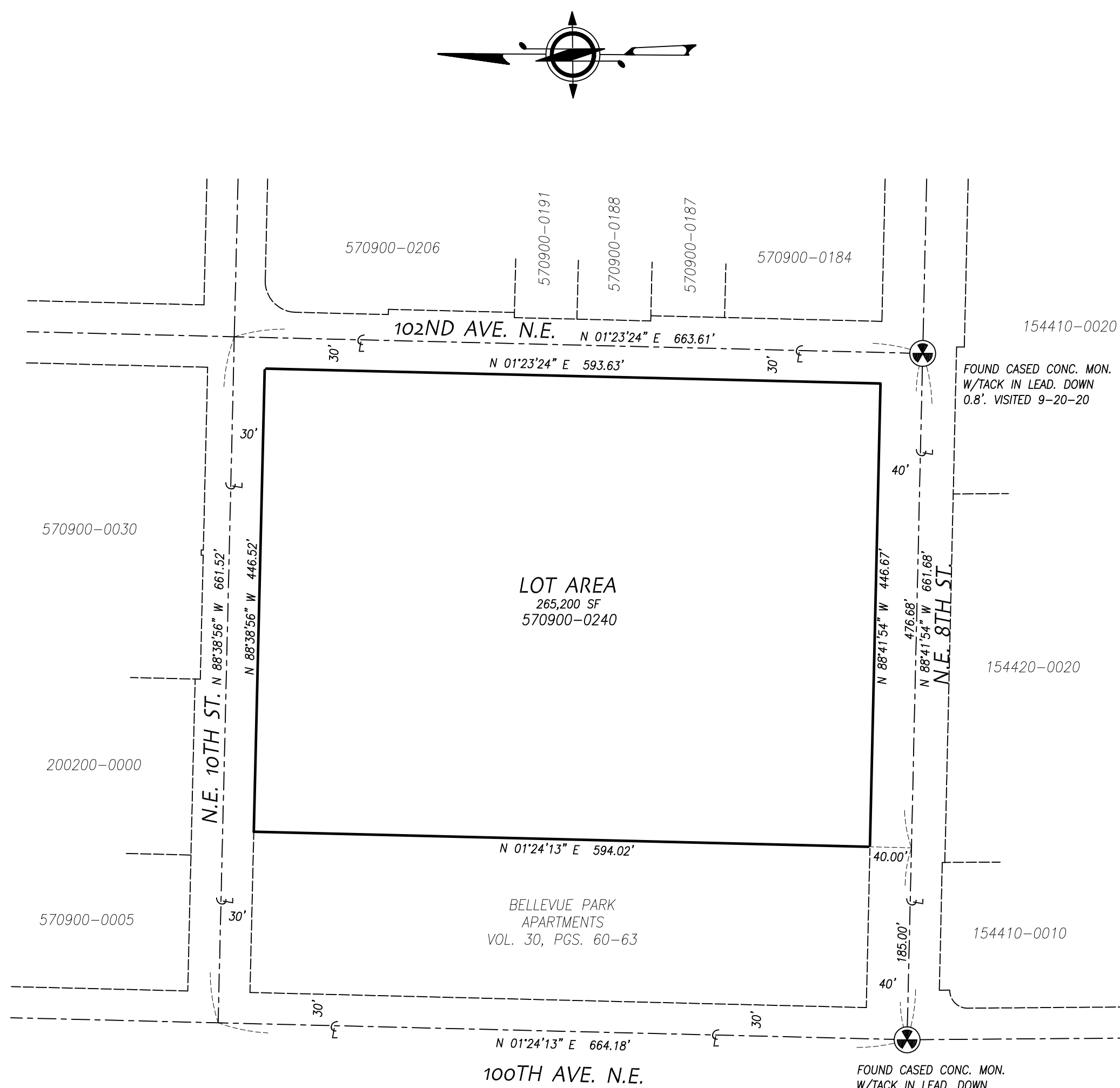


COLOR PLAN @ UG LEVEL

Notes:

DESIGN LANDSCAPE ARCHITECT:			
<b>ELLUMUS</b>			
<small>         ELLUMUS, LLC          1000 W. 10th Street          Tallahassee, FL 32304          Phone: 904.438.1111          Fax: 904.438.1112       </small>			
LANDSCAPE ARCHITECT OF RECORD:			
 <small>         J.W. LANDSCAPES ARCHITECTS          1000 W. 10th Street          Tallahassee, FL 32304          Phone: 904.438.1111          Fax: 904.438.1112       </small>			
DATE:	PROJECT:	SCALE:	DATE:
01/15/2014	PRINACLE INTERNATIONAL	1/8" = 1'-0"	01/15/2014
<small>         PRINACLE INTERNATIONAL          4300 - 111 Avenue D          Jacksonville, NC          28504-2914       </small>			
<small>         J.W. LANDSCAPES ARCHITECTS          1000 W. 10th Street          Tallahassee, FL 32304          Phone: 904.438.1111          Fax: 904.438.1112       </small>			
<small>         PRINACLE BELLEVUE SOUTH          LA-003-UG COLORED PLAN          SCALE OF 1/8" = 1'-0" DATE 01/15/2014          PROJECT NO. 10001180 SHEET NO. LA-003       </small>			





**LEGAL DESCRIPTION**

PARCEL 1:  
 THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 EXCEPT THAT PORTION FOR STREET PURPOSES DEDICATED TO THE CITY OF BELLEVUE BY DEED RECORDED UNDER RECORDING NUMBER 5950794 PER CITY OF BELLEVUE ORDINANCE NO. 1176;  
 ALSO EXCEPT THAT PORTION FOR STREET PURPOSES DEDICATED TO THE CITY OF BELLEVUE BY DEED RECORDED UNDER RECORDING NUMBER 6224490;

PARCEL 2:  
 PARCEL 2A:  
 THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 EXCEPT THE WEST 185 FEET; ALSO  
 EXCEPT THE EAST 180 FEET OF THE SOUTH 190 FEET; ALSO  
 EXCEPT THE SOUTH 40 FEET THEREOF, AS CONVEYED TO KING COUNTY AND THE CITY OF BELLEVUE BY DEEDS RECORDED UNDER RECORDING NUMBERS 912152 AND 5508017;  
 EXCEPT THE NORTH 30 FEET AND THE EAST 30 FEET THEREOF CONVEYED TO KING COUNTY AND TO THE CITY OF BELLEVUE BY DEEDS 3725908, 5508016 AND 5508017.  
 (ALSO KNOWN AS PORTIONS OF LOTS 1 THROUGH 9, BLOCK 7, AND LOTS 6 THROUGH 10, BLOCK 8, MOUNTAIN VIEW TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF, AND THAT PORTION OF VACATED 101ST AVENUE AVENUE NORTHEAST LYING BETWEEN SAID BLOCKS 7 AND 8.)

PARCEL 2B:  
 THE NORTH 50 FEET OF THE FOLLOWING DESCRIBED TRACT:  
 THE EAST 180 FEET OF THE SOUTH 190 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 EXCEPT FROM SAID NORTH 50 FEET OF THE EAST 30 FEET AS CONVEYED TO KING COUNTY AND THE CITY OF BELLEVUE BY DEEDS RECORDED UNDER RECORDING NUMBERS 3725908 AND 5508016;  
 (ALSO KNOWN AS THE NORTH LOT (SOMETIMES REFERRED TO AS LOT 2) OF CITY OF BELLEVUE SHORT PLAT NUMBER 77-13, RECORDED UNDER RECORDING NUMBER 7702010660, AND ALSO KNOWN AS PORTIONS OF LOTS 1, 2, 9, AND 10, BLOCK 7, MOUNTAIN VIEW TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF.)

