

# TOPOGRAPHIC & BOUNDARY SURVEY

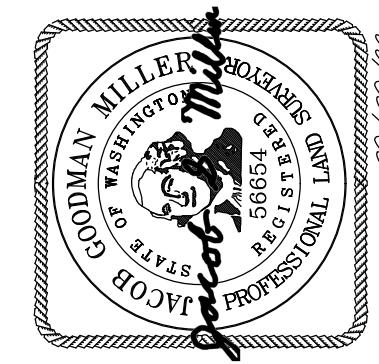
We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 4139470070

RAMAN RESIDENCE

17088 SE 58TH ST  
BELLEVUE, WA 98006



# TERRANE

10801 Main Street, Suite 102  
Bellevue, WA 98004  
p: 425-458-4488 | e: info@terrane.net

JOB NUMBER: 221440  
DATE: 09/09/22  
DRAFTED BY: TGC  
CHECKED BY: JGM/DRT  
SCALE: 1" = 10'

REVISION HISTORY

NO.	DATE	DESCRIPTION

SHEET NUMBER  
1 OF 2

## LEGAL DESCRIPTION

LOT 7, LAKEMONT DIV. 3-C, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 170 OF PLATS, PAGE(S) 54 THROUGH 56, INCLUSIVE, RECORDS OF KING COUNTY, WASHINGTON.  
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

## BASIS OF BEARINGS

N 87°55'20" W BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF SE 58TH ST, CALCULATED PER REFERENCE NO. 1.

## REFERENCES

R1. LAKEMONT DIV. 3-C, VOL. 170, OF PLATS, PG. 54, RECORDS OF KING COUNTY, WASHINGTON.

## VERTICAL DATUM

NAVD 88 PER GPS OBSERVATIONS

## SURVEYOR'S NOTES

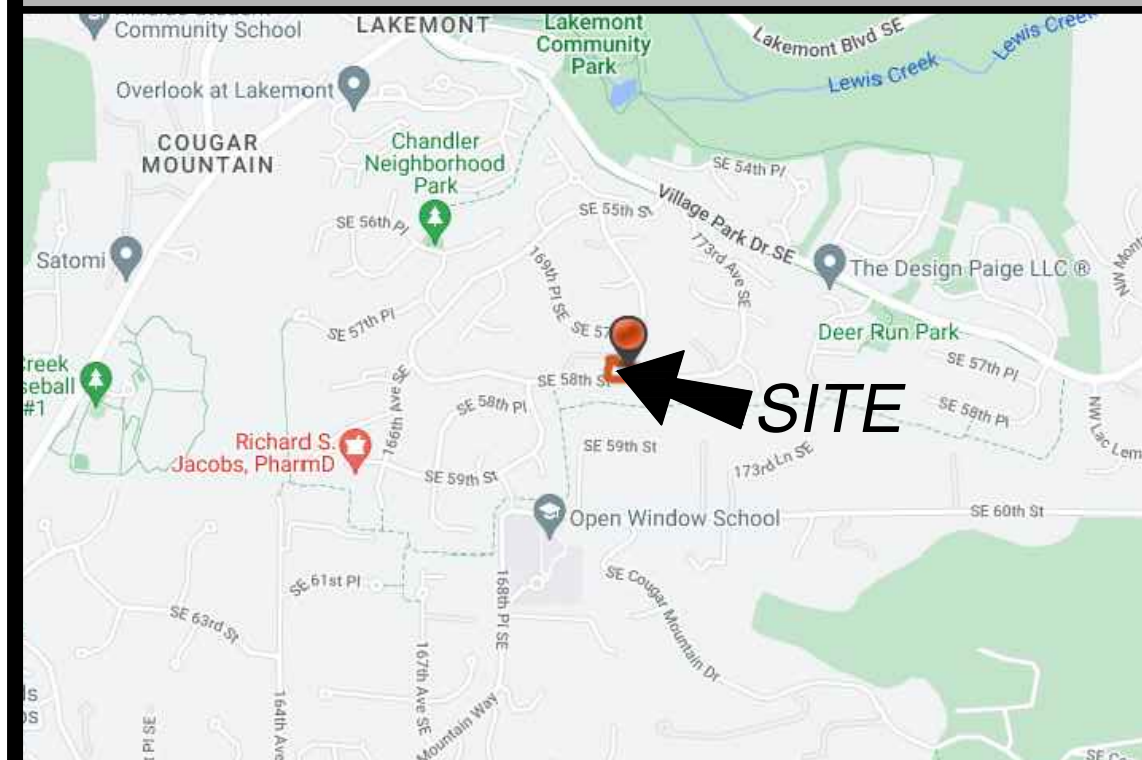
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 4139470070
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 18,872 S.F. (0.43 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

## LEGEND

	AREA DRAIN		REBAR AS NOTED (FOUND)
	ASPHALT SURFACE		RIGHT-OF-WAY LINES
	BENCHMARK		ROCKERY
	BRICK SURFACE		SEWER LINE
	BUILDING		SEWER MANHOLE
	CENTERLINE ROW		STORM DRAIN LINE
	CONCRETE SURFACE		TREE (AS NOTED)
	DECK		WATER GATE VALVE
	FENCE LINE (WOOD)		WATER LINE
	FIRE HYDRANT		WATER METER
	FLAGSTONE SURFACE		WATER VALVE
	GAS LINE		ITEM 4 - SEWER EASEMENT PER REC. NO. 9409260774
	GAS METER		ITEM 4 - SIDEWALK EASEMENT PER REC. NO. 9409260774
	HEDGE FOLIAGE LINE		ITEM 1 ELECTRIC EASEMENT PER REC. NO. 9007020467
	CATCH BASIN (TYPE 1)		STEEP SLOPE AREA
	MONUMENT (IN CASE, FOUND)		
	NAIL AS NOTED		
	PAVER SURFACE		
	POST		
	POWER METER		
	PROPERTY LINE (SUBJECT)		
	PROPERTY LINES (ADJACENT)		
	REBAR & CAP (SET)		

## VICINITY MAP

N.T.S.



## SCHEDULE B ITEMS

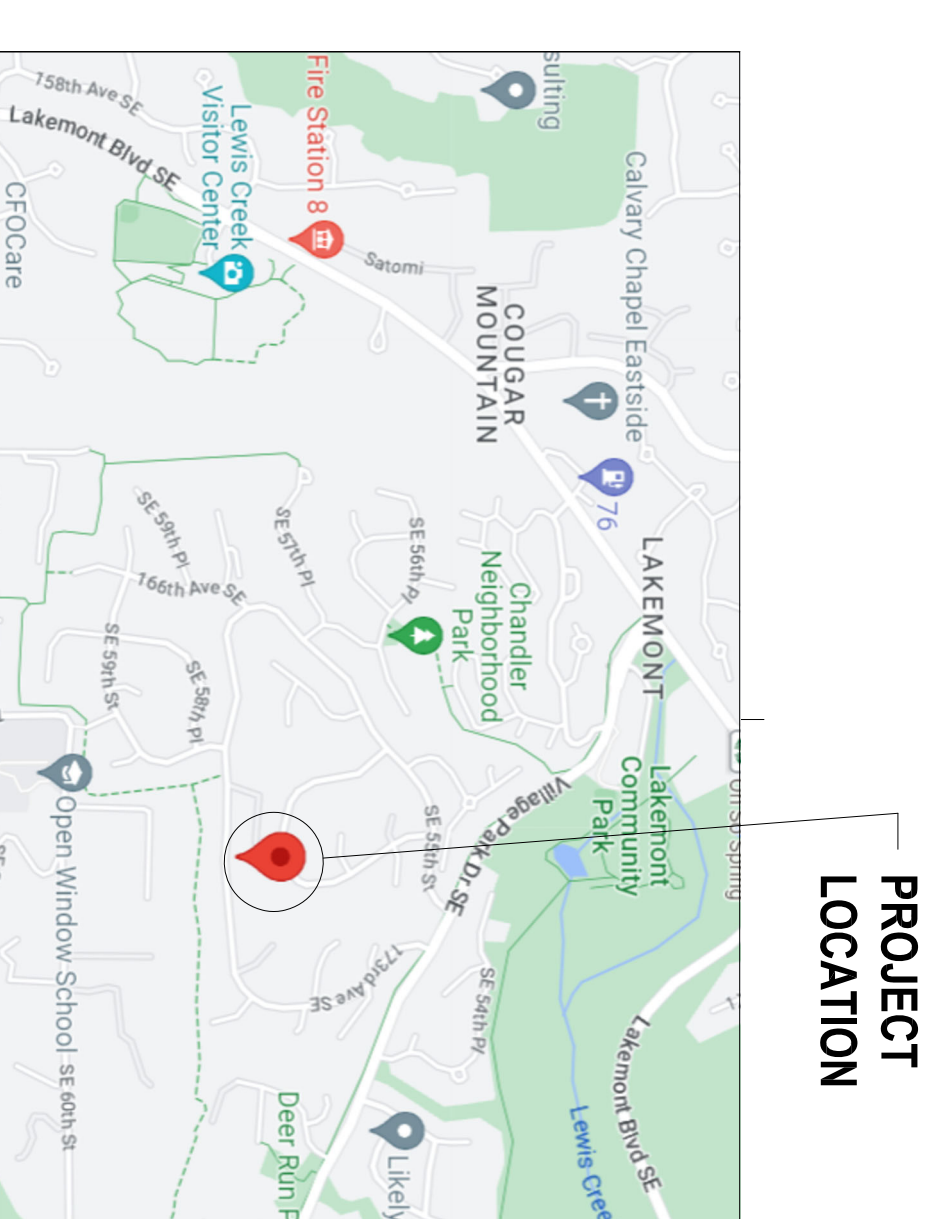
1. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:  
GRANTED TO: PUGET SOUND POWER & LIGHT COMPANY  
PURPOSE: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM  
RECORDING DATE: JULY 2, 1990  
RECORDING NO.: 9007020467  
AFFECTS: A STRIP OF LAND 10 FEET IN WIDTH, LOCATED WITHIN SAID PLAT AND OTHER PROPERTY, LYING PARALLEL WITH AND ADJOINING ALL PUBLIC AND PRIVATE STREET AND ROAD RIGHTS OF WAY CONTAINS COVENANT PROHIBITING STRUCTURES OVER SAID EASEMENT OR OTHER ACTIVITIES WHICH MIGHT ENDANGER THE UNDERGROUND SYSTEM. (PLOTTED)
2. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT  
RECORDING DATE: AUGUST 14, 1990  
RECORDING NO.: 9008141766  
MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS  
RECORDING DATE: DECEMBER 3, 1991  
RECORDING NO.: 9112030149 (NOT PLOTTED-BLANKET IN NATURE)
3. ANY UNPAID ASSESSMENTS OR CHARGES AND LIABILITY TO FURTHER ASSESSMENTS OR CHARGES, FOR WHICH A LIEN MAY HAVE ARISEN (OR MAY ARISE), AS PROVIDED FOR UNDER WASHINGTON LAW AND IN INSTRUMENT SET FORTH BELOW:  
IMPOSED BY: LAKEMONT COMMUNITY ASSOCIATION, A WASHINGTON NONPROFIT CORPORATION  
RECORDING DATE: AUGUST 14, 1990  
RECORDING NO.: 9008141766 (NOT PLOTTED-BLANKET IN NATURE)
4. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, ENCROACHMENTS, DEDICATIONS, BUILDING SETBACK LINES, NOTES, STATEMENTS, AND OTHER MATTERS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON THE PLAT OF LAKEMONT DIV. 3-C:  
RECORDING NO.: 9409260774 (PLOTTED)
5. LAKEMONT DESIGN REVIEW CRITERIA AND THE TERMS AND CONDITIONS THEREOF:  
RECORDING DATE: AUGUST 14, 1990  
RECORDING NO.: 9008141769  
MODIFICATION(S) OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS  
RECORDING DATE: DECEMBER 3, 1991  
RECORDING NO.: 9112030150 (NOT PLOTTED-BLANKET IN NATURE)
6. COVENANTS, CONDITIONS AND RESTRICTIONS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT  
RECORDING DATE: MAY 4, 1995  
RECORDING NO.: 9505040087 (NOT PLOTTED-BLANKET IN NATURE)
7. AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:  
EXECUTED BY: THE NEWCASTLE DEVELOPMENT COMPANY, A WASHINGTON PARTNERSHIP AND CITY OF BELLEVUE  
RECORDING DATE: JANUARY 23, 1989  
RECORDING NO.: 8901231132  
REGARDING: DEVELOPMENT OF LAND WITHIN THE 'HIGHPOINT PROJECT' AREA (NOT PLOTTED-BLANKET IN NATURE)
8. AGREEMENT AND THE TERMS AND CONDITIONS THEREOF:  
EXECUTED BY: KING COUNTY AND THE NEWCASTLE DEVELOPMENT COMPANY, A WASHINGTON GENERAL PARTNERSHIP, AND GLACIER PARK CO., A DELAWARE CORPORATION  
RECORDING DATE: JUNE 28, 1991  
RECORDING NO.: 9106282300  
REGARDING: CONCOMITANT AGREEMENT FOR THE DEVELOPMENT OF SAID PREMISES AND OTHER PROPERTY  
SAID INSTRUMENT IS A RE-RECORDING OF AGREEMENT RECORDED UNDER RECORDING NO. 8909010998 (NOT PLOTTED-BLANKET IN NATURE)
9. NOTICE OF CHARGES FOR CONNECTION TO WATER AND SEWER SYSTEMS AND THE TERMS AND CONDITIONS THEREOF:  
RECORDING DATE: NOVEMBER 9, 1977  
RECORDING NO.: 7711090948 (NOT PLOTTED-NOT SURVEY RELATED)
10. NOTICE OF CHARGES BY WATER, SEWER, AND/OR STORM AND SURFACE WATER UTILITIES AND THE TERMS AND CONDITIONS THEREOF:  
RECORDING DATE: DECEMBER 20, 1996  
RECORDING NO.: 9612200938 (NOT PLOTTED-NOT SURVEY RELATED)

**STEEP SLOPE/BUFFER DISCLAIMER:**  
THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

INDEXING INFORMATION	
NE 1/4 SW 1/4	SECTION: 24
	TOWNSHIP: 24N
	RANGE: 05E, W.M.
	COUNTY: KING



# VICINITY MAP



**PROJECT LOCATION**

PARCEL #: 732360-0030

PROP. ADDRESS: 17088 SE 58TH ST, BELLEVUE, WA 98006  
 LEGAL DESCRIPTION: LOT 7, LAKEMONT DIV 3-4 ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 170 OF PLATS, PAGES(S) 54 THROUGH 56, IN KING COUNTY, WASHINGTON

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF A REMODEL OF INTERIOR FINISHES, PLUMBING AND ELECTRICAL FIXTURES, WINDOWS & DOORS, SKYLIGHTS, DECKS AND THE ADDITION OF A GLASS CANOPY.

**ZONING INFORMATION**

ZONING - R-3.5 LOT AREA - 18,871 SF  
 OCCUPANCY - R-3

**BUILDING SETBACKS**

FRONT YARD SETBACK 20'-0"  
 SIDE YARD SETBACKS 5'-0" MIN (1) 15'-0" (2)  
 REAR YARD SETBACK 25'-0"  
 HEIGHT LIMIT 30'-0" ABOVE AVERAGE GRADE ABOVE AVERAGE GRADE.  
 + 5'-0" TO THE RIDGE OF PITCHED ROOFS  
 PER LUC 20.20.010 FOR R-3 ZONING, BOTH SIDE YARDS MUST TOTAL A MINIMUM OF 20 FT.

