



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: Property Subdivision – 2615 146th Avenue SE

Proposal Address: 2615 146th Ave SE

Proposal Description: Preliminary Short Plat approval to subdivide an existing parcel into two single-family lots within the R-5 zoning district.

File Number: 23-114378 LN

Applicant: Huaqi Yin

Decisions Included: Preliminary Short Plat (Process II)

Planner: Jackie Donovan, Assistant Planner

State Environmental Policy Act Threshold Determination: Exempt

Department Decision: Approval with Conditions



Jackie Donovan, Assistant Planner
Development Services Department

Application Date: Jul 7th, 2023
Notice of Application: July 20th, 2023
Minimum Comment Period: August 3rd, 2023 (14 days)
Decision Publication Date: September 5th, 2024
Appeal Deadline: September 19th, 2024

For information on how to appeal a proposal, visit the Permit Center at City Hall or call (425) 452-6800 [TTY (425) 452-4636]. Appeal of the Decision must be made with the City Clerk by 5 PM on the date noted for appeal of the decision.

TABLE OF CONTENTS

I.	DESCRIPTION OF PROPOSAL	Pg. 3
II.	SITE DESCRIPTION AND ZONING	Pg. 3
III.	CONSISTENCY WITH ZONING AND LAND USE CODE REQUIREMENTS	Pg. 4
IV.	SUMMARY OF TECHNICAL REVIEWS	Pg. 5
V.	STATE ENVIRONMENTAL POLICY ACT (SEPA)	Pg. 5
VI.	PUBLIC COMMENTS	Pg. 8
VII.	DECISION CRITERIA	Pg. 8
VIII.	CHANGES TO PROPOSAL BECAUSE OF STAFF REVIEW	Pg. 9
IX.	CONCLUSION AND DECISION	Pg. 10
X.	CONDITIONS OF APPROVAL	Pg. 10

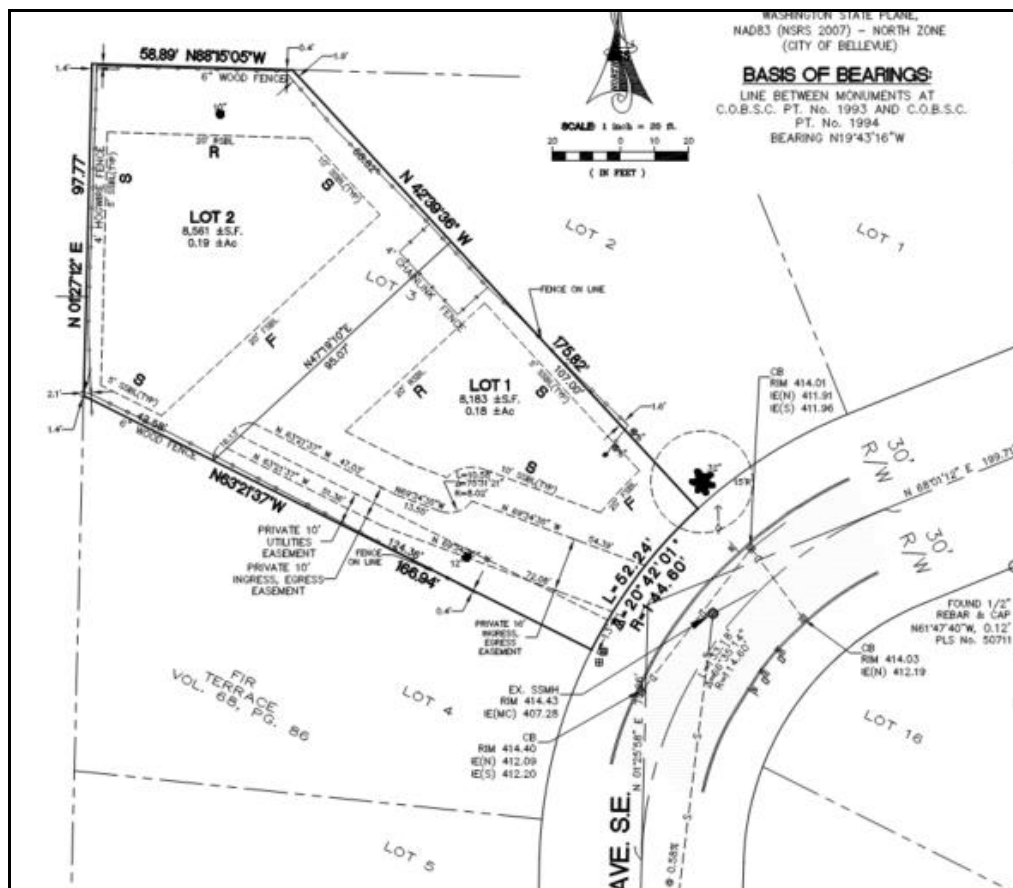
Attachments:

- 1 - Boundary & Topographic Survey
- 2 - Preliminary Short Plat Map
- 3 - Preliminary Civil Plans

I. DESCRIPTION OF PROPOSAL

The applicant is proposing to subdivide an existing parcel (16,743 square feet) into two single-family lots (8,553 (Lot 2) and 8,190 (Lot 1) square feet). The site is zoned R-5 (a single-family zoning district) and is located within the Eastgate Subarea. The minimum lot size in R-5 zoning district is 7,200 square feet. The site contains an existing single-family home and attached garage that will be demolished. Access to the two lots will be from 146th Avenue SE using a joint driveway. An access easement will be located along the western property line of Lot 1 for access to Lot 2.