PARCEL 2C:  
 THE EAST 180 FEET OF THE SOUTH 190 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON;  
 EXCEPT THE NORTH 50 FEET THEREOF; ALSO  
 EXCEPT THE SOUTH 40 FEET THEREOF, AS CONVEYED TO KING COUNTY AND THE CITY OF BELLEVUE BY DEEDS RECORDED UNDER RECORDING NUMBERS 912152 AND 5508015; ALSO  
 EXCEPT THE EAST 30 FEET THEREOF, CONVEYED TO KING COUNTY AND TO THE CITY OF BELLEVUE BY DEEDS RECORDED UNDER RECORDING NUMBERS 3725908 AND 5508016;  
 (ALSO KNOWN AS THE SOUTH LOT (SOMETIMES REFERRED TO AS LOT 1) OF CITY OF BELLEVUE SHORT PLAT NUMBER 77-13, RECORDED UNDER RECORDING NUMBER 7702010660, AND ALSO KNOWN AS PORTIONS OF LOTS 1 AND 10, BLOCK 7, MOUNTAIN VIEW TRACTS, ACCORDING TO THE UNRECORDED PLAT THEREOF.)

PARCEL 2D:  
 AN EASEMENT FOR DRIVEWAY PURPOSES OVER THE FOLLOWING DESCRIBED PROPERTY:  
 THE EAST 12.5 FEET OF THE WEST 185 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 29, TOWNSHIP 25 NORTH, RANGE 5 EAST, W.M., IN KING COUNTY, WASHINGTON.  
 ALL SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

**RESTRICTIONS, COVENANTS AND EASEMENTS**

PER CHICAGO TITLE COMPANY POLICY NO. 0118520-06

- SUBJECT TO INGRESS AND EGRESS EASEMENT, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 2547428 (NOW IN RIGHT OF WAY).
- SUBJECT TO DRIVEWAY EASEMENT, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 5972769 (AS SHOWN).
- SUBJECT TO ELECTRICAL EASEMENT, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 6102600 (AS SHOWN).
- SUBJECT TO ELECTRICAL EASEMENT, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 8507190969 (EASEMENT FOLLOWS GRANTEE'S FACILITIES AS CONSTRUCTED OR TO BE CONSTRUCTED, EXTENDED OR RELOCATED).
- SUBJECT TO PERMANENT SIDEWALK, UTILITY, LANDSCAPE AND LIGHTING EASEMENT AND TEMPORARY CONSTRUCTION EASEMENT, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS INCLUDED IN SUPERIOR COURT DECISION NO. 90-2-03249-3 (AS SHOWN).
- SUBJECT TO COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE INSTRUMENT ENTITLED "AGREED CONDITIONS TO ISSUANCE OF BUILDING PERMIT" AS RECORDED UNDER RECORDING NUMBER 891220872 (BLANKET IN NATURE).
- SUBJECT TO NOTICE OF CHARGES BY WATER, SEWER, STORM AND SURFACE WATER UTILITIES, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 9612200938 (BLANKET IN NATURE).
- SUBJECT TO ANY RIGHTS, INTERESTS, OR CLAIMS WHICH MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY SURVEY PREPARED BY DAVID EVANS AND ASSOCIATES INC. IN JULY 2018, UNDER JOB NO. PNID00000001:  
 A) LANDSCAPE AND PLANTING AREAS EXTEND FROM 2A, 2B AND 2C INTO THE RIGHTS OF WAY FOR NE 8TH STREET AND 102ND AVE. NE.  
 B) CONCRETE WALL AND BOARD FENCE EXTENDS SOUTHERLY OF THE SOUTH BOUNDARY OF PARCEL 4.  
 C) BOARD FENCE EXTENDS NORTHERLY OF THE NORTH BOUNDARY OF PARCEL 5.
- SUBJECT TO DEED OF TRUST, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 20180928000981 (BLANKET IN NATURE).
- SUBJECT TO SUBORDINATION, NONDISTURBANCE AND ATTORNMENT AGREEMENT, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 20180928000982 (BLANKET IN NATURE).
- SUBJECT TO SUBORDINATION, NONDISTURBANCE AND ATTORNMENT AGREEMENT, INCLUDING THE TERMS, CONDITIONS AND PROVISIONS CONTAINED THEREIN, AS RECORDED UNDER RECORDING NUMBER 20180928000983 (BLANKET IN NATURE).

**EQUIPMENT & PROCEDURES**

METHOD OF SURVEY:  
 SURVEY PERFORMED BY FIELD TRAVERSE

INSTRUMENTATION:  
 LEICA TS16 ROBOTIC ELECTRONIC TOTAL STATION

PRECISION:  
 MEETS OR EXCEEDS STATE STANDARDS WAC 332-130-090

BASIS OF BEARING:  
 THE MONUMENTED CENTERLINE OF N.E. 8TH ST., AS THE BEARING OF N 88°41'54" E.

**VERTICAL DATUM**

NAVD 88  
 CITY OF BELLEVUE BENCHMARK #1176  
 FOUND MON IN CASE AT 102ND AVE  
 NE AND NE 8TH ST.  
 ELEV. = 172.35'

**SURVEY REFERENCES**

(R1) BELLEVUE PARK APARTMENTS - VOL. 30, PGS. 60-63  
 (R2) CITY OF BELLEVUE BLA #19-103701-LW - REC. NO. 20190508900012

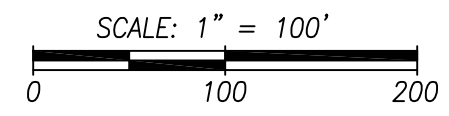
**LEGEND**

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- ⊔ RIGHT OF WAY CENTERLINE
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- ★ CONIFEROUS TREE
- DECIDUOUS TREE
- F FIR
- H HEMLOCK
- P PINE
- M MAPLE

**NOTES**

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2.) BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED.