**DRAWING INDEX**

- A-0.1 TITLE SHEET, DRAWING INDEX, SITE PLAN
- A-0.2 TITLE SHEET, DRAWING INDEX, SITE PLAN
- A-0.3 TITLE SHEET, DRAWING INDEX, SITE PLAN
- A-1.0 BUILDING PLANS-LEVEL 1
- A-1.1 BUILDING PLANS-LEVEL 2
- A-2.0 BUILDING PLANS-FOUNDATION, LEVEL 3
- A-3.0 BUILDING SECTIONS
- A-4.0 WINDOW SCHEDULE

- S-0.1 GENERAL NOTES
- S-0.2 GENERAL NOTES
- S-1.1 FLOOR FRAMING PLANS
- S-2.0 DETAILS
- S-2.1 DETAILS

**BUILDING CODE**

DESIGN PROFESSIONALS ASSUME NO CLAIM THAT BUILDING IS OR WAS IN CONFORMANCE WITH CURRENT BUILDING CODE AT THE TIME OF CONSTRUCTION.

ALL WORK TO BE MODIFIED OR ADJUSTED SHALL BE IN COMPLIANCE WITH THE LATEST LOCAL CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: 2018 IRC, 2018 WSEC, 2018 IPC.

**FLOOR AREA RATIO (F.A.R.) CALCULATIONS**

GROSS FLOOR AREA 2,818 GSF  
 MAIN FLOOR 2,818 GSF  
 UPPER FLOOR 3,882 SF  
 TOTAL 6,670 SF  
 LOT AREA 18,871 SF

6,670 / 18,871 = .35 F.A.R. < .5 F.A.R ALLOWED (LUC 20.20.010 NOTE 43)

**GREEN SCAPE CALCULATIONS**

TOTAL AREA OF FRONT YARD SETBACK 4,574 SF  
 EXISTING NON GREENSCAPE IN FRONT YARD SETBACK 1,317 SF  
 TOTAL GREENSPACE REMAINING 4,574 SF - 1,317 SF = 3,257 SF  
 GREENSPACE IN FRONT YARD 3,257 SF / 4,674 = 70.0% > 50% MIN.

**IMPERVIOUS SURFACE COVERAGE**

BUILDING & EAVES 4,583 SF  
 COVERED PATIOS AND PORCHES 1,448 SF  
 COVERED FLATWORK (STEPS) 124 SF  
 STONE STEPS 108 SF  
 BLOCK WALLS 389 SF  
 ROOFS 297 SF  
 TOTAL 7,028 SF

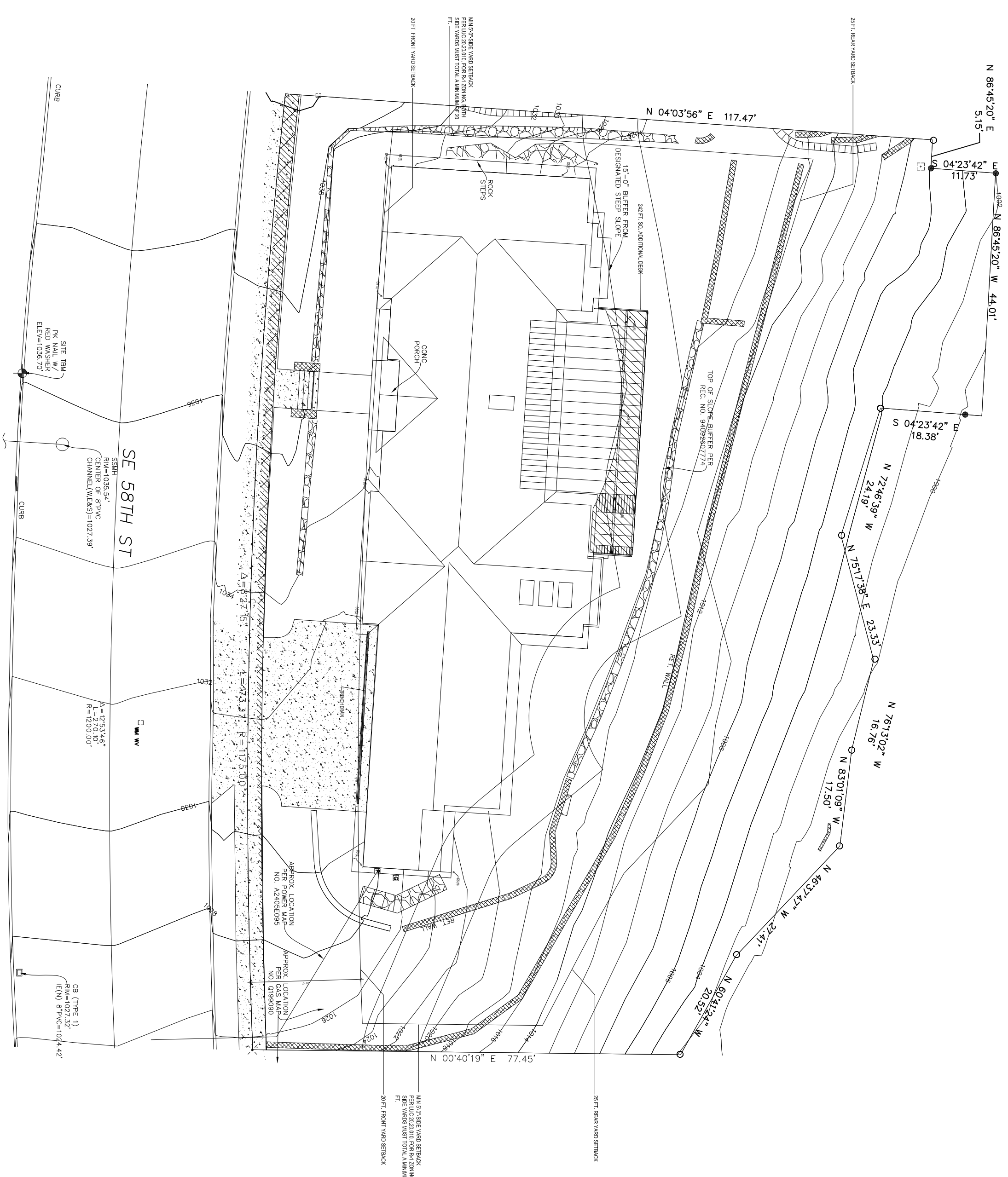
TOTAL LOT AREA = 18,871 SF.  
 45% X 18,871 SF = 8,492 SF  
 TOTAL IMPERVIOUS AREA = 4,583 SF + 448 SF + 1,244 SF + 108 SF + 390 SF + 297 SF = 6,900 SF  
 7,028 SF - 8,492 SF = -1,464 SF  
 ALLOWED IMPERVIOUS COVERAGE IS 45% OF LOT AREA. (LUC20.20.010)

DUCTS SHALL BE LEAK TESTED IN ACCORDANCE WITH WSU-33 USING THE MAXIMUM DUCT LEAKAGE RATES SPECIFIED IN A WRITTEN REPORT OF THE RESULTS SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST & PROVIDED TO THE CODE OFFICIAL. PROVIDED TO THE BUILDING INSPECTOR AND HOME OWNER PRIOR TO FINAL INSPECTION.

A MINIMUM OF 90 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS. PER WSEC R 404.11  
 BUILDING AIR LEAKAGE TESTING COMPLIANCE BASED ON R402.4.1.2 REDUCE THE TESTED AIR LEAKAGE TO 3.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCAALS.

PRIOR TO FINAL INSPECTION, THE TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE.

EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE INSTALLED IN BASEMENTS, HABITABLE ATTICS, AND IN SLEEPING ROOMS, OPENABLE WITH USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE PER IRC R 310.  
 MIN. 5.7 S.F. NET CLEAR OPEN AREA.  
 MIN. 24" NET CLEAR OPEN HEIGHT.  
 MIN. 20" NET CLEAR OPEN WIDTH.  
 MAX. 44" FINISHED SILL HEIGHT.



**1 SITE PLAN**  
 1/16"=1'-0"

1. ALL PENETRATIONS INTO SOUND RATED PARTITIONS OR FLOOR/CEILING ASSEMBLIES SHALL BE SEALED, LINED, OR INSULATED WITH AN APPROVED PERMANENT RESILIENT SEALANT.
2. ALL RIGID CONDUITS, DUCTS, PLUMBING PIPES, AND APPLIANCE VENTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE ISOLATED FROM THE BUILDING CONSTRUCTION BY MEANS OF RESILIENT SLEEVES, MOUNTS OR A MINIMUM 1/2" THICK APPROVED RESILIENT MATERIAL.
3. AN APPROVED PERMANENT AND RESILIENT ACOUSTICAL SEALANT SHALL BE PROVIDED ALONG THE JOINT BETWEEN THE FLOOR AND THE SEPARATION WALLS.
4. METAL VENTILATING AND CONDITIONAL AIR DUCTS LOCATED IN SOUND RATED ASSEMBLIES SHALL BE LINED EXCEPTION: DUCTS SERVING ONLY EXIT WAYS, KITCHEN COOKING FACILITIES, AND BATHROOMS NEED NOT BE LINED.
5. MINERAL FIBER INSULATION SHALL BE INSTALLED IN JOIST SPACES WHENEVER A PLUMBING, PIPING, OR DUCT PENETRATES A FLOOR-CEILING ASSEMBLY OR WHERE SUCH UNIT PASSES THROUGH THE PLANE OF THE FLOOR-CEILING ASSEMBLY FROM WITHIN A WALL. THE INSULATION SHALL BE INSTALLED TO A POINT 12" BEYOND THE PIPE OR DUCT. THIS REQUIREMENT IS NOT APPLICABLE TO FIRE SPRINKLER PIPE, GAS LINE OR ELECTRICAL CONDUIT.
6. ELECTRICAL OUTLET BOXES IN OPPOSITE FACES OF SEPARATION WALLS SHALL BE SEPARATED HORIZONTALLY BY 24" AND NOTE THAT BACK AND SIDES OF BOXES SHALL BE SEALED WITH 1/2" RESILIENT SEALANT AND BACKED BY A MINIMUM OF 2" THICK MINERAL FIBER INSULATION.
7. NO WALL FURNACE SHALL BE INSTALLED IN SOUND RATED PARTITIONS.
8. NO ELECTRICAL PANEL SHALL BE INSTALLED IN SOUND RATED PARTITIONS.

**2018 WSEC & VENTILATION RESIDENTIAL COMPLIANCE**

COMPLIANCE TO BE ACCOMPLISHED THROUGH THE PRESCRIPTIVE PATH REQUIREMENTS.

VERTICAL GLAZING U-FACTOR	0.30
SOLID DOOR U-FACTOR	0.20
INSULATION REQUIREMENTS	
ATTIC CEILING	R-49
VAULTED CEILING	R-38
WALLS ABOVE GRADE	R-21
WALLS BELOW GRADE (INTERIOR)	R-21
WALLS BELOW GRADE (EXTERIOR)	R-10
FLOOR	
SLAB ON GRADE	R-10
VAPOR RETARDER	
FLOORS	4 MIL. POLY
WALLS	4 MIL. POLY OR PVA PRIMER
CEILING	4 MIL. POLY OR PVA PRIMER

NO.	DATE	REVISION

**SITE PLAN**  
**RAMAN RESIDENCE**  
 17088 SE 58TH ST  
 BELLEVUE, WA 98006



3028 78th Ave SE  
 Mercer Island, WA 98040  
 (206) 215-1234  
 info@mercerbuilders.com

PROJECT: A-0.1



March 20, 2024

AOA-6971

Chris Lewis  
chris.lewis@mercerbuilders.com

**SUBJECT: Critical Areas Report for Raman Residence  
17088 SE 58<sup>th</sup> Street, Parcel 413947-0070, Bellevue, WA**

Dear Chris:

On November 29, 2022 AOA conducted a habitat assessment on the subject property to review the proposed steep slope buffer impacts associated with the expansion of the existing single-family residence.

## **1.0 EXISTING CRITICAL AREAS**

A steep slope is located in two areas within the northern portion of the site. The steep slope requires a standard 50-foot buffer from the top of the slope that encumbers the entire northern and central portions of the property. It is my understanding that there is currently a City designated 15-foot Native Growth Protection Easement and associated 10-foot structure setback from the top of the slope. The geotechnical engineer has stated that the top of slope buffer is stable and can be modified.

## **2.0 WILDLIFE HABITAT ASSESSMENT**

Prior to conducting the field investigations, the Washington State Department of Fish and Wildlife's Priority Habitats and Species (PHS) database was reviewed. No priority habitats or species were identified on or immediately adjacent to the proposed work area on the site as part of this mapping (**Attachment A**).

The project site consists of one 18,871 s.f. tax parcel that is nearly entirely developed with a single-family residence and associated yard. The northern portion of the site on the slope includes scattered ornamental and native trees with an understory dominated by Himalayan blackberry (*Rubus armeniacus*).

Surrounding land use consists entirely of single-family residential.

No large snags, downed logs, or other significant habitat features were observed on or adjacent to the site and no raptors or raptor nests were identified during the field investigation.

### **Wildlife Species of Local Importance**

Twenty-three (23) species have been designated by the City of Bellevue as species of local importance (**LUC 20.25H.150**). The potential of site utilization by each species is briefly described below:

- Bald eagle (*Haliaeetus leucocephalus*): site not located within Bald Eagle Buffer Management Zone per PHS data. Some potential occasional perching opportunity within larger trees in vicinity of site possible but does not have a primary association with habitat on or immediately adjacent site. Primary Association: no.
- Peregrine falcon (*Falco peregrinus*): generally associated with coastal cliffs and shorelines, but also use large buildings in city center. Use of project site unlikely. Primary Association: no.
- Common Loon (*Gavia immer*): no presence - highly aquatic species associated with large water bodies. Primary Association: no.
- Pileated woodpecker (*Dryocopus pileatus*): Pileated woodpeckers generally inhabit mature and old-growth forests, and second-growth forests with large snags and fallen trees. The range of the species encompasses all of the forested areas of the state. Although typically found in larger forested tracts, they are known to occur in suburban habitats as well. Their key breeding habitat need is the presence of large snags or decaying live trees for nesting, as this species generally excavates a new nest cavity each year. The breeding and nesting periods of the pileated woodpecker extends from late March to early July. Although some limited foraging potential is present, the lack of large snags limits the nesting potential of this species. Primary Association: no.
- Vaux's swift (*Chaetura vauxi*): Vaux's swifts are strongly associated with old growth and mature forests throughout the state and are highly dependent on large hollow trees and snags for breeding and roosting. Although some minor potential for foraging, unlikely nesting or primary association on the site due to lack of large snags. Primary Association: no.
- Merlin (*Falco columbarius*): unlikely presence – generally require coastal or high elevation forests. Primary Association: no.
- Purple martin (*Progne subis*): unlikely presence – generally require cavities near or over water for nesting. Primary Association: no.
- Western grebe (*Aechmophorus occidentalis*): no presence – highly aquatic species associated with large water bodies. Primary Association: no.