Figure 1 – Preliminary Short Plat Proposal



II. SITE DESCRIPTION AND CONTEXT

The subject site is located within an existing single-family neighborhood. The site is bordered by single-family dwellings to the north, west, and east. The property is zoned R-5 and has a Comprehensive Plan designation of Single-Family High Density. The site contains several significant trees comprised mainly of coniferous and deciduous species. The topography of the site is moderately flat. The site contains no Critical Areas as defined under LUC 20.25H.

Figure 2 – Aerial Photograph

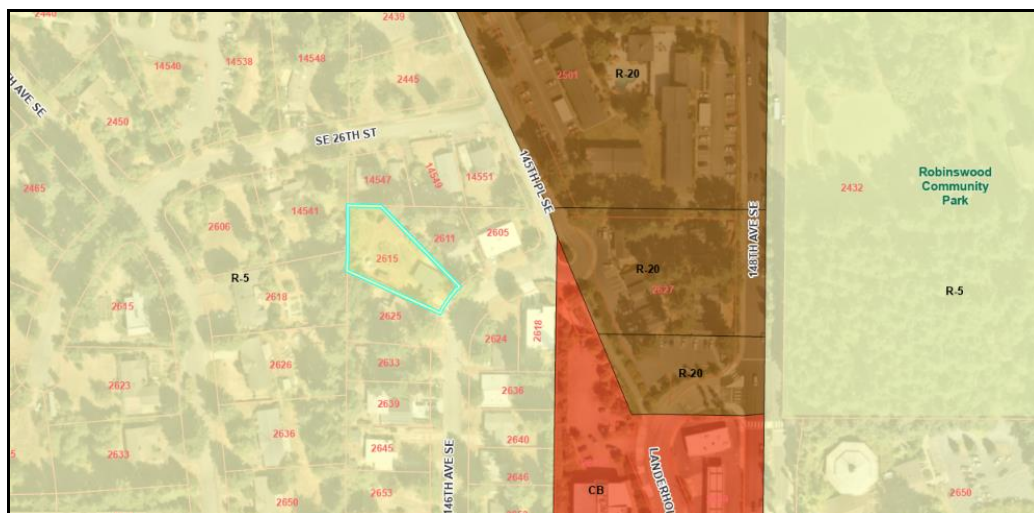


III. CONSISTENCY WITH ZONING AND LAND USE CODE REQUIREMENTS

A. Zoning

The site and surrounding properties are located in the R-5 single-family zoning district. The two lots proposed with this short plat application are permitted within the R-5 land use district. Refer to Table 1 of Section III.B for discussion of dimensional requirements.

Figure 3 – Zoning Map



B. Consistency with Standard Land Use Code Requirements

Table 1 – Dimensional Requirements

<u>BASIC INFORMATION</u>		
Zoning District	R-5 Eastgate Comprehensive Plan Designation: Single-Family High	
Gross Site Area	16,743 square feet	
ITEM	REQ'D/ALLOWED	PROPOSED
Minimum Lot Area	7,200 Square Feet	Lot 1: 8,553 Square Feet Lot 2: 8,190 Square Feet
Minimum Lot Width	60 Feet	Lot 1: 93 Feet Lot 2: 107 Feet
Minimum Lot Depth	80 Feet	Lot 1: 108 Feet (approx.) Lot 2: 110 Feet (approx.)
Building Setbacks Front Yard Rear Yard Min. Side Yard 2 Side Yards	20 Feet 20 Feet 5 Feet 15 Feet	Existing home to be demolished. Yard determination per the approved preliminary short plat map.
Tree Retention	Retention of 30% of existing DBH inches. Existing DBH: 30 inches Required retention: 10 inches	10 inches are proposed to be retained = 33.33% Tree protection and limitations on disturbance within driplines will be required during any construction activity.

Refer to Conditions of Approval regarding tree protection and tree retention in Section X of this report.

IV. STATE ENVIRONMENTAL POLICY ACT (SEPA)

There are no critical areas within the proposal site. Short Plats which do not contain critical areas are exempt from SEPA review pursuant to WAC 197-11-800(6)(a), BCC 22.02.032. Thus, the project proposal is Exempt.

V. TECHNICAL REVIEW

A. Utilities

Surface Water: The proposed short plat will trigger minimum requirements 1-5 from the most current version of the WA DOE Surface Water Manual for Western Washington. The applicant has completed an on-site feasibility analysis and no on-site BMPs can be implemented because the site is too steep to meet the design criteria of onsite BMPs. Surface water is proposed to be connected to a private

conveyance system shared with the properties directly west of the short plat and shall be within a joint use easement. Storm water will convey directly to Lake Washington through the pipe system.