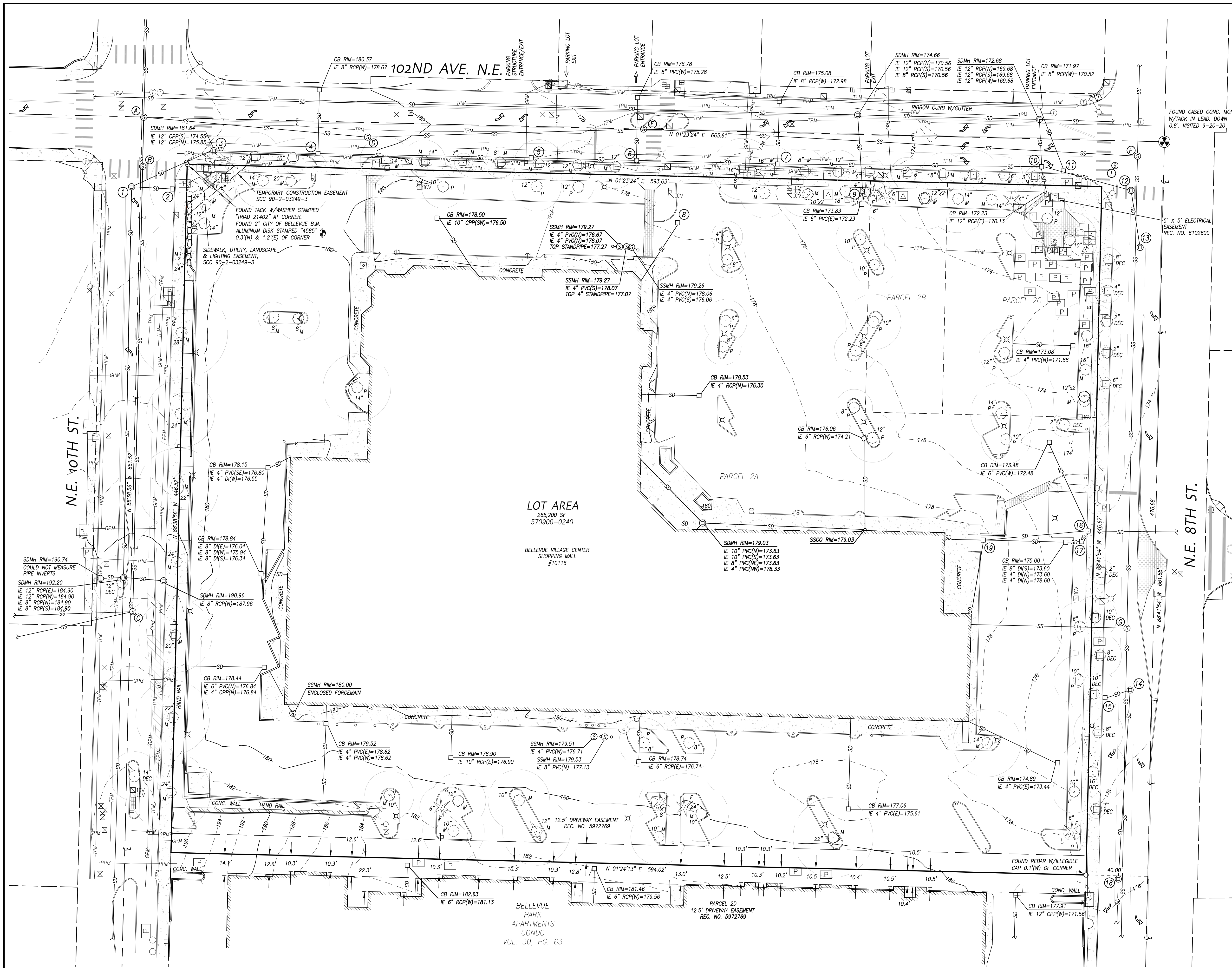


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TOPOGRAPHIC SURVEY FOR:  
**PINNACLE INTERNATIONAL**  
 SW 1/4, SW 1/4, SEC.29, T.25N., R.5E., W.M.

DRAWN BY DATE DRAWING FILE NAME SCALE JOB NO.  
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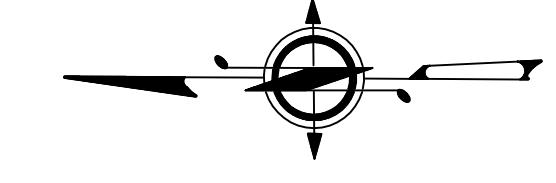


**SEWER STRUCTURES**

- A SSMH RIM=183.02  
IE 8" PVC(W)=177.37  
IE 8" PVC(E)=177.37  
IE 8" PVC(S)=177.27
- B SSMH RIM=183.22  
IE 8" PVC(W)=178.77  
IE 8" PVC(E)=178.77
- C SSMH RIM=192.48  
IE 8" PVC(E)=181.58  
IE 8" PVC(N)=181.68  
IE 8" PVC(W)=181.68
- D SSMH RIM=180.35  
IE 8" RCP(N)=156.10  
IE 8" RCP(S)=156.00
- E SSMH RIM=177.54  
IE 8" RCP(N)=171.49  
IE 8" RCP(S)=171.39
- F SSMH RIM=173.10  
COULD NOT OPEN
- G SSMH RIM=174.64  
IE 18" PVC(E)=154.94  
IE 8" PVC(W)=155.04  
IE 8" PVC(S)=155.04
- I SSMH RIM=172.96  
COULD NOT OPEN

**STORM STRUCTURES**

- 1 SDMH RIM=183.21  
IE 12" PVC(W)=176.91  
IE 12" PVC(SW)=176.91  
IE 12" PVC(SE)=176.91
- 2 CB RIM=182.79  
IE 12" RCP(N)=180.49
- 3 SDMH RIM=181.65  
IE 12" CPP(S)=174.55  
IE 12" CPP(N)=175.85
- 4 CB RIM=180.31  
IE 12" CPP(S)=174.61  
IE 12" CPP(N)=174.64  
IE 8" CPP(E)=174.74
- 5 CB RIM=178.05  
IE 12" CPP(N)=174.55  
IE 12" RCP(S)=174.55
- 6 CB RIM=176.76  
IE 12" RCP(N)=173.31  
IE 12" CPP(S)=173.31  
IE 8" PVC(E)=175.26
- 7 CB RIM=175.21  
IE 12" CPP(N)=172.06  
IE 12" RCP(S)=172.06  
IE 8" D(N)=172.11
- 8 CB RIM=177.38  
IE 4" RCP(W)=175.53
- 9 CB RIM=174.97  
IE 8" RCP(E)=171.67  
IE 6" PVC(W)=171.67
- 10 CB RIM=172.40  
IE 12" RCP(N)=169.30  
IE 12" RCP(E)=169.30  
IE 12" RCP(S)=169.30  
IE 12" RCP(W)=169.30
- 11 CB RIM=172.18  
IE 8" RCP(E)=170.38
- 12 SDMH RIM=173.07  
COULD NOT OPEN
- 13 SDMH RIM=173.46  
NO M/D
- 14 SDMH RIM=175.18  
IE 15" CPP(E)=170.88  
IE 15" CPP(W)=170.88  
IE 12" PVC(N)=172.18
- 15 CB RIM=174.77  
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- 16 CB RIM=174.60  
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IE 10" RCP(S)=172.10  
IE 8" CPP(NW)=172.40  
IE 6" RCP(E)=172.60
- 17 CB RIM=175.30  
COULD NOT OPEN
- 18 SDMH RIM=177.60  
COULD NOT OPEN
- 19 CB RIM=178.39  
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IE 6" PVC(W)=174.24  
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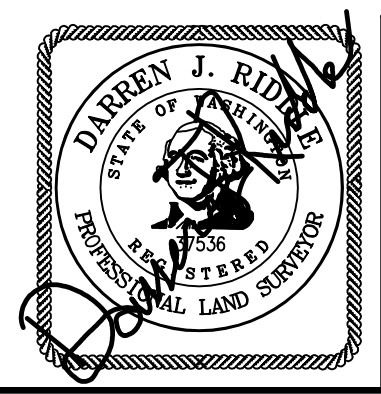
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SCALE: 1" = 30'



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MAH 2.15.21 22036top.dwg 1" = 30' 20-2036



## Land Use Application #1549719 - Pinnacle Bellevue South

### Project Contact

**Company** PINNACLE INTERNATIONAL

**Name:** DEVELOPMENT INC.

**Name:** Mike De Cotiis

**Email:** md@pinnacleinternational.ca

**Address:** 10116 N.E. 8th Street #8  
Bellevue WA 98004

**Phone #:** (604) 602-7747

#### Project Type

Multifamily Residential

#### Activity Type

Project or Site Plan Approval

#### Scope of Work

Design Review

#### Project Name:

Pinnacle Bellevue South

#### Description of Work:

The principal address of Pinnacle Bellevue South is 10116 NE 8th Street, Bellevue WA 98004. The site is located in the Northwest Village District in downtown Bellevue and is a prominent piece of the core. The site is located at NE 8th Street and 102nd Avenue NE with a site area of 265,200 sf. The proposed project is a residential development with 8 buildings and consisting of 1,675,346sf of residential area (6.32 FAR) yielding 2,114 units. Included is a resident-only amenity space located in Bldg 5 with 13,122sf of space for fitness, recreation and lounge. There is 88,267 sf (FAR 0.33) of proposed ground floor active use commercial space consisting of a restaurants and service-based retail.