- Great blue heron (*Ardea herodias*): unlikely presence – typically forage in larger wetlands or pasture which do not occur on-site. No roosts observed on or adjacent site. Primary Association: no.
- Osprey (*Pandion haliaetus*): unlikely presence - perch availability not adjacent large water body. Primary Association: no.
- Green heron (*Butorides striatus*): unlikely presence – not near large wetland or waterbody. Primary Association: no.
- Red-tailed hawk (*Buteo jamaicensis*): potential utilization of site for occasional perching, although no nests observed and not near significant open expanse. Primary Association: no.
- Western big-eared bat (*Plecotus townsendii*): potential presence, but no known nearby hibernacula or caves so not considered a habitat of primary association. Primary Association: no.
- Keen's myotis (*Myotis keenii*): potential presence, but generally associated with larger coniferous forests so not considered a habitat of primary association. Primary Association: no.
- Long-legged myotis (*Myotis volans*): potential presence, but generally associated with larger coniferous forests so not considered a habitat of primary association. Primary Association: no.
- Long-eared myotis (*Myotis evotis*): potential presence, but generally associated with larger coniferous forests so not considered a habitat of primary association. Primary Association: no.
- Oregon spotted frog (*Rana pretiosa*): no presence - believed to be extirpated from nearly all of western Washington and no ponding on the site. Primary Association: no.
- Western toad (*Bufo boreas*): presence possible but no breeding potential and not considered habitat of primary association. Primary Association: no.
- Western pond turtle (*Clemmys marmorata*): no presence - no ponding on site and no known nearby populations. Primary Association: no.
- Chinook (*Oncorhynchus tshawytscha*): no presence – no streams that support Chinook on or adjacent to the site. Primary Association: no.
- Bull trout (*Salvelinus confluentus*): no presence – no streams that support bull trout on or adjacent to the site. Primary Association: no.
- Coho salmon (*Oncorhynchus kisutch*): no presence – no streams that support Coho on or adjacent to site. Primary Association: no.

- River lamprey (*Lampetra ayresi*): no presence – no streams that support river lamprey on or adjacent to the site. Primary Association: no.

None of the 23 species of local importance appear to have a primary association with habitat on or adjacent to the project site. The proposed project consists of the expansion of the existing single-family residence and there are no anticipated significant impacts to any species of local importance from the proposed project.

### **3.0 PROPOSED SLOPE AND SLOPE BUFFER MODIFICATIONS**

The proposed project consists of the expansion of the existing single-family residence. As part of the project, 201 s.f. of the standard slope buffer would be permanently impacted by the development. All temporary impacts would be restored.

Due to the standard slope buffer encumbrances it is not possible to avoid the buffer modification. It is also my understanding that site grading is the minimum necessary to accomplish the goal of the project. The area in the vicinity of the slope buffer impact consists of existing yard that does not provide a significant habitat function. Per the arborist's report the project would remove two trees (see arborist report).

#### **3.1 Steep Slope and Slope Buffer Modification**

Any proposals to modify a critical area buffer must meet the criteria of **LUC 20.25H.255.A**

##### *A. General.*

*Except for the proposals described in subsection B of this section, the Director may approve, or approve with modifications, the proposed modification where the applicant demonstrates:*

- 1. The modifications and performance standards included in the proposal lead to levels of protection of critical area functions and values at least as protective as application of the regulations and standards of this code;*

We have prepared an enhancement plan (**Figures 1 through 6**) for an area of degraded habitat on the site. Enhancement will occur through the removal of invasive plant species and re-planting degraded or sparsely vegetated areas with a variety of native plant species. Implementation of this plan will increase critical area functions over current conditions.

- 2. Adequate resources to ensure completion of any required mitigation and monitoring efforts;*

Installation of the habitat enhancement plan should be a condition of any permit requirement by the City of Bellevue and the project would be maintained and monitored for a period of 5 years.

3. *The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers off-site; and*

The proposed work should not be detrimental to any off-site critical area functions.

4. *The resulting development is compatible with other uses and development in the same land use district.*

The residential project is compatible with adjacent land uses and is in line with the land use district.

We have also included the decision criteria of **LUC 20.25H.255.B**

*B. Decision Criteria – Proposals to Reduce Regulated Critical Area Buffer.*

*The Director may approve, or approve with modifications, a proposal to reduce the regulated critical area buffer on a site where the applicant demonstrates:*

1. *The proposal includes plans for restoration of degraded critical area or critical area buffer functions which demonstrate a net gain in overall critical area or critical area buffer functions;*

A habitat enhancement plan has been prepared for an area of degraded habitat in the northern portion of the site immediately adjacent to the proposed work area. Enhancement will occur through the removal of invasive plant species and re-planting degraded or sparsely vegetated areas with a variety of native plant species.

2. *The proposal includes plans for restoration of degraded critical area or critical area buffer functions which demonstrate a net gain in the most important critical area or critical area buffer functions to the ecosystem in which they exist;*

Since the primary function of the buffer on the site is as a component of the overall habitat on and adjacent to the property, an enhancement plan has been prepared to increase the plant species and structural diversity of the degraded habitat on the site.

3. *The proposal includes a net gain in stormwater quality function by the critical area buffer or by elements of the development proposal outside of the reduced regulated critical area buffer;*

The proposed project will be designed to incorporate all required City of Bellevue stormwater management measures.

4. *Adequate resources to ensure completion of any required restoration, mitigation and monitoring efforts;*

Installation of the habitat enhancement plan should be a condition of any permit requirement by the City of Bellevue and will include a 5-year maintenance and monitoring program.

5. *The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers off-site; and*

The proposed work should not be detrimental to any off-site critical areas.

6. *The resulting development is compatible with other uses and development in the same land use district. (Ord. 5680, 6-26-06)*

The residential project is compatible with adjacent land uses and is in line with the land use district.

### **3.2 Decision Criteria per LUC 20.30P.140**

The Director may approve or approve with modifications an application for a Critical Areas Land Use Permit if:

- A. *The proposal obtains all other permits required by the Land Use Code; and*

It is our understanding that all permits required by the Land Use Code will be obtained.

- B. *The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer; and*

The project will need to utilize all of the best available construction, design, and development techniques to ensure the least possible impact on the critical area and its buffer.

All plantings within the enhancement area will consist of native species and will be installed and maintained only by a qualified landscape contractor familiar with work in sensitive environments.

- C. *The proposal incorporates the performance standards of Part 20.25H LUC to the maximum extent applicable; and*

All of the applicable performance standards in LUC 20.25H would be implemented to the maximum extent possible.

- D. *The proposal will be served by adequate public facilities including streets, fire protection, and utilities; and*

It is our understanding that the proposal will be served by adequate public facilities including streets, fire protection, and utilities.

*E The proposal includes a mitigation or restoration plan consistent with the requirements of LUC 20.25H.210; except that a proposal to modify or remove vegetation pursuant to an approved Vegetation Management Plan under LUC 20.25H.055.C.3.i shall not require a mitigation or restoration plan; and*

A critical area enhancement plan has been prepared for a degraded portion of the site.

*F The proposal complies with other applicable requirements of this code.*

It is our understanding that all other applicable requirements of the Land Use Code will be met.

#### **4.0 FUNCTIONAL ASSESSMENT**

Per LUC 20.25H.250.B.5, the City of Bellevue requires an *analysis of the level of protection of critical area functions and values provided by the regulations or standards of this code, compared with the level of protection provided by the proposal. The analysis shall include:*

- a. A discussion of the functions and values currently provided by the critical area and critical area buffer on the site and their relative importance to the ecosystem in which they exist;*

Critical areas on the site include a steep slope. The steep slope requires a standard 50-foot buffer from the top of the slope. This steep slope buffer is currently almost entirely yard or existing house that does not provide a significant functional benefit to the slope.

The primary habitat function of the steep slope and steep slope buffer on this site are as a component of the overall habitat on and adjacent to the property and not as specific habitat for an individual species of local importance. The slope stability functions of the slope and slope buffer have been assessed by the geotechnical engineer.

- b. A discussion of the functions and values likely to be provided by the critical area and critical area structure setback on the site through application of the regulations and standards of this Code over the anticipated life of the proposed development; and*

The slope stability functions of the slope and structure setback have been assessed by the geotechnical engineer and these functions should continue following the proposed project.

- c. A discussion of the functions and values likely to be provided by the critical area and critical area structure setback on the site through the modifications*

*and performance standards included in the proposal over the anticipated life of the proposed development;*

Enhancement of a degraded area on the site will increase the habitat value of the property by increasing the plant species and structural diversity within the enhanced area. The proposed plantings will increase the quality of the preserved habitat. Without implementation of the proposed planting plan, the degraded area will likely continue to become established with invasive species such as Himalayan blackberry.

## **5.0 MONITORING PROGRAM**

We have prepared a mitigation plan (**Figures 1 through 6**) for the required slope and slope buffer impacts on the site. Mitigation will consist of enhancing with native plantings a degraded area on the property. The mitigation has been designed to increase the habitat quality of the degraded area by increasing the plant species and structural diversity over current conditions.

### **5.1 Goal, Objectives, and Performance Standards for Enhancement Areas**

The primary goal of the enhancement plan is to increase the habitat and protective functions of the degraded area on the site over current conditions. To meet this goal, the following objectives and performance standards have been incorporated into the design of the plan:

**Objective A:** Increase the structural and plant species diversity within the enhancement area.

*Performance Standard: There will be 100% survival of all woody planted species throughout the enhancement area at the end of the first year of planting. Following Year 1, success will be based on an 85% survival rate of all planted tree and shrub species or equivalent replacement of a combination of planted and re-colonized native species. Areal coverage of plantings or native re-colonized species will be at least 15% at Year 1, 20% at Year 2, 30% at Year 3, and 60% at Year 5.*

**Objective B:** Limit the amount of invasive and exotic species within the enhancement area.

*Performance Standard: After construction and following every monitoring event for a period of at least five years, exotic and invasive plant species will be maintained at levels below 10% total cover in all planted areas.*

### **5.2 Construction Management**

Prior to commencement of any work in the enhancement area, the clearing limits will be staked and all existing vegetation to be saved will be clearly marked. A pre-construction meeting will be held at the site to review and discuss all aspects of the project with the landscape contractor and the owner.

A consultant will supervise plan implementation during construction to ensure that objectives and specifications of the enhancement plan are met. Any necessary significant modifications to the design that occur as a result of unforeseen site conditions will be jointly approved by the City of Bellevue and the consultant prior to their implementation.

### **5.3 Monitoring Methodology**

As required, the monitoring program will be conducted for a period of five years with annual reports submitted to the City of Bellevue. Permanent vegetation sampling plots will be established to monitor the general appearance, health, mortality, colonization rates, percent cover, percent survival, volunteer plant species, and invasive weeds.

Photo-points will be established from which photographs will be taken throughout the monitoring period. These photographs will document general appearance and progress in plant community establishment in the enhancement area. Review of the photos over time will provide a visual representation of the success of the plan.

### **5.4 Maintenance Plan**

Maintenance will be conducted on a routine, year-round basis. Additional maintenance needs will be identified and addressed following a twice-yearly consultant maintenance review. Contingency measures and remedial action on the site shall be implemented on an as-needed basis at the direction of the consultant or the owner.

Routine removal and control of non-native and other invasive plants shall be performed by manual means whenever possible. Weed removal includes hand grubbing all roots and exporting off-site. Undesirable and weedy exotic plant species shall be maintained at levels below 10% total cover within any given stratum at any time during the five-year monitoring period.

### **5.5 Contingency Plan**

All dead plants will be replaced with the same species or an approved substitute species that meets the goal of the enhancement plan. Plant material shall meet the same specifications as originally installed material. Replanting will not occur until after the reason for failure has been identified (e.g., moisture regime, poor plant stock, disease, shade/sun conditions, wildlife damage, etc.). Replanting shall be completed under the direction of the consultant, City of Bellevue, or the owner.

### **5.6 As-Built Plan**

Following completion of construction activities, an as-built plan for the enhancement area will be provided to the City of Bellevue. The plan will identify and describe any changes in relation to the original approved plan.

### **5.7 Financial Guarantee**

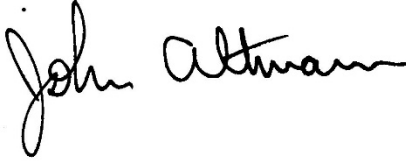
A financial guarantee will be posted to ensure that the mitigation and monitoring program is fully implemented.

Chris Lewis  
March 20, 2024  
Page **10** of **10**

If you have any questions regarding the critical areas report, please give me a call.

Sincerely,

ALTMANN OLIVER ASSOCIATES, LLC

A handwritten signature in black ink that reads "John Altmann". The signature is written in a cursive, flowing style.

John Altmann  
Ecologist

Attachments

# King County iMap



King County, EagleView Technologies, Inc.

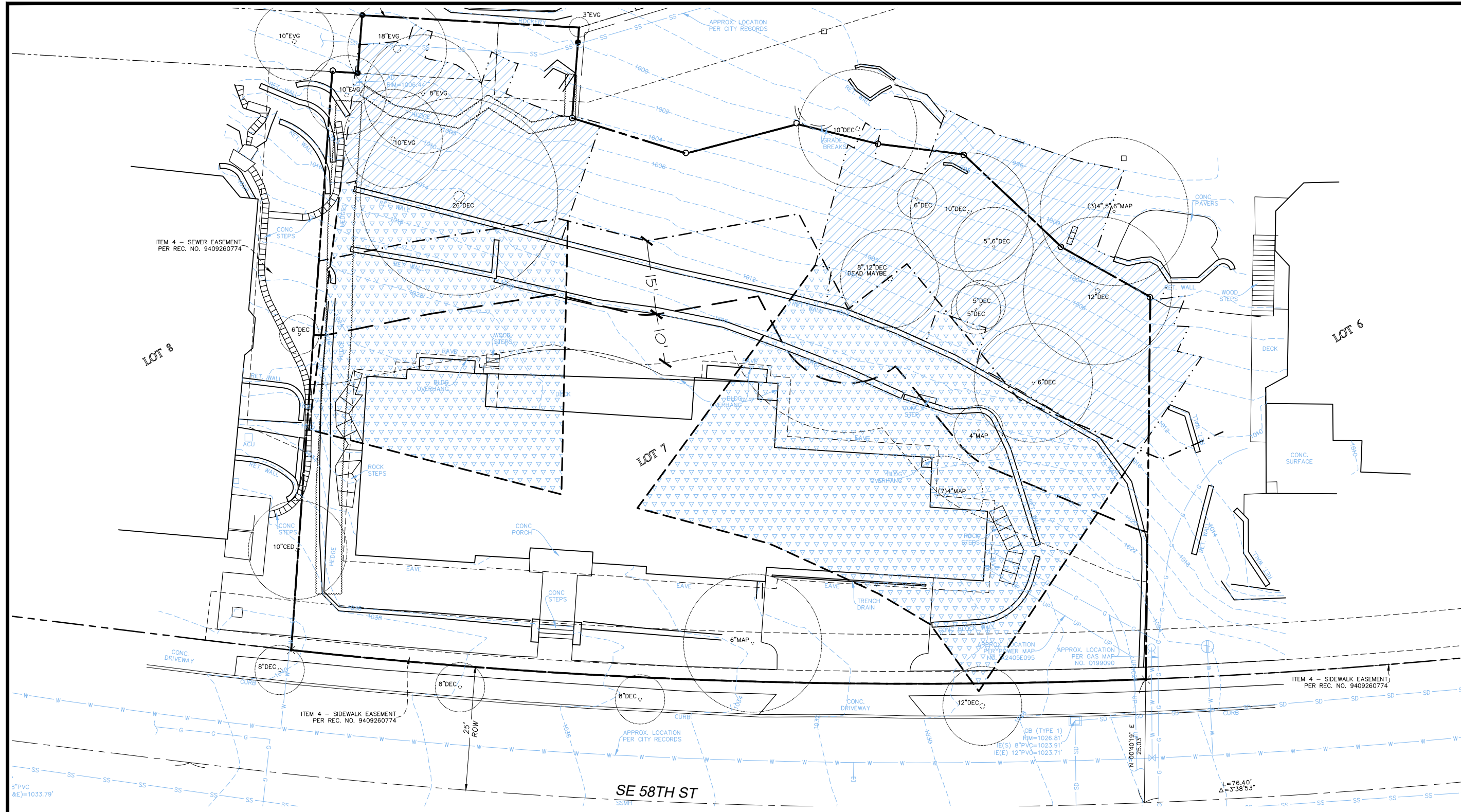
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Date: 3/15/2024