### Project Details

#### Primary Use

Major Mixed Use - Residential

#### Quantity and Size Specifications

Gross square feet of proposed building	2118448
Gross square feet of proposed structured parking	725207
Number of dwelling units	2114
Number of proposed parking spaces	2223
Proposed number of stories	26
Proposed square feet of retail space	88267

#### Additional Project Information

Date preapplication conference was held 12/11/2019

#### Customer Feedback

No, I am not willing to share my feedback through an online survey

#### Affordable Housing Use Types

Affordable Housing Project meeting definition of Bellevue LUC 20.50



**Description of Proposal and Design Intent**

**Project Description:**

The principal address of Pinnacle Bellevue South is 10116 NE 8<sup>th</sup> Street, Bellevue WA 98004. The site is located in the Northwest Village District in downtown Bellevue and is a prominent piece of the core. The site is located at NE 8<sup>th</sup> Street and 102<sup>nd</sup> Avenue NE with a site area of 265,200 sf. The proposed project is a residential development with 8 buildings and consisting of 1,675,346sf of residential area (6.32 FAR) yielding 2,114 units. Included is a resident-only amenity space located in Bldg 5 with 13,122sf of space for fitness, recreation and lounge. There is 88,267 sf (FAR 0.33) of proposed ground floor active use commercial space consisting of a restaurants and service-based retail.

The base FAR is 4.50 with the maximum allowable residential area at FAR 5.0 (1,326,000sf) and under the new Ordinance 6736, there is a bonus area of up to 50% of the base FAR (596,700sf) for Affordable Housing. The ratio between Affordable Housing to Bonus Market Housing is 1 to 4. With the ordinance, a total allowable area is FAR 7.25 (1,922,700) with 119,340sf being affordable housing. The Ordinance also allows buildings within the B1 Perimeter Overlay to increase height by 25' (total of 124' limit). The proposed affordable housing totals 72,383sf with 102 units at an average of 710sf. It is a mix of one and two bedrooms. This is 4.8% of the total residential units. The units are located in Building 6,7and 8.

The site is in the DT-MU and DT-R districts and made up of 2 perimeter overlay zones, B1, and B2 respectively.

Building 1 to 5 are located in the DT-MU district, B2 Perimeter Overlay. The tallest buildings are Building 4 with 26F at 258.57 ft, Building 1 with 26F at 256.20 ft and Building 2 with 26F at 255.85 ft. Building 3 has 17F at 161.24 ft and Building 5 has 17F at 167.23ft. The average height of Building 1 to 5 is 219.82 ft.

Building 6 to 8 are located in the DT-R district, B1 Perimeter Overlay. Under the Ordinance 6736, buildings within this perimeter overlay may increase the maximum height by 25 ft. (bringing the total to 124 ft. height limit), Building 6 is 123.66 ft with 14 floors; Building 7 is 123.93ft with 14 floors; and Building 8 is 124.00 ft with 14 floors.

The lot coverage is at 49.5% which is under the allowable 75%. There are 26,525sf (10%) of public plaza space and 3 levels of below-grade parking with approximately 2223 vehicular parking spaces (1,940 residential, 106 visitor, and 177 commercial) and 218 bicycle parking spaces. There are two vehicular and commercial and loading access points off 102<sup>nd</sup> Avenue NE and NE 8<sup>th</sup> Street. There are two drop-off areas along Village Way South for convenience of taxi, Ubers and residents. The loading, delivery, and

garbage removal zones are fully located below-grade. There are 4 loading bays – 2 for SU-30 and WB-40 size trucks and 2 for Front Loaded Garbage Trucks.

The project site is a transition from an area of single-family houses to multi-unit dwellings and leads directly into the downtown core. Pinnacle Bellevue South will naturally assume the responsibility to seamlessly link the two areas and serve as a community connection, supportive of both residential and commercial contexts.

The project is anticipated to be in constructed in one phase. Existing buildings on site will be demolished.

### **Project Goals:**

This project is part of the Bellevue Downtown Livability Initiative passed in October 2017 and the main objective is to achieve a vibrant, mixed-use Downtown with enhanced pedestrian environment and residential connectivity while improving the identity and character of the Downtown's distinct districts.

With this mandate, we developed our planning strategies and goals for this project:

1. **Strengthen** public connectivity to and through the site for pedestrians.
2. **Enhance** placemaking through adding mixed-use functions and a dynamic public realm through connections of the ground plane with landscape plazas. Reinforce the pedestrian environment and connecting residential neighborhoods to the downtown core.
3. **Enhance** community space for the neighbors by providing a dynamic public realm through landscaped plazas that connect directly with ground-floor commercial / active use areas.
4. **Create** new mixed-use residential neighborhoods that support the live, work, play and 'meet and greet' model in Bellevue downtown.
5. **Support** the growth of Bellevue by contributing landmark architecture buildings to the vibrant downtown core.



1. Intersection of NE 8th St. and 102nd Ave. NE

2. Intersection of NE 10th St. and 102nd Ave. NE

3. Lane off NE 8th St.

4. Lane off NE 10th St.

**Major Code Sections:**

- Review Process (LUC 20.25A.030.C, LUC 20.30F)
- Departures (LUC 20.25A.030.D)
- Comp Plan Designation & Zoning (Comprehensive Plan Policies (COB Comp Plan - Vol. 1&2)
- Permitted Uses (LUC 20.25A.050.D)
- Design Review Decision Criteria (LUC 20.25A.030.C, LUC 20.30F)
- Vesting (LUC 20.40.500.B.2)
- Dimensional Requirements (LUC 20.25A.060)
- FAR Amenity Incentive System (LUC 20.25A.070)
- Downtown Tower & Upper-Level Stepbacks (LUC 20.25A.110)
- Parking (LUC 20.25A.080)
- Streetscape - Walkways and Sidewalks (LUC 20.25A.090 & 110)
- Landscape Development (LUC 20.25A.110)
- Green & Sustainability Factor (LUC 20.25A.110)
- Mechanical Equipment Screening & Location (LUC 20.25A.150)
- Downtown Design Guidelines (LUC 20.25D.140)
- Context (LUC 20.25A.150)

**Pinnacle Bellevue South / Project # 21-104954-LP - Description of Proposal + Design Intent**

- Site Organization (LUC 20.25A.160)
- Streetscape & Public Realm (LUC 20.25A.170)
- Building design (LUC 20.25A.180)
- Solid Waste/Recycling (LUC 20.20.725)
- Signage (LUC 22.10.030.E.2)
- Ordinance 6736 for Affordable Housing

The following describes the design responses to the specific items outlined in the Pre-Application Conference letter dated Dec. 11, 2019:

**General Land Use Comments -**

**Review Process (LUC 20.25A.030.C, 20.30F):**

(no response required)

**Departures (LUC 20.25A.030.D):**

Departures will be submitted with the LD Design Review submission.