Notes:

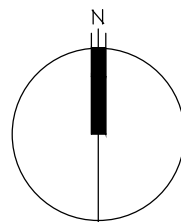
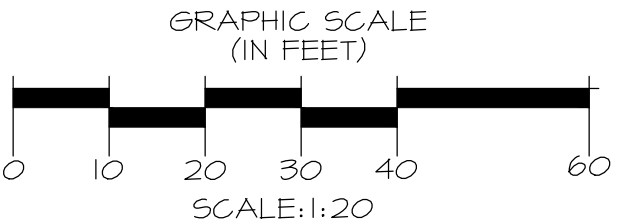


King County



**PLAN LEGEND**

- PROPERTY LINE
- BOUNDARY OF STEEP SLOPES
- TOP OF SLOPE
- STEEP SLOPE BUFFER (50' FROM TOP OF SLOPE)
- 15' NGPE PER CITY OF BELLEVUE
- 10' BSBL FROM NGPE

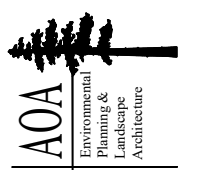


**NOTES**

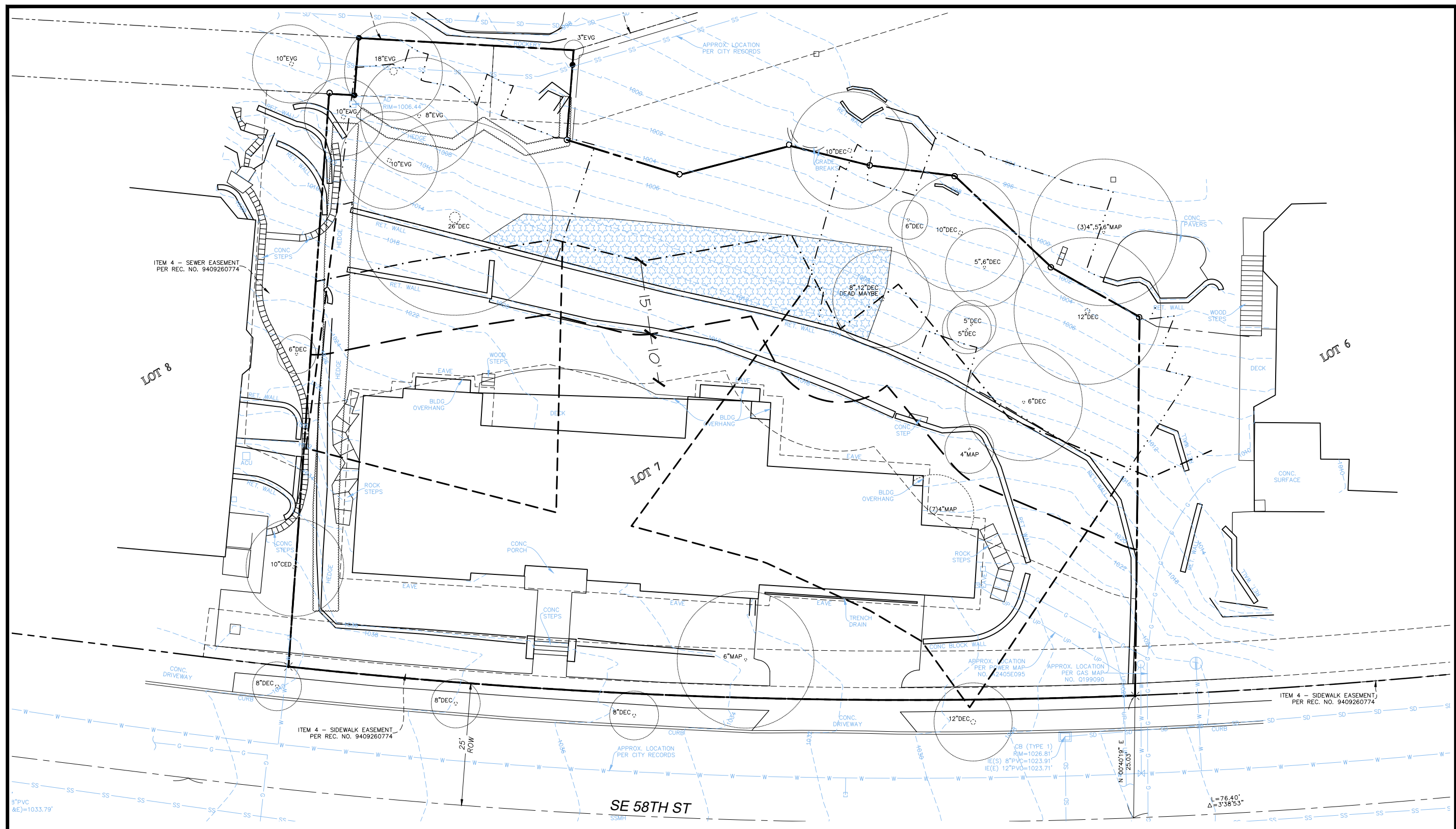
1. BASE INFORMATION PROVIDED BY DCG WATERSHED, 750 SIXTH STREET SOUTH, KIRKLAND, WA 98033, 425.822.5242.

PROJECT	6971
DRAWN	SO
SCALE	AS NOTED
DATE	3-20-24
REVISION	1/6

FIGURE 1: EXISTING CONDITIONS  
 LEWIS PROPERTY - STEEP SLOPE MITIGATION PLAN  
 17088 SE 58TH STREET  
 BELLEVUE, WA 98006  
 PARCEL 41394T000

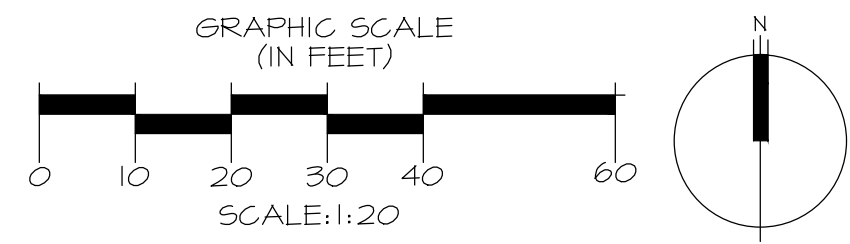


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**EXISTING VEGETATION LEGEND**

	100% HIMALAYAN BLACKBERRY	1,054 SF
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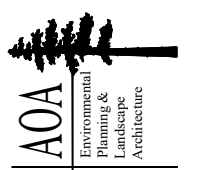


**NOTES**

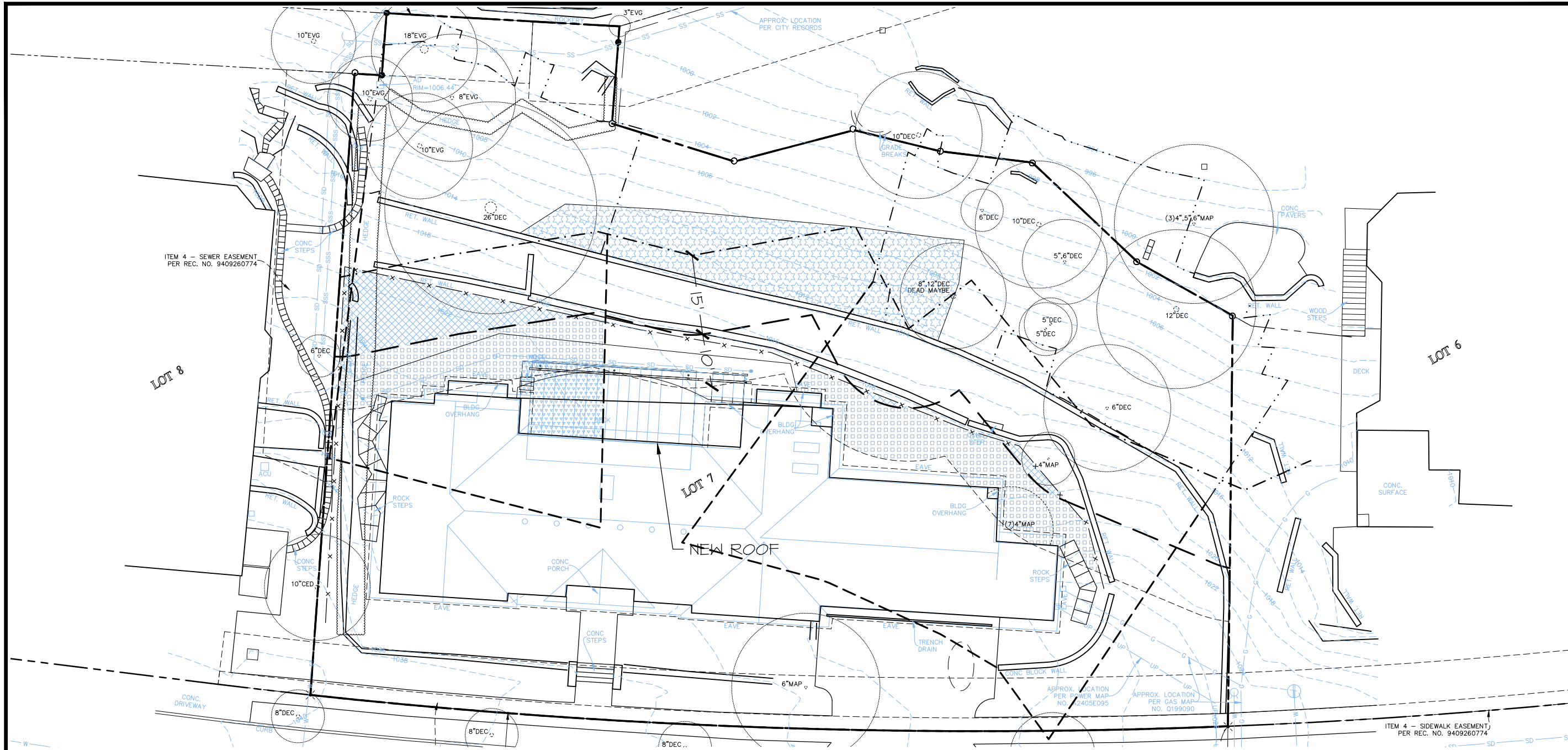
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FIGURE 2: EXISTING VEGETATION MAP  
LEWIS PROPERTY - STEEP SLOPE MITIGATION PLAN  
17088 SE 58TH STREET  
BELLEVUE, WA 98006  
PARCEL 41394T0070



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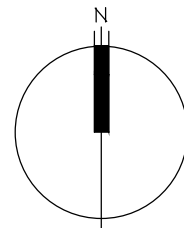
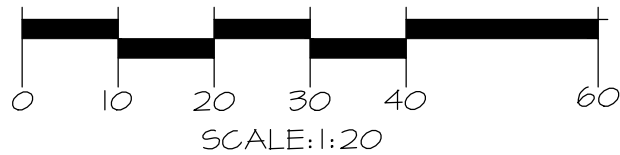
**IMPACT LEGEND**

	PERMANENT BUFFER/BSBL IMPACTS	201 SF
	TEMPORARY BUFFER IMPACTS	406 SF
	TEMPORARY BSBL IMPACTS	1,005 SF

**MITIGATION LEGEND**

	BUFFER RESTORATION TO BE PLANTED WITH NATIVE TREES, SHRUBS AND GROUNDCOVER AT 100% DENSITY	406 SF
	BSBL RESTORATION TO BE RESTORED BACK TO LANDSCAPE	1,005 SF
	MITIGATION AREA - REMOVE HIMALAYAN BLACKBERRY AND PLANT NATIVE TREES, SHRUBS AND GROUNDCOVER AT 100% DENSITY	1,054 SF

GRAPHIC SCALE  
(IN FEET)



**NOTES**

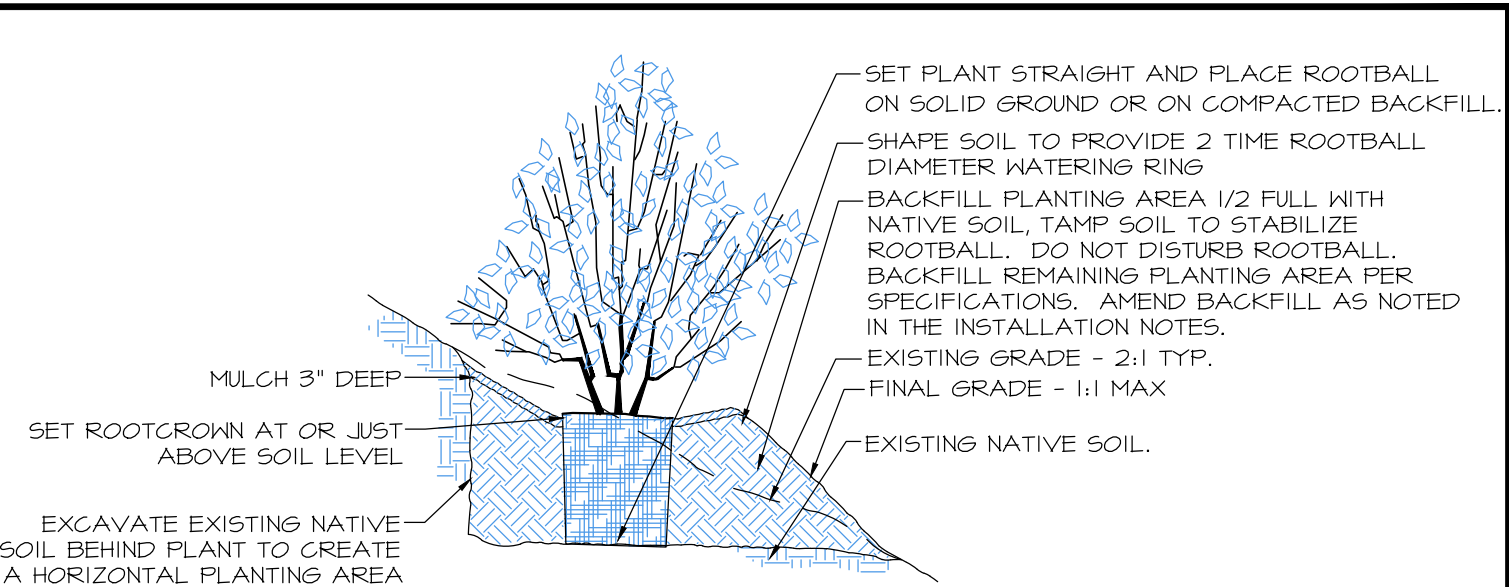
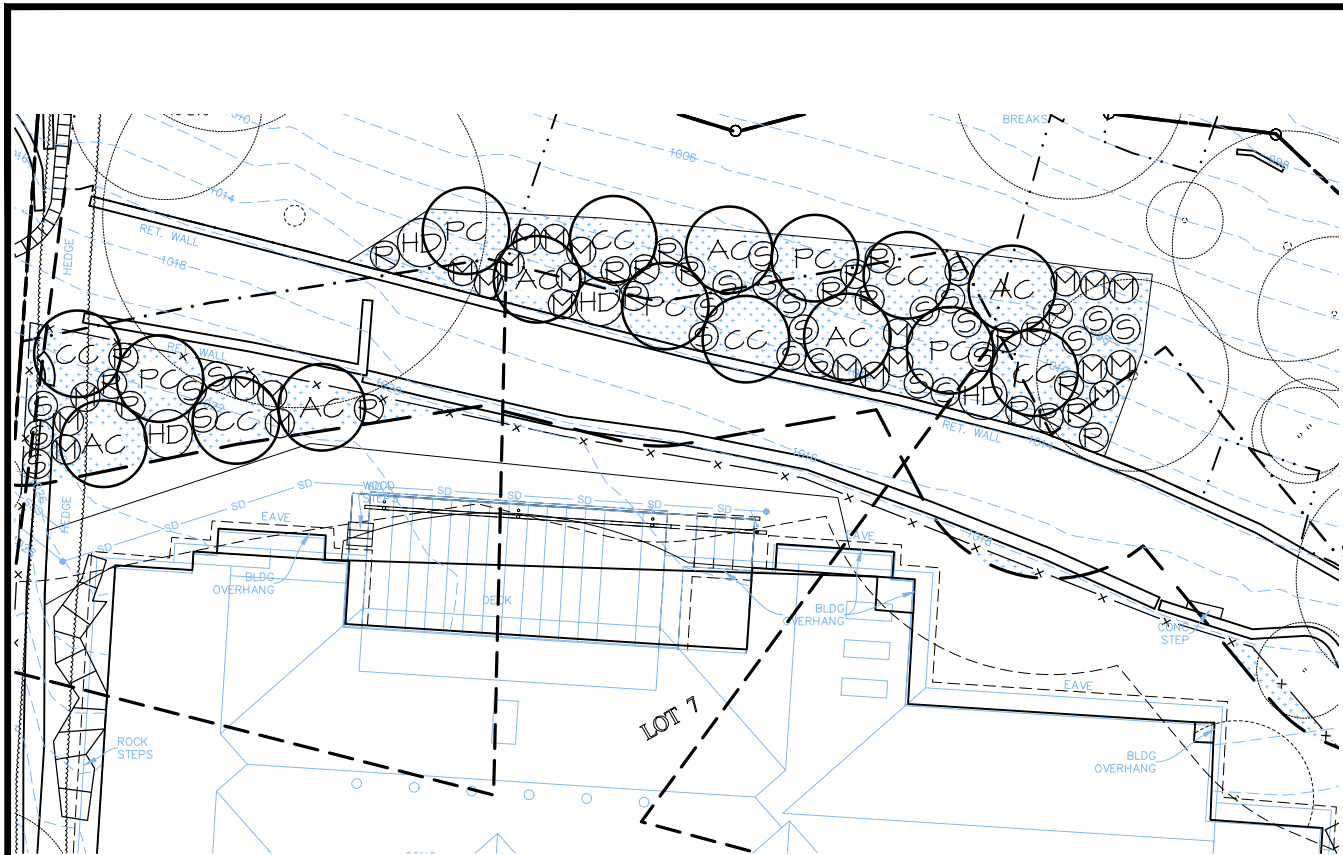
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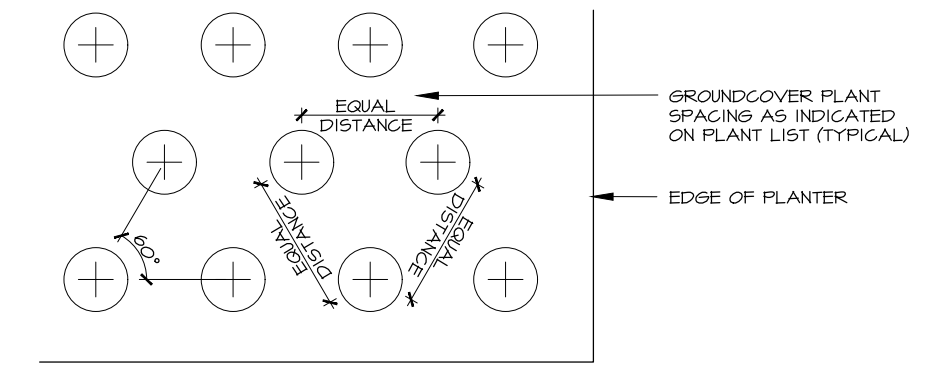
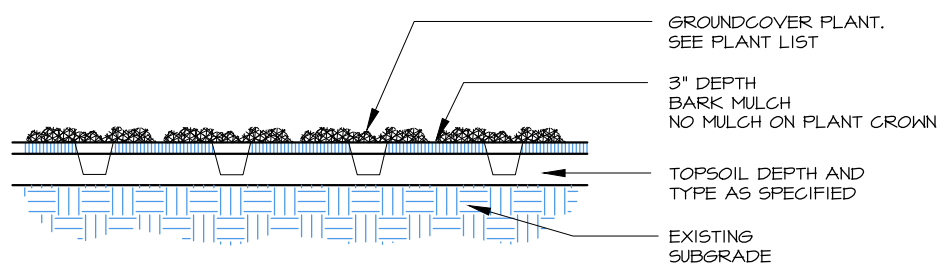
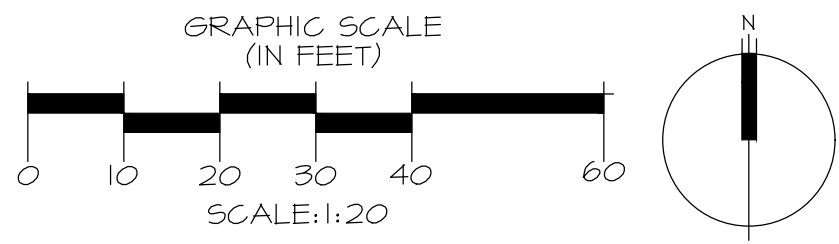
FIGURE 3: IMPACTS & MITIGATION  
LEWIS PROPERTY - STEEP SLOPE MITIGATION PLAN  
17088 SE 58TH STREET  
BELLEVUE, WA 98006  
PARCEL 41394T000



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**1 CONTAINER TREE/SHRUB PLANTING ON SLOPE**  
SCALE: NTS



**PLANT SCHEDULE**

**TREES**

KEY SCIENTIFIC NAME	COMMON NAME	DENSITY	QTY.	SIZE (MIN.)	NOTES
AC ACER CIRCINATUM	VINE MAPLE	9' O.C.	6	2 GAL.	MULTI-STEM (3 MIN.)
CC CORYLUS CORNUTA	WESTERN HAZELNUT	9' O.C.	6	2 GAL.	MULTI-STEM (3 MIN.)
PC PINUS CONTORTA	SHORE PINE	9' O.C.	5	2 GAL.	FULL & BUSHY

**SHRUBS**

KEY SCIENTIFIC NAME	COMMON NAME	DENSITY	QTY.	SIZE (MIN.)	NOTES
HD HOLODISCUS DISCOLOR	OCEAN SPRAY	4.5' O.C.	4	1 GAL.	MULTI-STEM (3 MIN.)
M MAHONIA AQUIFOLIUM	TALL OREGON GRAPE	4.5' O.C.	24	1 GAL.	FULL & BUSHY
R ROSA NUTKANA	NOOTKA ROSE	4.5' O.C.	22	1 GAL.	MULTI-STEM (3 MIN.)
S SYMPHORICARPOS ALBUS	SNOWBERRY	4.5' O.C.	25	1 GAL.	MULTI-STEM (3 MIN.)

**GROUNDCOVER**

KEY SCIENTIFIC NAME	COMMON NAME	SPACING	QTY.	SIZE (MIN.)	NOTES
POLYSTICHUM MUNITUM	SWORD FERN	3' O.C.	100	1 GAL.	FULL & BUSHY

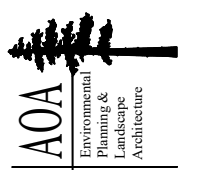
**2 GROUNDCOVER PLANTING**  
SCALE: NTS

**NOTES**

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PROJECT	6971
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FIGURE 4: PLANTING PLAN & DETAILS  
LEWIS PROPERTY - STEEP SLOPE MITIGATION PLAN  
17088 SE 58TH STREET  
BELLEVUE, WA 98006  
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# SPECIFICATIONS

1. IN JULY THROUGH SEPTEMBER, ALL HIMALAYAN AND EVERGREEN BLACKBERRY (AND OTHER INVASIVE WOODY VEGETATION) SHALL BE CUT TO 4" HEIGHT AND IMMEDIATELY (WITHIN A FEW MINUTES) TREATED WITH 100% GLYPHOSATE VIA A DROPPER BOTTLE TO CUT ENDS WITHIN THE BLACKBERRY INFESTED AREA - LOCATION IS DEPICTED AS APPROXIMATE ON FIGURE 2. CUT CANES TO BE CUT TO 18" MAX. PIECES TO DECOMPOSE ON THE SLOPE. WORKERS SHALL TIE OFF FROM EXISTING TREES PRIOR TO WORKING ON THE SLOPE IN EVENT OF FALLING.
2. IF POSSIBLE, ALL PLANTS SHOULD BE INSTALLED IN OCTOBER TO MINIMIZE POTENTIAL EROSION ON THE HILLSIDE.
3. ALL PLANTS SHALL BE PIT-PLANTED IN PLANTING PITS EXCAVATED 2X THE DIAMETER OF THE PLANT. PITS SHALL BE BACKFILLED WITH A 30/70 MIX OF STEERCO TO NATIVE SOIL. PITS SHALL BE AMENDED WITH A HYDRATED SOIL POLYMER (INSTALLED AT RATES PER MANUFACTURER'S SPECIFICATION). PLANTS SHALL BE INSTALLED 3" HIGH AND SURFACED MULCHED TO A DEPTH OF 3" WITH HOG-FUEL PLACED WITHIN A 24" DIAMETER AROUND EACH PLANT. INSTALL JUTE MESH OVER MULCH PER MANUFACTURE'S SPECIFICATIONS. SINGLE STAKE TREES WITH A BIODEGRADABLE BAMBOO STAKE AND BIODEGRADABLE TAPE.
4. ALL PLANTS SHALL BE NURSERY GROWN (IN W. WA OR OR.) FOR AT LEAST 1 YEAR FROM PURCHASE DATE, FREE FROM DISEASE OR PESTS, WELL-ROOTED, BUT NOT ROOT-BOUND AND TRUE TO SPECIES.
5. UPON COMPLETION OF PLANTING, ALL PLANTS SHALL BE THOROUGHLY WATERED.
6. UPON APPROVAL OF PLANTING INSTALLATION BY AOA, THE CITY OF BELLEVUE WILL BE NOTIFIED TO CONDUCT A SITE REVIEW FOR FINAL APPROVAL OF CONSTRUCTION OF THE MITIGATION.
7. ALL PLANTS SHALL BE HAND-WATERED OR WATERED VIA A TEMPORARY DRIP IRRIGATION SYSTEM DESIGNED BY THE LANDSCAPE CONTRACTOR. WATERING SHOULD OCCUR TWICE-WEEKLY JUNE 15-OCTOBER 15 THE FIRST YEAR AFTER PLANTING AND ONCE WEEKLY JULY 1-OCTOBER 1 THE SECOND YEAR AFTER PLANTING. FLOW SHOULD OCCUR AT A RATE OF 1/2" OF WATER DURING EACH WATERING EVENT, ENSURING COMPLETE SATURATION OF THE ROOT ZONE.
8. MAINTENANCE AND MONITORING SHALL BE PERFORMED UPON CONSTRUCTION COMPLETION FOR A PERIOD OF AT LEAST 5 YEARS (UNLESS EARLY SIGN-OFF IS GRANTED BY THE CITY) - SEE FIGURE 6.
9. MAINTENANCE SHALL BE IMPLEMENTED ON A REGULAR BASIS ACCORDING TO THE SCHEDULE BELOW.
10. AN AS-BUILT PLAN MUST BE SUBMITTED FOR CITY REVIEW AND ACCEPTANCE PRIOR TO COMMENCEMENT OF THE REQUIRED 5 YEAR MAINTENANCE AND MONITORING PERIOD.

## ANNUAL MAINTENANCE SCHEDULE

MAINTENANCE ITEM	J	F	M	A	M	J	J	A	S	O	N	D
WEED CONTROL			1		1		1			1		
GENERAL MAINT.			1		1		1			1		
WATERING - YEAR 1						4	8	8	8	4		
WATERING - YEAR 2							4	4	4			

1-8 = NUMBER OF TIMES TASK SHALL BE PERFORMED PER MONTH.

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DATE	3-20-24
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FIGURE 5: SPECIFICATIONS  
 LEWIS PROPERTY - STEEP SLOPE MITIGATION PLAN  
 17088 SE 58TH STREET  
 BELLEVUE, WA 98006  
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# MAINTENANCE & MONITORING PLAN

## CONSTRUCTION MANAGEMENT

1. Prior to commencement of any work in the mitigation planting area, the clearing limits will be staked and all existing vegetation to be saved will be clearly marked. A pre-installation meeting will be held at the site to review and discuss all aspects of the project with the owner, AOA, the geotechnical engineer and the civil engineer.
2. A biologist will supervise plan implementation during construction to ensure that objectives and specifications of the mitigation planting area are met.
3. Any necessary significant modifications to the design that occur as a result of unforeseen site conditions will be jointly approved by the City of Bellevue and the biologist prior to their implementation.

## MONITORING METHODOLOGY

1. The monitoring program will be conducted twice yearly (in the beginning and end of the growing season) for a period of five years, with reports submitted annually (at the end of the growing season) to the City of Bellevue.
2. Vegetation establishment within the mitigation planting area will be monitored during each field visit with a record kept of all plant species found.
3. Photo-points will be established from which photographs will be taken throughout the monitoring period. These photographs will document general appearance and progress in plant community establishment in the mitigation area. Review of the photos over time will provide a semi-quantitative representation of success of the restoration plan.

## PERFORMANCE STANDARDS

Success of plant establishment within the mitigation planting area will be evaluated on the basis of percent survival of planted species.

1. Native woody cover will be a minimum of; 10% at construction completion, 15% at year 1, 20% at year 2, 30% at year 3 and 60% at year 5.
2. There will be 100% survival of all woody planted species throughout the mitigation planted area at the end of the first year of planting. For years 2-5, success will be based on an 85% survival rate or similar number of recolonized native woody plants.
3. Exotic and invasive plant species will be maintained at levels below 10% total cover. Removal of these species will occur immediately following the monitoring event in which they surpass the above maximum coverage. Removal will occur by hand whenever possible.

## MAINTENANCE (M) & CONTINGENCY (C)

1. Established performance standards for the project will be compared to the monitoring results in order to judge the success of the mitigation project.
2. Contingency will include many of the items listed below and would be implemented if these performance standards are not met.
3. Maintenance and remedial action on the site will be implemented immediately upon completion of the monitoring event, (unless otherwise specifically indicated below).

- replace dead plants with the same species or a substitute species that meet the goal of the mitigation plan (C)
- re-plant areas after reason for failure has been identified (e.g., moisture regime, poor plant stock, disease, shade/sun conditions, wildlife damage, etc.) (C)
- irrigate following plant installation for five years (M)

## PERFORMANCE BOND

1. A performance bond or other surety device will be posted with the City of Bellevue by the applicant to cover the costs of mitigation plan implementation (including labor, materials, maintenance, and monitoring).
2. The bond or assignment may be released in partial amounts in proportion to work successfully completed over the five year monitoring period, as the applicant demonstrates performance and corrective measures.