**Comprehensive Plan Designation & Zoning (LUC 20.25A.050D):**

*Comprehensive Plan : Downtown (DNTN)*

*Land Use: Downtown Mixed Use (DT-MU) and Downtown Residential (DT-R)*

*Perimeter Overlays: B-1 and B-2*

*Downtown Neighborhood: Northwest Village*

**Comprehensive Plan Policies (COB Comp Plan - Vol 1&2):**

(See Comprehensive Plan Matrix for written response to all applicable policies.)

**Permitted Uses (LUC 20.25A.050.D):**

*DT-MU/ DT-R: Residential, Restaurant, Service-Based and General Merchandise*

The Pinnacle Bellevue South project proposes Residential as the building's principal use.



**Design Review Decision Criteria (LUC 20.25A.030.C, 20.30F):**

Provide written response to applicable design review decision criteria in LUC 20.30F.145

A. The proposal is consistent with the Comprehensive Plan;

<p><b>HO-13: Ensure that mixed-use development complements and enhances the character of the surrounding residential and commercial areas.</b></p>	<p>developments. The Project is located in the downtown core and through pedestrian connectivity by way of the public through-block connection and open plaza spaces complements the surrounding residential and commercial areas. Surrounding residential communities can access the downtown core commercial areas through the site.</p>
<p><b>UD-11: Develop Downtown and other mixed-use areas to be functional, attractive and harmonious with adjacent neighborhoods by considering through-traffic, view, building scale, and land use impacts.</b></p>	<p>The Project is located at the transition between single-family residential communities and the downtown core. The building scale of the 8 buildings create a gradual skyline with the tallest buildings closest to downtown, minimizing view impacts as much as possible. The commercial and active use areas are also lined on NE 8th Street , NE 10th Street and 102 Ave NE also within the central plaza to better connect to the downtown commercial areas.</p>
<p><b>POLICY S-DT-38. Minimize the adverse impact of Downtown development on residential neighborhoods with consideration of through-traffic, views, scale, and land use relationships.</b></p>	<p>The traffic circulation is proposed to have two main commercial entry – one right in off NE 8th Street and 102nd Ave NE and circulation is to turn towards the downtown area and away from residential neighborhoods. The stepping of the heights from 10F to 26F, higher towards the downtown core provide a sense of scale and a natural transition from the single-family residential neighborhood to downtown.</p>

B. The proposal complies with the applicable requirements of this Code;

Exception for items that will request departures in LD Phase:

1. Build-To Line (LUC 20.25A.020 and LUC 20.25A.060.A1)
2. Compact Parking

C. The proposal addresses all applicable design guidelines or criteria of this Code in a manner which fulfils their purpose and intent; and

D. The proposal is compatible with and responds to the existing or intended character, appearance, quality of, appearance, quality of development and physical characteristics of the subject property and immediate vicinity;

1. The Master Development Plan depicts features of and relationships and connectivity between required site features for underlying Land Use District with landscape design that enhances the public pedestrian through-block experience. It also connects the functions of building entrances, landscape uses such as seating, play, planting and dog run areas throughout the site and offers an accessible pathway that connects and relates the buildings within the masterplan.

- E. *.The proposal will be served by adequate public facilities including streets, fire protection, and utilities; and*
- F. *The proposal is consistent with any required Master Development Plan approved pursuant to Part 20.30V LUC 20.30V other applicable code section. (Ord. 5876, 5-18-09, § 29; Ord. 4972, 3-3-97, § 16; Ord. 4816, 11-27-95, § 115)*

(Please also refer to the Comprehensive Plan Matrix, Design Guideline Matrix, Dimensional Chart, Amenity Chart, Response to Pre-Application Letter and Response to Submission Letter for support of the above points.)

**Vesting (LUC 20.40.500.B.2):**

The project team requests the allowed 10-yr vesting following the City of Bellevue's final decision and issuance of the LD Permit due to the quantity of buildings and overall density. Request to meet with Building Plans Examiner to assist in determining the correct length of vesting.

**Dimensional Requirements (LUC20.25A.060):**

(Please refer to the Dimensional Table and Drawing Set A0.21-A0.43)

**FAR Amenity Incentive System (LUC 20.25A.070):**

*An individual building may exceed the base FAR or base building height permitted if it complies with the requirements of the FAR Amenity Incentive System.*

This project proposes the use the following incentives:

1. Ground level and Upper Ground floor areas meeting the definition of Active Uses (up to 1.0 FAR)  
Proposed 88,290 sf (FAR 0.33) of ground floor and upper ground floor active use including restaurants, service-based commercial.
2. Upper-level floor areas meeting the definition of Active Uses (up to 0.5 FAR)  
There are no upper-level active use spaces.
3. Affordable Housing Development per Ordinance 6736  
For every 1.0 sf of affordable housing provided at 80 percent AMI, 4.0 sf is allowed for market-rate housing not to exceed a maximum of 50% of base FAR. Proposed additional 350,064sf (FAR 1.32) divided as 72,383sf (102 units) of affordable housing and 277,681sf of market-rate housing. Refer to Sheet A0.29 and A0,50)

(Please refer to the FAR Amenity Spreadsheet)

**Additional Downtown Requirements:**

Downtown Tower Requirements (LUC 20.25A.075.A) - Buildings which exceed the trigger for additional height are subject to a floor plate reduction and an outdoor plaza space requirement.

Floor Plate Reduction Requirement -

a. The maximum floor plates above the trigger for additional height shall be reduced by:

iii. Ten percent in residential towers

The reduction shall be applied on all floor plates above the trigger for additional height. The applicable percent reduction may be averaged among all floor plates above 80 feet, but no single floor plate shall exceed the maximum floor plate size above 80 feet.

Building floor plates do not exceed 20,000sf above 40' and 13,500sf above 80'.  
Building 1,2 and 4 that exceed trigger height are setback 20' or more along NE 8<sup>th</sup> Street and 102<sup>nd</sup> Ave NE.  
(Please refer to Site Plan Sheet A0.10 and A1.01)

Required Outdoor Plaza-

Outdoor Plaza Space Requirement. Buildings with heights that exceed the trigger for additional height shall provide outdoor plaza space in the amount of 10 percent of the site; provided, that the outdoor plaza space shall be no less than 3,000 square feet in size. The open space shall be provided within 30 inches of the adjacent sidewalk and shall comply with the requirements for outdoor plazas in the Amenity Incentive System of LUC 20.25A.070.D.2 . Vehicle and loading drive surfaces shall not be counted as outdoor plaza space.

The project proposes two plaza spaces - one located off 102<sup>nd</sup> Ave NE at 5,065 sf and the second off NE 10<sup>th</sup> Street at 21,460 sf making a total of 26,525 sf of plaza space which conforms to the 10% requirement. (Site area is 265,200 sf) (Please refer to Sheet A0.13 Site Coverage)

The goals of the landscape design are to create connectivity throughout the site and to provide gentle grade transitions and use an overall low impact development approach. Each zone is designed for various activities, provide safety and security throughout the site and a seamless transition from area into the another. Landscape features such as a main stair feature on 102<sup>nd</sup> Ave NE with a media screen wall attracts people from the downtown direction into the site. This creates an edge to the open space and mitigates the elevation change on the site. Integrated fixed benches,

**Pinnacle Bellevue South / Project # 21-104954-LP - Description of Proposal + Design Intent**

layering of paving patterns and water features are located at the central upper plaza. The plaza off NE 10<sup>th</sup> Street is bounded by amphitheater seating and open function space that mirror the plaza space at Bellevue North (across the street). This allows for gathering and potential event space. Signage of key features and wayfinding will be provided for public access. The plaza will be open to the public at all times.

**Parking (LUC 20.25A.080):**

Please refer to the Dimensional Table and Drawing Set A0.30 and A1.01-A1.12 for vehicular and bicycle parking requirements.

**Streetscape - Walkways and Sidewalks (LUC 20.25A.090 & 110):**

Please refer to Landscape Design Drawings for compliance.

**Landscape Development (LUC 20.25A.110):**

Landscape Description-



The landscape design approach seeks to strengthen the connections between the public and private areas. The use of water, green areas and paving are used as the connection elements to form the transition from public to private.

1. Street Plaza (North Plaza off NE 10<sup>th</sup> Street)

The plaza mimics its counterpart plaza across NE 10<sup>th</sup> Street which includes terraces at different level and sunken amphitheater style seating area with open event plaza space. Feature walls, specimen trees and feature pavement patterns create visual connections between the South and North Parcel.

2. Central Courtyard and East Plaza(102<sup>nd</sup> Avenue NE)

The central courtyard and east plaza are the main outdoor node of the site. The plaza and grand stair with media wall feature on the east side of the site draws pedestrian flow into the site. The elevated central courtyard has organic and multi-layered pathways that lead to residential lobbies and retail shops and connects pedestrians to the north plaza.

3. West Linear Walkway (Between Building 7 and 8)

Paving patterns and planters are arranged functionally to increase the length of the circulation route and encourage interaction in this linear garden space. The design approach is to vary the walkway route and alert pedestrians when encountering changes in grade and vicinity to vehicular traffic.

**Green & Sustainability Factor (LUC 20.25A.110):**

Please refer to the Downtown Green and Sustainability Factor Worksheet in the Landscape Design Drawings Sheet for compliance.

**Mechanical Equipment Screening & Location (LUC 20.25A.150):**

Mechanical equipment located on the rooftops are screened by the extension of the façade into the parapet for Buildings 1,2 and 4. Mechanical penthouses with the finish color of the main façade are used for Buildings 3 and 5 to 8. Rooftop equipment on the podium roof will be screened with vertical screen walls integrated into the overall building massing and finished to match.

**Downtown Design Guidelines (LUC 20.25D.140):**

**Context (LUC 20.25A.150)**

**Site Organization (LUC 20.25A.160)**

**Streetscape & Public Realm (LUC 20.25A.170)**

**Building design (LUC 20.25A.180)**



**Architecture Design Narrative-**

The City of Bellevue is a special oasis, surrounded by beautiful lakes and mountains. Therefore, maintaining the harmony and dialog between the natural and built environment is important to our project.

The location of the project is the transition zone from an area of single-family houses to multi-unit dwellings and leads directly into the commercial center. Pinnacle Bellevue North will take this great opportunity and responsibility to seamlessly link the two areas and serve as a community connection, supportive of both residential and commercial contexts.

The current Bellevue Village is somewhat of a unique community landmark. Our design concept seeks to enhance the placemaking through the notion of transitions and connections. The transition of functions from the existing to the new and the connections to and from between communities is apparent in the planning of the project. The façade design takes on the transition of seasons and mimics the ebb and flow of the waves of Lake Washington, with organic landscape plazas, alluding to the connection to nature throughout the project.

Planners encouraged us to first design the public areas and then design the buildings around it. This way, we can create intentional public plaza spaces versus residual spaces around the buildings. This strategy is apparent in the structure of our masterplan, where large open public plazas are framed by the masses. Then clear accessible connections are made between the buildings at locations to be able to filter pedestrians easily through the site. The corners are the main anchors that create the commercial frontage. The massing of the buildings is arranged so that the heights gradually grow as we move away from the residential neighborhood. Buildings 1,2 and 4 are the tallest at 26F. Building 3 and 5 stands at 17F are the mid height of the project. Buildings 6-8 border the residential neighbors and stand at 14F. This gradual skyline will enhance the downtown core and at the same time allow for maximum sunlight and view access from the adjacent developments.

As part of the initiative, there are street frontage improvements made on the site. Along 102<sup>nd</sup> Avenue NE and NE 10<sup>th</sup> Street the road will be widened by about 6' with new curb and gutter, 18" continuous step-off are, 5' wide planter strip and 7' wide concrete sidewalk. Along NE 8<sup>th</sup> Street the road will not be widened but frontage improvements include new curb and gutter, 5' wide planter strip and 11' wide concrete sidewalk. The reconstruction of KC Metro Transit Bus stop and shelter on NE 8<sup>th</sup> Street will be required and are currently under coordination with King County.

The idea of transitions and connections is extended into the landscape design concept. Public plaza spaces are the main landscape features in the site. The goals of the landscape design are to create a lush environment with a sense of nature, divide zones for various activities, provide safety and security throughout the site, provide gentle grade transitions, and use an overall low impact development approach.

Main connection arteries that allow the community to filter through the site via accessible pathways, plazas, and courtyards. This creates a pleasant and convenient access to retail, services, and the downtown core.

The through-block east-west connection is through a linear walkway between Building 7 and 8 and then through the central courtyard connecting into the East Plaza and 102<sup>nd</sup> Avenue NE. The path is accessible and sprinkled with landscape features, allowing the public to pause at seating areas and to enjoy planting and water features along the way. The central courtyard integrates seating areas, water features and planting zones.

The through-block north-south connection is via the pedestrian and vehicular road Village Way South that run between Buildings 3/5 and Buildings 6-8. It provides for convenient access and drop-off area through the large block. Safety of pedestrian and vehicular circulation are managed via pathways and bollards.

The King County Metro bus stop will be replaced on NE 8<sup>th</sup> Street and integrated into the podium design by providing weather covering that extends from the building. The

**Pinnacle Bellevue South / Project # 21-104954-LP - Description of Proposal + Design Intent**

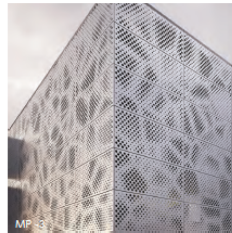
Bus Layover for 3 - 60' ft buses along 102<sup>nd</sup> Avenue NE will be built to standards provided by KC Metro.

The overall color and material palette is complementary to the surroundings. The use of different tints of glass on the façade form the ripple waves that run from top to the bottom. The base podium is captured by the continuation of the wave that shape the retail commercial spaces.