PROJECT	6971
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DATE	3-20-24
REVISED	6/6

FIGURE 6: MAINTENANCE & MONITORING PLAN  
LEWIS PROPERTY - STEEP SLOPE MITIGATION PLAN  
17088 SE 58TH STREET  
BELLEVUE, WA 98006  
PARCEL 41394T0070



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# Priority Habitats and Species on the Web

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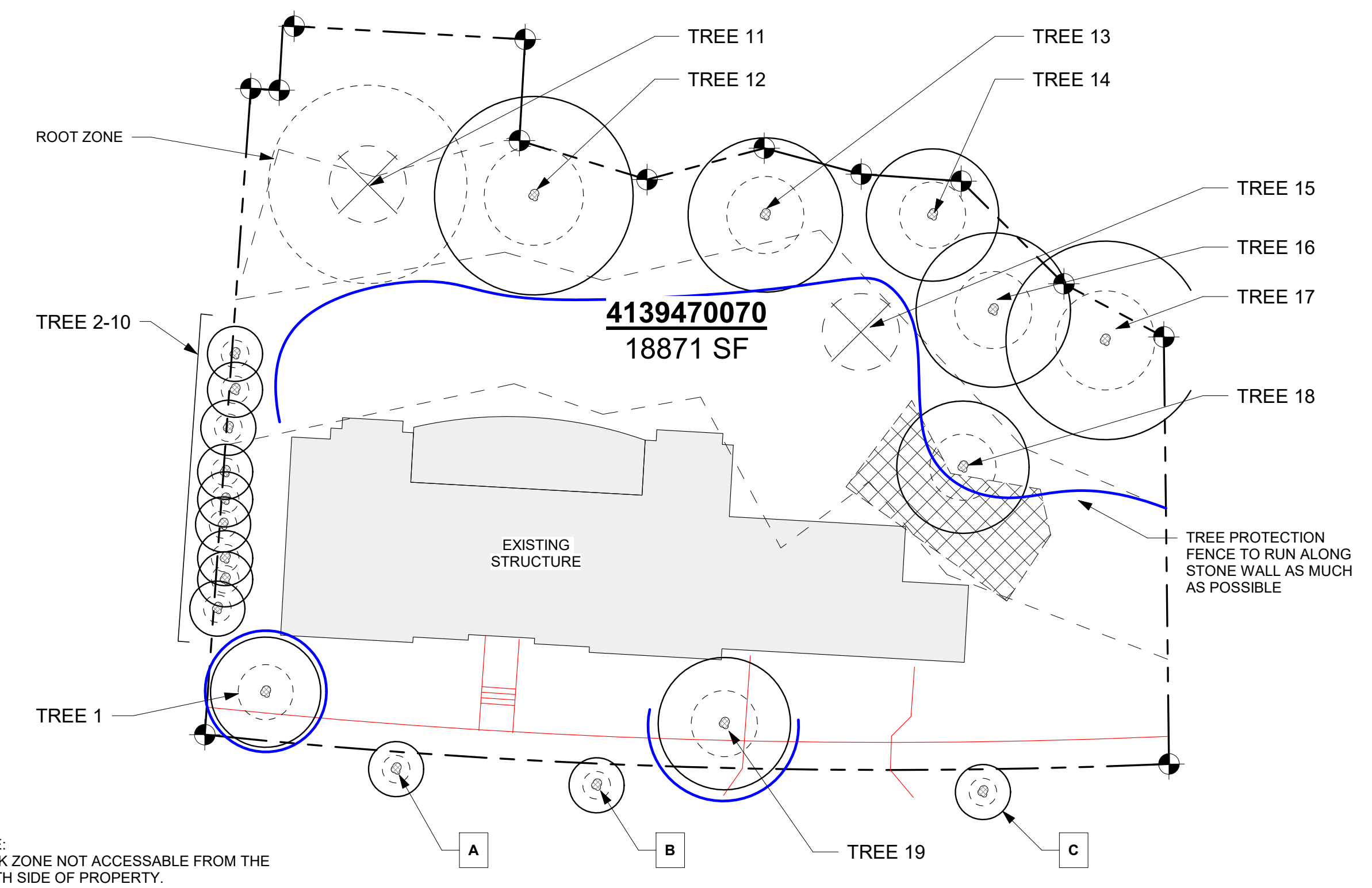
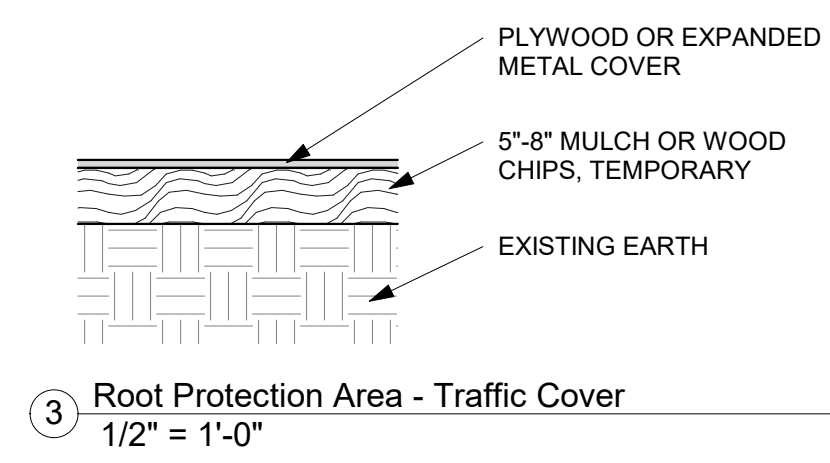


**Report Date: 03/15/2024, Parcel ID: [4139470070](#)**

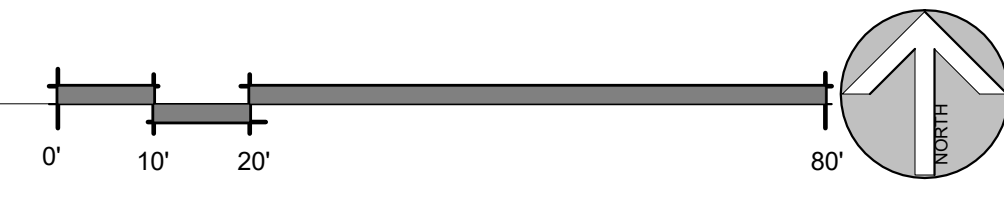
**The Priority Habitats and Species (PHS) datasets do not contain information for your project area. This does not mean that species and habitats do not occur in your project area. PHS data, points, lines and polygons are mapped only when occurrences of these species or habitats have been observed in the field. Unfortunately, we have not been able to comprehensively survey all sections in the state and therefore, it is important to note that priority species and habitats may occur in areas not currently known to the Department.**

DISCLAIMER. This report includes information that the Washington Department of Fish and Wildlife (WDFW) maintains in a central computer database. It is not an attempt to provide you with an official agency response as to the impacts of your project on fish and wildlife. This information only documents the location of fish and wildlife resources to the best of our knowledge. It is not a complete inventory and it is important to note that fish and wildlife resources may occur in areas not currently known to WDFW biologists, or in areas for which comprehensive surveys have not been conducted. Site specific surveys are frequently necessary to rule out the presence of priority resources. Locations of fish and wildlife resources are subject to variation caused by disturbance, changes in season and weather, and other factors. WDFW does not recommend using reports more than six months old.

	TREE DRIP LINE (DL)
	DIAMETER STANDARD HEIGHT (DSH)
	EVERGREEN TREE
	DECIDUOUS TREE
	TREE TO BE REMOVED
	TREE PROTECTION FENCING
	NEW TREE
	ROOT PROTECTION AREA



ARBORISTS SITE PLAN  
1" = 20'-0"



TREE #	TREE TYPE	DBH	DRIPLINE	CONDITION	RETAIN OR REMOVE
1	DOGWOOD <i>Cornus</i>	8"	10'	GOOD	RETAIN
2	ARBORVITEA <i>Thuja</i>	12"	4.5'	GOOD	RETAIN
3	ARBORVITEA <i>Thuja</i>	10"	4.5'	GOOD	RETAIN
4	ARBORVITEA <i>Thuja</i>	8"	4.5'	GOOD	RETAIN
5	ARBORVITEA <i>Thuja</i>	11"	4.5'	GOOD	RETAIN
6	ARBORVITEA <i>Thuja</i>	8"	4.5'	GOOD	RETAIN
7	ARBORVITEA <i>Thuja</i>	9"	4.5'	GOOD	RETAIN
8	ARBORVITEA <i>Thuja</i>	8"	4.5'	GOOD	RETAIN
9	ARBORVITEA <i>Thuja</i>	10"	4.5'	GOOD	RETAIN
10	ARBORVITEA <i>Thuja</i>	12"	4.5'	GOOD	RETAIN
11	MAPLE <i>Acer</i>	10"	16'	GOOD	RETAIN
12	WILLOW <i>Salix</i>	26"	18'	POOR	REMOVE - LIVE HABITAT
13	RED ALDER <i>Alnus Rubra</i>	10"	14'	GOOD	RETAIN
14	MAPLE <i>Acer</i>	8"	12'	GOOD	RETAIN - 2 STEM
15	CHERRY <i>Prunus Avium</i>	16.5"	18'	POOR - 50% CANOPY	REMOVE - 2 STEM PARTIALLY FALLEN
16	MAPLE <i>Acer</i>	8"	14'	GOOD	RETAIN
17	MAPLE <i>Acer</i>	12"	18'	GOOD	RETAIN
18	JAPANESE MAPLE <i>Acer Palmatum</i>	10.5"	12'	GOOD	RETAIN - 7 STEM
19	JAPANESE MAPLE <i>Acer Palmatum</i>	8"	12'	GOOD	RETAIN - 5 STEM

OFFSITE TREES IN RIGHT-OF-WAY

A	CHERRY <i>Prunus Avium</i>	GOOD
B	CHERRY <i>Prunus Avium</i>	GOOD
C	CHERRY <i>Prunus Avium</i>	GOOD

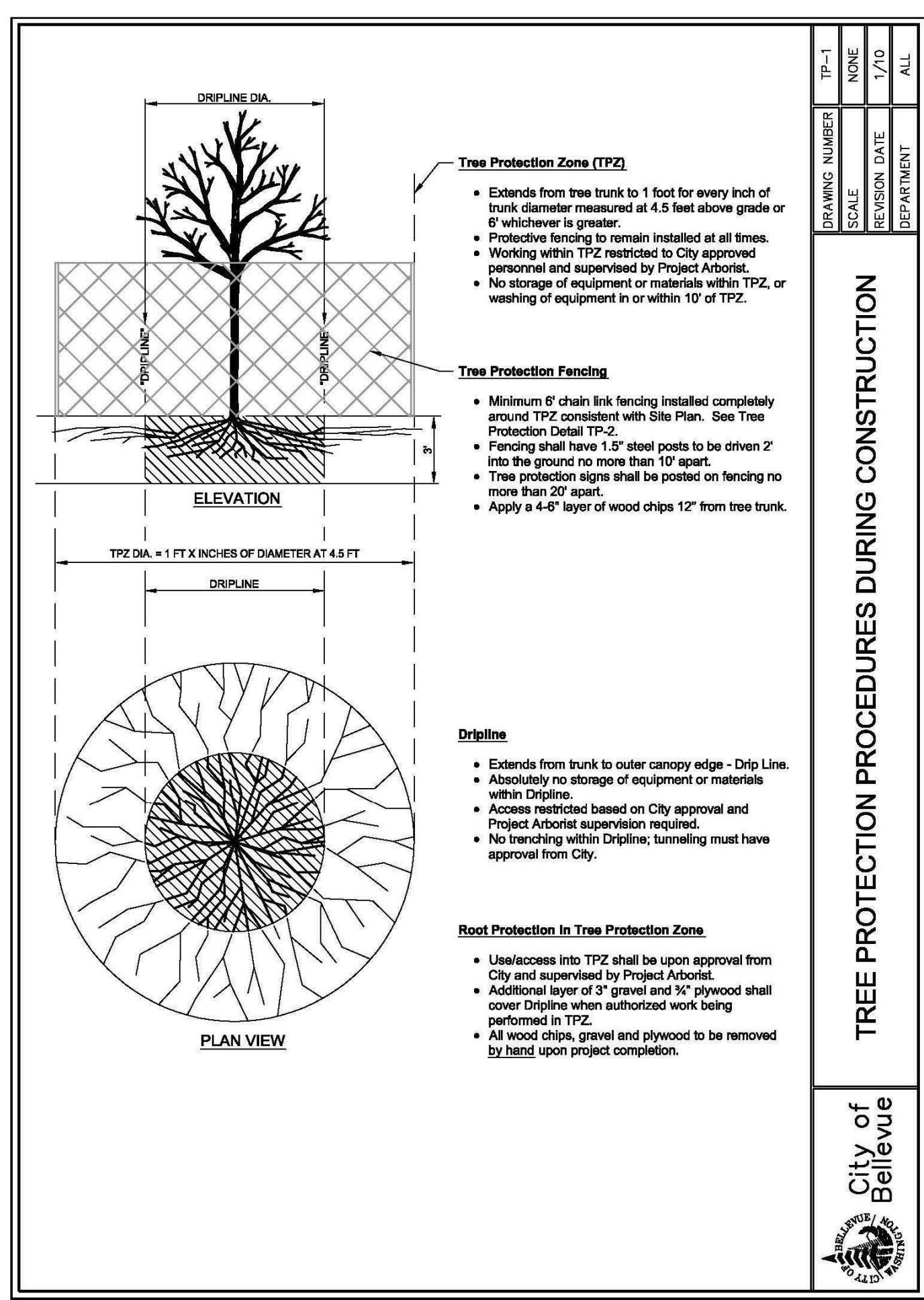
NOTE:  
1. TREE 18 TO UNDERGO PRECONSTRUCTION SELECTIVE PRUNING TO INCLUDE TEMPORARY TIE-BACK OF BRANCHES WITHIN THE CONSTRUCTION ZONE/PATHWAY.  
2. PROJECT ARBORIST TO BE ONSITE DURING WORK ON TREE 18.

PREPARED BY:  
NEAL BAKER  
ARBORISTS NW.COM  
ISA CERT. PN1075A  
TRAQ ISA (TREE RISK ASSESSMENT QUALIFIED)  
MEMBER AREA & SOCA  
PH: 206 779 2579



Arborists NW is a full spectrum arboricultural, consulting and landscape design and installation provider. When you think tree and landscape services, think Arborists NW.  
ONLINE: <https://arboristsnw.com/>  
PHONE: 206-779-2579  
EMAIL: [neal@arboristsnw.com](mailto:neal@arboristsnw.com)

No.	Description	Date



Tree Protection Requirements

2 Bellevue Tree Protection Detail  
1/2" = 1'-0"

**RAMAN PROJECT**

17088 SE 58TH ST., BELLEVUE, WA 98004

RAMAN PROJECT

**ARBORIST TREE PLAN**

Project number	23005
Date	--
Drawn by	CW
Checked by	NB

**X100**

Scale As indicated

# 17088 SE 58TH ST BELLEVUE, WA 98006 SITE DEVELOPMENT PLANS

## BASIS OF BEARINGS:

N 87°55'20" W BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF SE 58TH ST, CALCULATED PER REFERENCE NO. 1.

## REFERENCES:

R1. LAKEMONT DIV. 3-C, VOL. 170, OF PLATS, PG. 54, RECORDS OF KING COUNTY, WASHINGTON.