**EXTERIOR MATERIALS**

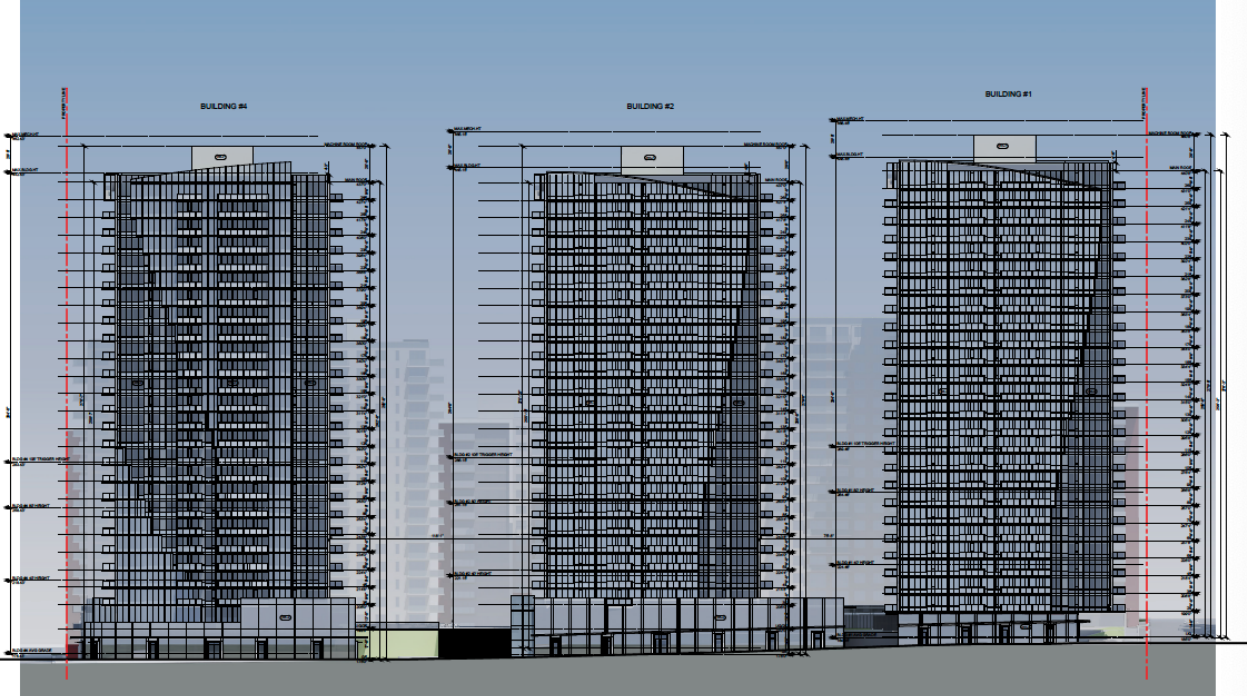
- GL-1 VISION GLASS - high transparency, blue-light grey
- GL-2 VISION GLASS - medium grey
- GL-3 GLASS SPANDREL - match GL-1
- GL-4 GLASS SPANDREL - match GL-2
- GL-5 STOREFRONT GLASS
- MP-1 METAL PANEL - WHITE
- MP-2 METAL PANEL - GRAY
- MP-3 METAL PANEL - PERFORATED WHITE
- HPL-1 HIGH-PRESSURE COMPACT LAMINATE PANEL CLADDING (HPL)  
BRAND:TRESPA®/MITEON® UN8  
COLOR:MAROON
- HPL-4 HIGH-PRESSURE COMPACT LAMINATE PANEL CLADDING (HPL)  
BRAND:TRESPA®/MITEON® UN8  
COLOR:WHITE
- HPL-5 HIGH-PRESSURE COMPACT LAMINATE PANEL CLADDING (HPL)  
BRAND:TRESPA®/MITEON® UN8  
COLOR:ZINC GREY
- HPL-6 HIGH-PRESSURE COMPACT LAMINATE PANEL CLADDING (HPL)  
BRAND:TRESPA®/MITEON® WOOD DECORS  
COLOR:LIGHT MAHOGANI HW18
- R1 GUARDRAILS-LAMINATED/TEMPERED  
GLASS SAFETY GUARDRAIL



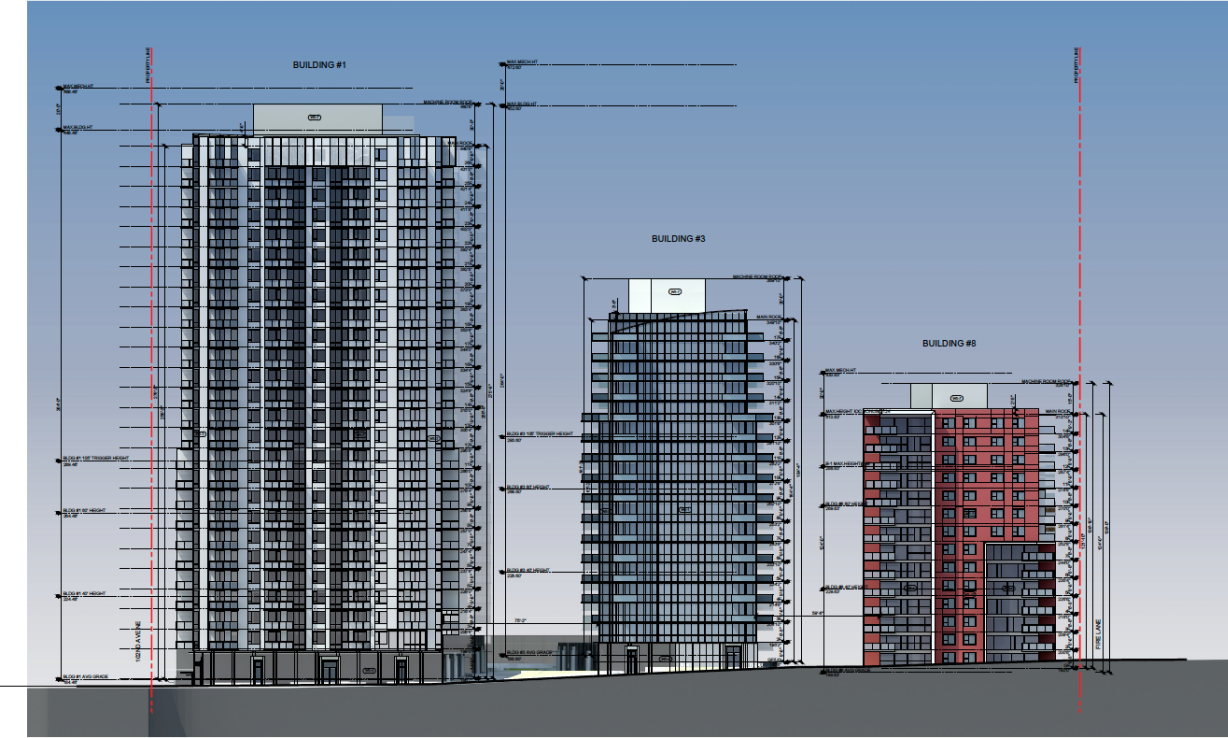
**EXTERIOR WALL SYSTEM TYPES**

- WS-1 WINDOW WALL TYPE 1  
UNITIZED WINDOW WALL SYSTEM  
GLASS TYPE: GL-1 VISION GLASS  
GLASS TYPE: GL-3 GLASS SPANDREL  
FRAME TYPE: ALUMINIUM MULLIONS AND CAPS  
FRAME COLOR: SILVER SHADOW
- WS-2 WINDOW WALL TYPE 2  
UNITIZED WINDOW WALL SYSTEM  
GLASS TYPE: GL-2 VISION GLASS  
GLASS TYPE: GL-4 GLASS SPANDREL  
FRAME TYPE: ALUMINIUM MULLIONS AND CAPS  
FRAME COLOR: SILVER SHADOW
- WS-3 WINDOW WALL TYPE 3  
UNITIZED WINDOW WALL SYSTEM  
GLASS TYPE: GL-1 VISION GLASS  
FRAME TYPE: ALUMINIUM MULLIONS AND CAPS  
FRAME COLOR: SILVER SHADOW
- WS-4 WINDOW WALL TYPE 4  
UNITIZED WINDOW WALL SYSTEM  
GLASS TYPE: GL-2 VISION GLASS  
FRAME TYPE: ALUMINIUM MULLIONS AND CAPS  
FRAME COLOR: SILVER SHADOW
- WS-5 STOREFRONT GLAZING SYSTEM TYPE 1  
UNITIZED WINDOW WALL SYSTEM  
GLASS TYPE: GL-2 VISION GLASS  
FRAME TYPE: ALUMINIUM MULLIONS AND CAPS  
FRAME COLOR: SILVER SHADOW
- WS-6 STOREFRONT GLAZING SYSTEM TYPE 2  
STOREFRONT GLAZING SYSTEM  
INTEGRAL STOREFRONT DOORS  
GLASS TYPE: GL-1 VISION GLASS  
MP-1 METAL PANEL  
FRAME TYPE: ALUMINIUM MULLIONS AND CAPS  
FRAME COLOR: SILVER SHADOW
- WS-7 OPAQUE WALL TYPE 1  
EIF-1 EXTERIOR INSULATED FINISH SYSTEM (EIFS)  
(REFER TO EXTERIOR MATERIAL SCHEDULE)
- WS-9 OPAQUE WALL TYPE 2  
HPL-6 HIGH-PRESSURE COMPACT LAMINATE PANEL  
CLADDING (HPL)  
WOOD GRAIN PATTERN
- WS-10 OPAQUE WALL TYPE 3  
HPL-1 HIGH-PRESSURE COMPACT LAMINATE PANEL  
CLADDING (HPL)
- ST-1 PREFINISHED STEEL SIDING TYPE 1  
COLOUR: SILVERSTORM-UC10668SF  
METAL PANEL: ALUMINIUM  
MANUFACTURER: VICWEST  
STYLE: VERTICAL





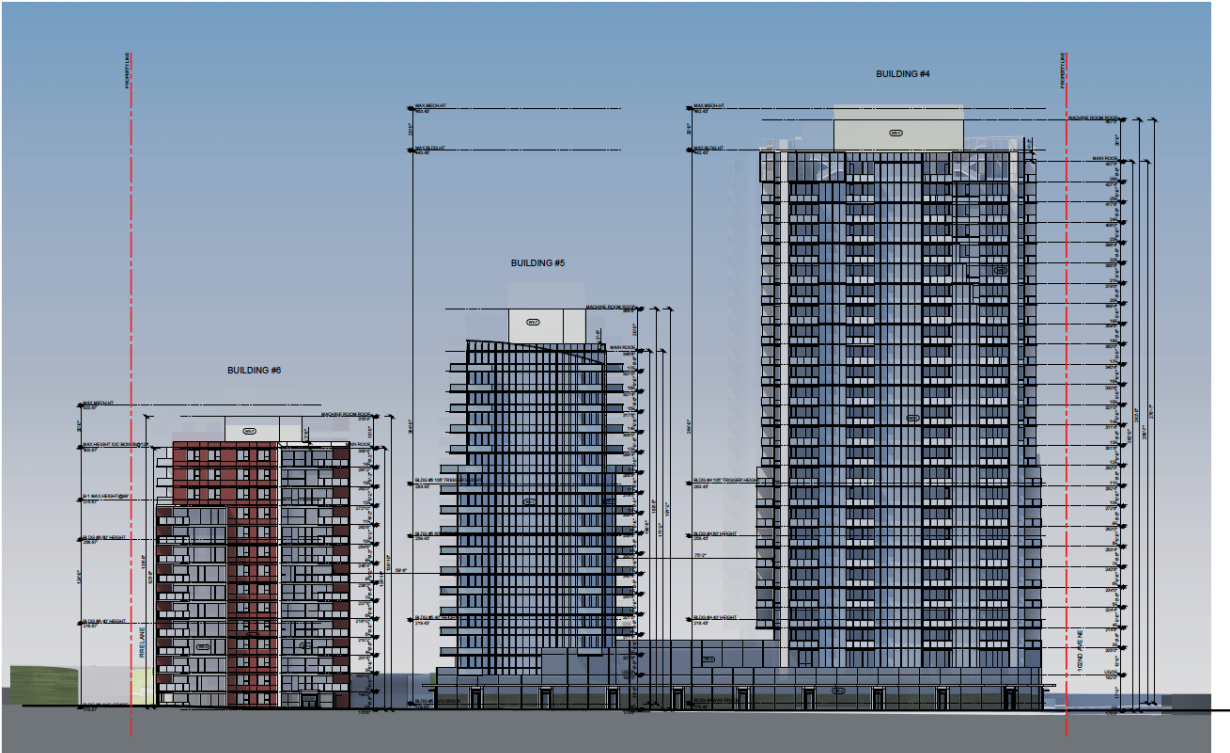
East Elevation - 102<sup>nd</sup> Avenue NE



North Elevation - NE 10<sup>th</sup> Street



West Elevation



South Elevation (NE 8th Street)

Please refer to the full Architecture Drawing Set for additional renderings and elevation drawings.

**Solid Waste/Recycling (LUC 20.20.725):**

The loading entrance is off NE 8<sup>th</sup> Street and 102<sup>nd</sup> Avenue NE are both for loading and vehicular use. The loading and refuse/recycling area are located in the G level (below-grade) and serviced within the building. There are 4 loading bays – 2 for SU-30 and WB-40 trucks and 2 for front-loading garbage trucks. There is a centralized residential garbage room and commercial garbage room located adjacent to the loading area under Building 4 and 5.

**Lighting and Signage (LUC 22.10.030.E.2):**

Please refer to Sheet IL01 Illumination Plan for Site Lighting and Sheet LA-500 & LA-501 for the Preliminary Lighting design for the Street Plaza.



REV:	DESCRIPTION:	BY:	DATE:
	ISSUED FOR LP v.3		
CLIENT:	Pinnacle International #300 - 911 Homer St Vancouver, BC V6B 2Y6		
ARCHITECT:	JYOM Architecture 3378 Cambie Street Vancouver, BC V6H 2L2 604-876-2222		
SITE:	Pinnacle Bellevue South		
TITLE:	RENDER		
SCALE AT 3/16"=1'-0"	DATE:	DRAWN:	CHECKED:
PROJECT NO. 19001.80	DRAWING NO. A0.60	REVISION:	



REV:	DESCRIPTION:	BY:	DATE:
	ISSUED FOR LP v.3		
CLIENT:	Pinnacle International #300 - 911 Homer St Vancouver, BC V6B 2Y6		
ARCHITECT:	JYOM Architecture 3378 Cambie Street Vancouver, BC V6H 2L2 604-876-2222		
PROJECT:	Pinnacle Bellevue South		
TITLE:	RENDER		
SCALE AT 3/16"=1'-0"	DATE:	DRAWN:	CHECKED:
PROJECT NO: 19001.80	DRAWING NO: A0.61	REVISION:	

PINNACLE BELLEVUE SOUTH

MASTER DEVELOPMENT PLAN REVIEW (LP)  
and LAND DESIGN (LD) REVIEW

2024.09.18