## VERTICAL DATUM:

NAVD 88 PER GPS OBSERVATIONS

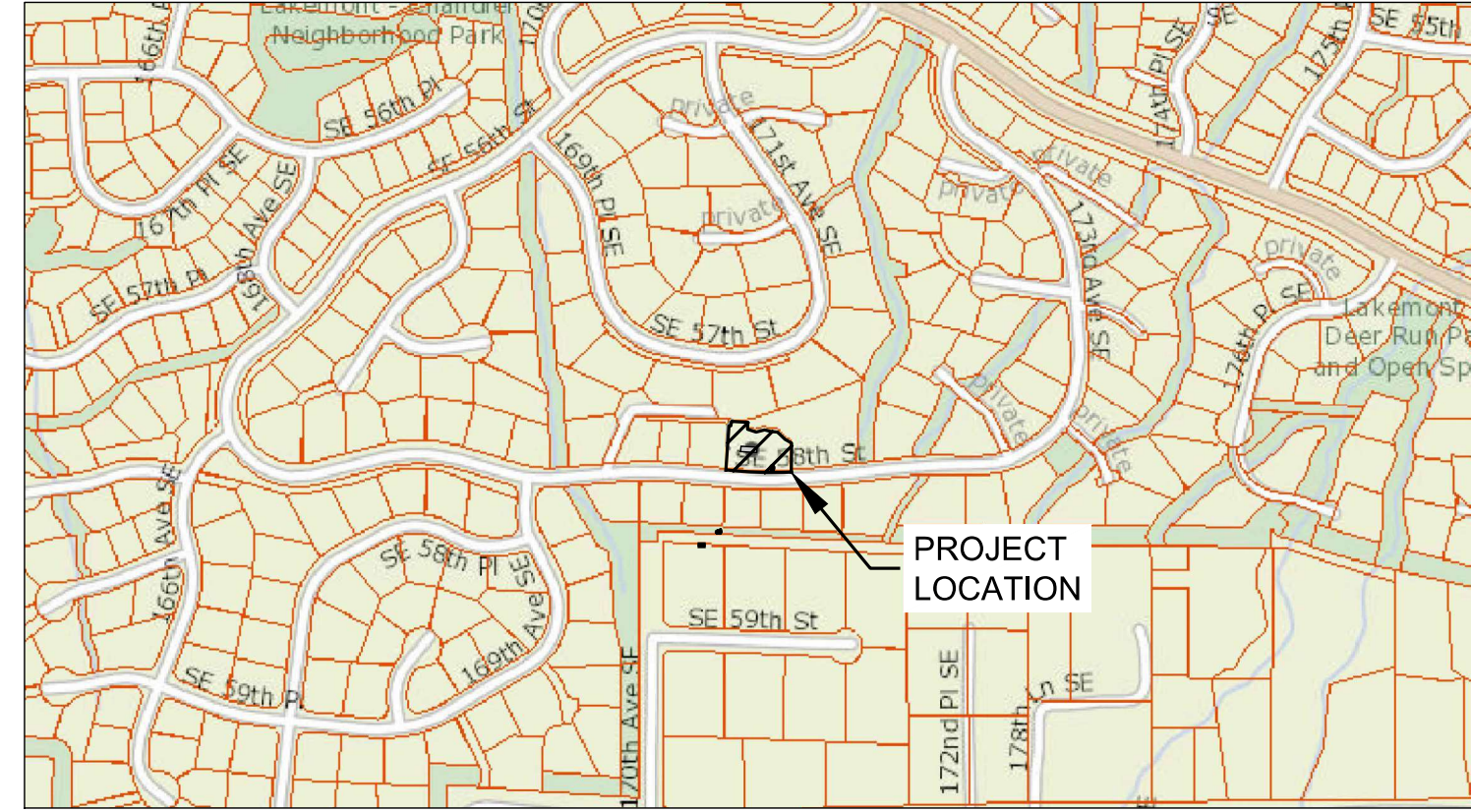
## LEGAL DESCRIPTION:

LOT 7, LAKEMONT DIV. 3-C, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 170 OF PLATS, PAGE(S) 54 THROUGH 56, INCLUSIVE, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

## SURVEY INFORMATION:

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2022. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 4139470070
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 18,872 S.F. (0.43 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.



VICINITY MAP  
NTS

## ABBREVIATIONS:

BOTW = BOTTOM OF WALL  
 CB = CATCH BASIN  
 COB = CITY OF BELLEVUE  
 CW = CONCRETE WALK  
 EG = EXISTING GRADE  
 EOC = END OF CURB  
 EX = EXISTING  
 FF = FILTER FENCE  
 FG = FINISHED GRADE  
 FL = FLOW LINE  
 G = GAS LINE  
 OHP = OVERHEAD POWER  
 PERF = PERFORATED PVC PIPE  
 PL = PROPERTY LINE  
 ROW = RIGHT OF WAY  
 SD = STORM DRAIN  
 SDCO = STORM DRAIN CLEANOUT  
 SFR = SINGLE FAMILY RESIDENCE  
 SS = SANITARY SEWER  
 SSMH = SANITARY SEWER MANHOLE  
 SSS = SANITARY SIDE SEWER  
 SSSCO = SANITARY SIDE SEWER CLEANOUT  
 TOC = TOP OF CURB  
 TOPW = TOP OF WALL  
 TYP = TYPICAL  
 UGP = UNDERGROUND POWER  
 W = WATER  
 WM = WATER METER  
 WSDOE = WASHINGTON STATE DEPARTMENT OF ECOLOGY

## CONTACTS:

**APPLICANT:**  
 HYMA AND SRIDHAR RAMAN  
 17088 SE 58TH ST  
 BELLEVUE, WA 98006

**ARCHITECT:**  
 MERCER BUILDERS, LLC  
 3026 78TH AVE SE  
 PHONE: (206) 275-1234  
 ATTN: CHRIS LEWIS

**ENGINEER:**  
 DAVIDO CONSULTING GROUP, INC.  
 9706 4TH AVE NE, SUITE 300  
 SEATTLE, WA 98115  
 PHONE: (206) 523-0024  
 FAX: (206) 523-1012  
 ATTN: BEN IDDINS, PE

**SURVEYOR:**  
 TERRANE  
 10801 MAIN ST, SUITE 102  
 PHONE: (425) 458-4488  
 ATTN: JACOB MILLER, P.L.S.

**CITY OF BELLEVUE PERMIT CENTER:**  
 (425) 452-4898  
 permits@bellevuewa.gov

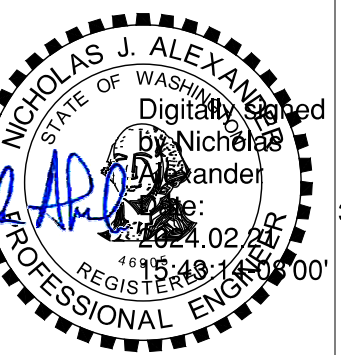
**PROJECT ADDRESS:**  
 17088 SE 58TH ST  
 BELLEVUE, WA 98006

INDEX OF SHEETS		
DWG NO.	SHEET NO.	SHEET TITLE
1	C01	COVER SHEET
2	C02	SMALL PARCEL EROSION AND SEDIMENT CONTROL PLAN
3	C03	DRAINAGE PLAN & UTILITY PLAN
4	C04	DETAILS

FILE LOCATION: C:\CLIENTS\CIVIL\MERCER BUILDERS\17088 SE 58TH ST BELLEVUE\DWG\17088 SE 58TH ST BELLEVUE.DWG. ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES). LAST MODIFIED BY: NICK ALEXANDER  
 PRINCIPAL: ED PROJECT MANAGER: NA DESIGNED BY: NA DRAWN BY: IH CHECKED BY: NA

NO. DATE BY REVISION

**DIG WATERSHED**  
 P: 425.822.5242  
 F: 425.827.8136  
 www.digwatershed.com  
 750 Sixth Street South  
 Kirkland, WA 98033  
 FEDERAL WAY | KIRKLAND | MOUNT VERNON | SEATTLE | SPOKANE | WHIDDEY ISLAND



**CALL 811  
 2 BUSINESS DAYS  
 BEFORE YOU DIG**  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

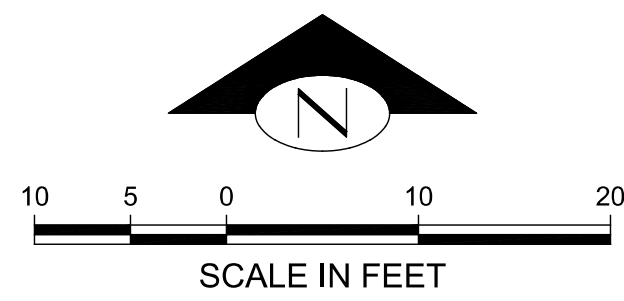
**17088 SE 58th St**  
 BELLEVUE, WA 98006  
 2306.0258.00

PERMIT PLANS

COVER SHEET

DATE: 2/21/2024  
 PLAN NUMBER:

**C01**  
 SHEET 1 OF 4



KEY NOTES:		
KEY	NOTE:	DETAIL/SHEET
1	INSTALL APPROX 280 LF PERIMETER PROTECTION*	BMP C233
2	AMEND ALL DISTURBED PERVIOUS SURFACES NOT REPLACED BY A HARD SURFACE IN ACCORDANCE W/ COB STANDARD PLAN NDP-1	NDP-1/C04
3	USE EX DRIVEWAY AS STABILIZED CONSTRUCTION ENTRANCE OR INSTALL TEMPORARY STABILIZED CONSTRUCTION ENTRANCE	BMP C105
4	INSTALL TEMPORARY STORM DRAIN INLET PROTECTION ON ALL INLETS ONSITE OR WITHIN 50 FEET OF THE PROJECT SITE	BMP C220
5	CONTRACTOR TO SWEEP STREET DAILY OR MORE OFTEN AS NECESSARY TO REMOVE TRACKED SEDIMENT FROM THE SITE	-
6	MATERIAL DELIVERY & STORAGE CONTAINMENT	BMP C153
7	EXISTING SFR TO REMAIN	-
8	APPROX LOCATION OF EX SD LINE, SITE STORMWATER POINT OF DISCHARGE	-
9	APPROX LOCATION OF EX SSS LINE, SITE SANITARY SEWER POINT OF DISCHARGE	-
10	EXISTING ROCKERY AND LANDSCAPE RETAINING WALLS TO REMAIN	-

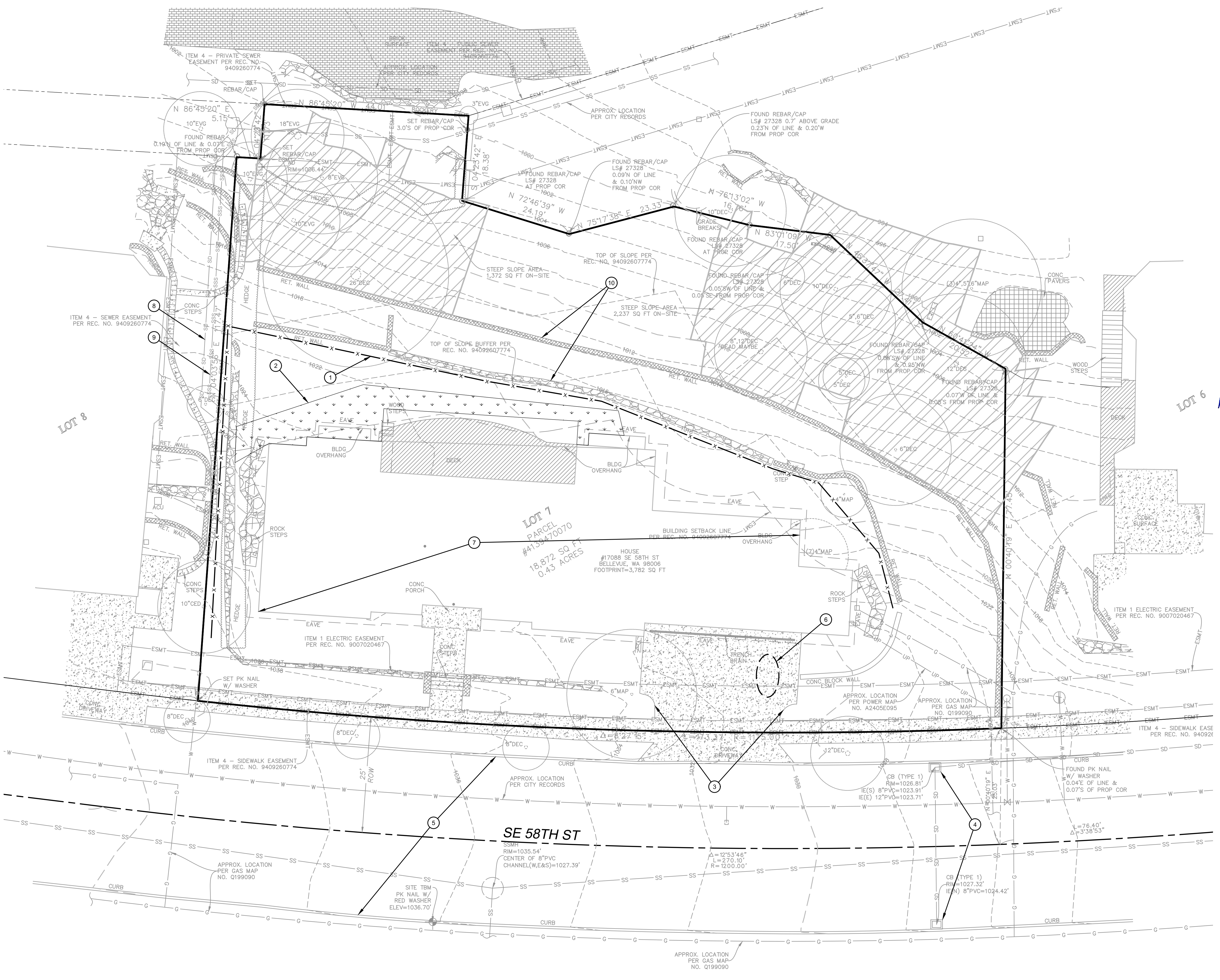
\*INSTALL PERIMETER PROTECTION SUCH AS SILT FENCING, COMPOST SOCKS, OR STRAW WATTLES IN ACCORDANCE WITH APPENDIX D OF THE 2012 SINGLE FAMILY RESIDENTIAL STORMWATER MANAGEMENT GUIDELINES

**LEGEND:**

- STABILIZED CONSTRUCTION ENTRANCE
- SOIL AMENDMENT
- PERIMETER PROTECTION
- HIGH VISIBILITY FENCING
- MATERIAL DELIVERY & STORAGE CONTAINMENT

**GENERAL NOTES:**

1. ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CLEARING AND GRADING INSPECTOR
2. TREE PROTECTION IS REQUIRED FOR ALL TREES TO REMAIN IN THE VICINITY OF THE WORK AREA
3. EARTHWORK WITHIN TREE DRIPLENS MUST BE PERFORMED UNDER THE SUPERVISION OF AN ARBORIST TO MINIMIZE DAMAGE TO TREE ROOTS
4. EROSION CONTROL IS REQUIRED FOR ALL TRENCHES FOR UTILITIES AND DRY UTILITIES INSTALLATION

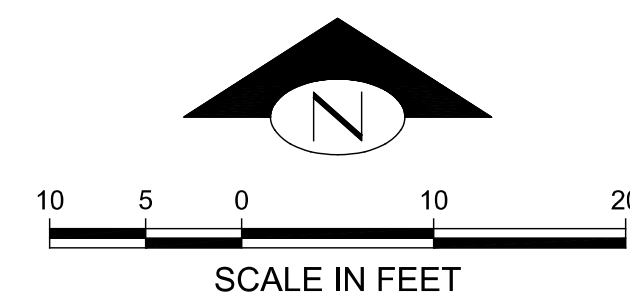


FILE LOCATION: C:\CLIENTS\CIVIL\MERCEDES BUILDINGS\17088 SE 58TH ST BELLEVUE\DWG\17088 SE 58TH ST BELLEVUE.DWG, ORIGINAL SHEET SIZE: ARCH FULL BLEED (36.00 X 24.00 INCHES) - LAST MODIFIED BY: NICK ALEXANDER  
 PRINCIPAL ED PROJECT MANAGER: NA DESIGNED BY: NA DRAWN BY: MH CHECKED BY: NA

**SMALL PARCEL EROSION AND SEDIMENT CONTROL PLAN**  
SCALE: 1" = 10'

<b>DICIG WATERSHED</b>	P. 425.822.5242 F. 425.827.8136 www.digwatershed.com	FEDERAL WAY   KIRKLAND   MOUNT VERNON   SEATTLE   SPOKANE   WHIDDEY ISLAND	DIG WATERSHED 750 Sixth Street South Kirkland, WA 98033
	<b>CALL 811 2 BUSINESS DAYS BEFORE YOU DIG</b> <small>(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)</small>		
<b>17088 SE 58th St</b> BELLEVUE, WA 98006 2306.0258.00			
<b>PERMIT PLANS</b>			
<b>SMALL PARCEL EROSION AND SEDIMENT CONTROL PLAN</b>			
DATE: 2/21/2024 PLAN NUMBER:			
<h1 style="font-size: 2em; margin: 0;">C02</h1>			
SHEET 2 OF 4			

KEY NOTES:		
KEY	NOTE	DETAIL/SHEET
1	EX SFR, TO REMAIN	-
2	ROOF DOWNSPOUT, TYP	-
3	PROTECT EX SANITARY SEWER LATERAL SERVING THE PROPERTY	-
4	STORMWATER POINT OF COMPLIANCE	-
5	CONTRACTOR TO LOCATE EX SD STUB PRIOR TO CONSTRUCTION TO CONFIRM INVERT CAN SUPPORT GRAVITY FLOW OF PROPOSED DOWNSPOUT ROUTING. IF GRAVITY FLOW IS NOT FEASIBLE, A PUMP WILL BE REQUIRED. CONTACT ENGINEER FOR PUMP SPECIFICATIONS	-
6	EXTENT OF DISTURBANCE FOR TRENCHING	-
7	RESTORE EX LANDSCAPING TO EX CONDITION OR BETTER, COORDINATE WITH HOMEOWNERS	NDP-1/C04
8	74 LF 4" SD @ 2.00% MIN%	-
9	4" SD CO RIM 1019.00± 4" IE 1017.50	D-52/C04



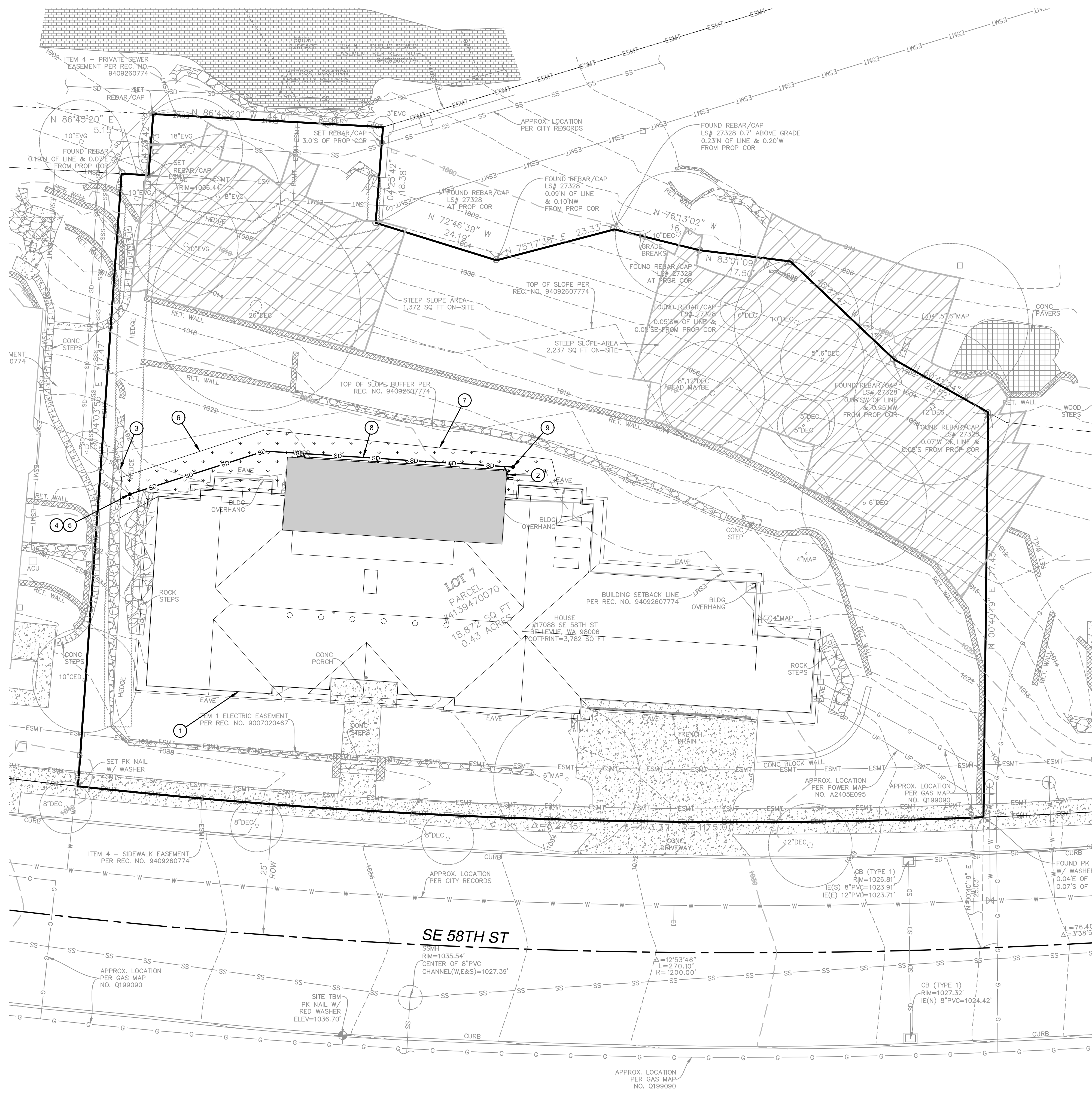
**LEGEND:**



**GENERAL NOTES:**

- 1' SEPARATION BETWEEN ALL UTILITIES IS REQUIRED
- 4" MIN DIAMETER CLEANOUTS WITH FACTORY MANUFACTURED FITTINGS ARE REQUIRED FOR ALL JUNCTIONS AND BENDS GREATER THAN 45°. MAX SPACING BETWEEN CLEANOUTS SHALL NOT EXCEED 100'
- MINIMUM SLOPES FOR SINGLE FAMILY SIDE SEWER:
  - 2% ON 4" AND 6" DIAMETER
  - 0.5% ON 8" DIAMETER (IF USED)

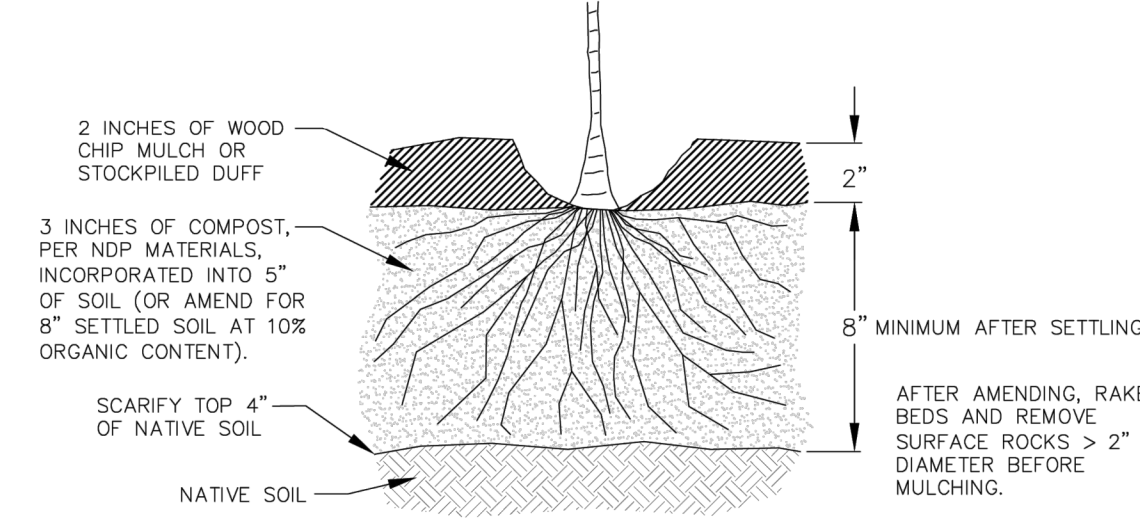
FILE LOCATION: H:\CLIENTS\CIVIL\MERCEDES BLDG\DESIGN\17088 SE 58TH ST BELLEVUE\DWG\17088 SE 58TH ST BELLEVUE Dwg.dwg (3,240 INCHES) - LAST MODIFIED BY: NICK ALEXANDER  
 PRINCIPAL: ED PROJECT MANAGER: NA DESIGNED BY: NA DRAWN BY: MH CHECKED BY: NA



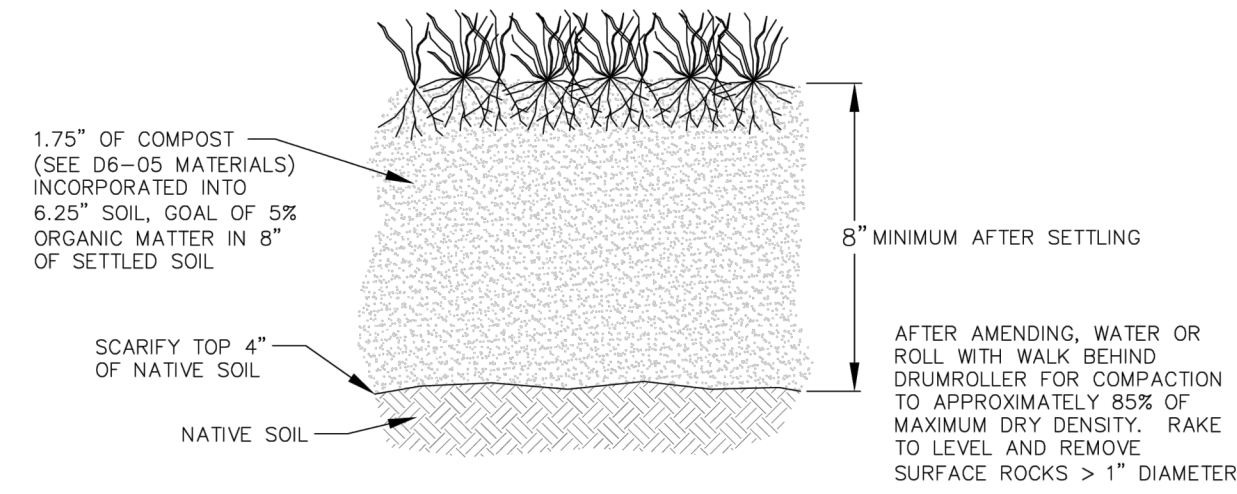
**DRAINAGE PLAN & UTILITY PLAN**  
SCALE: 1" = 10'

<b>NO.</b>	<b>DATE</b>	<b>BY</b>	<b>REVISION</b>
790 Sixth Street South Kirkland, WA 98033 P. 425.822.5242 F. 425.827.8136 www.digwatershed.com			
<b>CALL 811</b> <b>2 BUSINESS DAYS</b> <b>BEFORE YOU DIG</b> <small>(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)</small>			
<b>17088 SE 58th St</b> BELLEVUE, WA 98006 2306.0258.00			
<b>PERMIT PLANS</b>			
<b>DRAINAGE PLAN &amp; UTILITY PLAN</b>			
DATE: 2/21/2024 PLAN NUMBER:			
<h1 style="font-size: 2em;">C03</h1>			
SHEET 3 OF 4			

AMENDMENT FOR LANDSCAPED AREAS



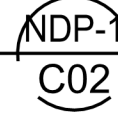
SOIL AMENDMENT FOR GRASS OR TURF AREAS



NOTES:

1. AMEND SOILS PER DOE MANUAL, VOL. V, 5.3.1, BMP 75.13, (2012 OR CURRENT) OR WWW.SOILSFORSALMON.ORG.
2. DO NOT AMEND SOILS IN AREAS WITH UNDISTURBED SOIL AND NATIVE VEGETATION.
3. OPTIONAL ALTERNATIVE: STOCKPILE NATIVE TOPSOIL ON-SITE, AMEND IF NEEDED, AND REPLACE BEFORE PLANTING.
4. OPTIONAL ALTERNATIVE: IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET REQUIREMENTS.

SOIL AMENDMENT NOTES  
COB PLAN NO. NDP-1  
NTS



**City of Bellevue** STORM AND SURFACE WATER UTILITY

TITLE: AMENDED SOILS

NO. NDP-1

OUTSIDE OF R.O.W OR EASEMENT

C.D. PIPE DIAMETER	MID-STATES PLASTIC BOX
4"	MSBCF-111B-18XL
6"	MSBCF-135-12
8"	MSBCF-175B-12

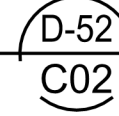
RIGHT-OF-WAY OR EASEMENT

C.D. PIPE DIAMETER	RING AND COVER DIAMETER	P.V.C. SLEEVE DIAMETER
4"	12"	18"
6"	14"	19"
8"	14"	19"

NOTES:

1. BOLT-LOCKING CAST IRON RING AND COVER SHALL BE USED IN RIGHT-OF-WAY AND EASEMENTS AND MUST BE RATED HS-20 IF USED IN PAVED AREAS. SEE TABLE FOR SIZES.
2. MID-STATES PLASTIC BOX OR EQUAL MAY BE USED IF C.D. IS OUTSIDE OF RIGHT-OF-WAY OR EASEMENT. SEE TABLE FOR SIZES. THE COVER FOR THE PLASTIC BOX SHALL BE DUCTILE IRON AND READ "DRAIN" OR BE BLANK (NO LABEL).
3. CAST IRON COVER SHALL READ "DRAIN".
4. LOCKING BOLTS SHALL BE 5/8"-11 N.C. 304 STAINLESS STEEL SOCKET (ALLEN) HEAD, 2" LONG.
5. 14" BOLT-LOCKING CAST IRON COVER SHALL BE EQUAL TO INLAND FOUNDRY NUMBER 209, DR 210.
6. SPECIAL "DECORATIVE" CASTING MAY BE USED IF PREAPPROVED BY CITY.

STORM CLEANOUT  
COB PLAN NO. D-52  
NTS



**City of Bellevue** STORM AND SURFACE WATER UTILITY

TITLE: CLEANOUT TO GRADE

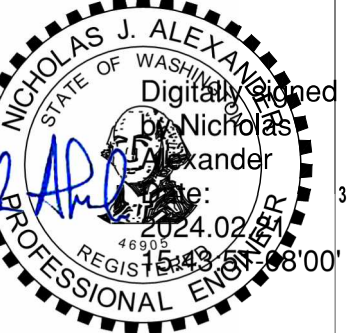
NO. D-52

FILE LOCATION: C:\CLIENTS\CIVIL\MERCER BUILDINGS\17088 SE 58TH ST BELLEVUE\DWG\17088 SE 58TH ST BELLEVUE.DWG ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES) - LAST MODIFIED BY: NICK ALEXANDER  
PRINCIPAL ED PROJECT MANAGER, NA DESIGNED BY: NA DRAWN BY: IH CHECKED BY: NA

NO. DATE BY REVISION

**DIG WATERSHED**

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Kirkland, WA 98033  
P: 425.822.5242  
F: 425.827.8136  
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CALL 811  
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(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

17088 SE 58th St  
BELLEVUE, WA 98006  
2306.02588.00

PERMIT PLANS

DETAILS

DATE: 2/21/2024  
PLAN NUMBER:

**C04**

SHEET 4 OF 4

BASE INFORMATION PROVIDED BY OTHERS. DOCUMENTS CANNOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. ALL OTHER EXISTING FEATURES AND CONDITIONS, IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DIG WATERSHED PRIOR TO CONSTRUCTION.