Water: Domestic water for the site is proposed to reuse the existing water meter for one of the lots and a new meter is proposed to be connected off the existing water main in SE Lake Rd.

Sewer: Sewer service for each lot will be provided by a private joint use side sewer connected to the King County Lake line sewer main along Lake Washington. An offsite easement had been granted to the short plat for access to the private joint use side sewer.

Refer to Conditions of Approval regarding Utilities conceptual approval in Section X of this report.

B. Fire Department Review

The Fire Department has approved the preliminary short plat.

C. Transportation Review

The Transportation Department has reviewed the plans submitted for the preliminary short plat and recommends approval. The final engineering plans must show all transportation-related improvements and must be consistent with the Transportation Development Code (BCC 14.60) and the Transportation Department Design Manual prior to approval of the plat infrastructure permit.

Prior to final short plat approval, the developer must complete all transportation improvements at the developer's expense (BCC 14.60.110); or provided that all the requirements of BCC 14.60.260 are met, the director may accept an acceptable financial assurance device equivalent to 150% of the cost of the unfinished improvements. Installation of improvements that would negatively affect safety if left unfinished may not be delayed through use of a financial assurance device.

Under BCC 22.16, payment of the transportation impact fee for each new home prior to building permit issuance will adequately mitigate off-site transportation impacts. The impact fee is due with building permit issuance and will be the fee in effect at the time.

Refer to Conditions of Approval regarding transportation approval in Section X of this report.

Site Access

The proposed project consists of an existing lot with a single-family home proposing to divide the existing single parcel into two single family lots. This parcel is located on the north side of 146th Avenue SE and is bordered by single family residences. An existing concrete driveway provides access for the existing residence to 146th Avenue SE. There are no existing sidewalks or bicycle facilities along the project frontage. The frontage does have an existing curb and gutter system.

It is proposed that the existing residence on this parcel will be demolished and removed

for the two (2) new single family lots. The existing driveway will be removed and replaced with a new joint use driveway for access to 146th Avenue SE. This new joint use driveway width will be a minimum of 16 feet extending past the entrance to the first house on Lot A. Subsequently, a 10 ft. wide driveway will be installed to serve as access to the second house on Lot B. These driveways will be built per the City's Transportation Department Design Manual Standard Drawing SW-180-1.

Street names and site addresses will be determined by the City's Parcel and Address Coordinator.

Refer to Conditions of Approval regarding site access approval in Section X of this report.

Transportation Improvements

This Short Plat has frontages along the north side of 146th Avenue SE. There are currently no sidewalk or bicycle facilities along the project frontages. An existing curb and gutter system is located along the project frontage.

The project transportation improvements include:

- Install a new joint use driveway approach per Transportation Design Manual Standard Plan SW-180-1.
- Install a minimum 16 ft. wide joint use driveway with a 20 ft. minimum easement from 146th Avenue SE to the entrance of the first house on Lot A.
- Install a new minimum 10-foot-wide single-family driveway and driveway approach for the new house on Lot B after the entrance to Lot A.
- The grade of the driveway is limited to 10% or less the first 20 feet past the back of driveway approach at 146th Avenue SE and limited to 15% thereafter.
- Sight distance requirements must be met per BCC 14.60.240 at all driveways.
- Any overhead utilities into the plat are required to be installed underground.
- No sidewalk or bicycle facilities are required for this development.

The design of the improvements and the final engineering plans must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

Use of the Right of Way

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading, and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit.

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide

developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every public street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it was last resurfaced. These three categories are No Street Cuts Permitted, Grind/Overlay Required, and Standard Trench Restoration. Each category has different trench restoration requirements associated with it. For this project 146th Avenue SE is classified as a Grind/Overlay Required roadway. Any excavations and trench construction restoration within 146th Avenue SE, if required, shall conform with City of Bellevue Standard Plan RC-200-1.

Sight Distance

Access design for the entrances shall meet the sight distance requirements of BCC 14.60.240. Vegetation shall be trimmed as needed within the sight triangle.

Refer to Conditions of Approval regarding site distance approval in Section X of this report.

Transportation Impacts and Mitigation

City staff has analyzed the potential short-term operational impacts of this proposal in order to recommend mitigation if necessary. These impacts included traffic operations conditions during the a.m. and p.m. peak hours. Due to the minimal number of new p.m. peak hour trips to be generated by the proposed 2615 146th Ave SE Short Plat, traffic impacts from this project will be minor in nature. Therefore, no additional mitigation is required other than payment of the transportation impact fee and the project site improvements.

VI. PUBLIC COMMENT

The City notified the public of this proposal on July 20th, 2023 with mailed notice and publication in the Weekly Permit Bulletin and The Seattle Times. A public information sign was also installed on the site the same day. The City received no written public comments regarding the proposal.

VII. CHANGES TO PROPOSAL BECAUSE OF STAFF REVIEW

No changes

VIII. DECISION CRITERIA:

Land Use Code 20.45B.130B Decision Criteria for a Preliminary Short Plat:

The Director may approve or approve with modifications an application for a Preliminary Short Plat if:

- 1. The Preliminary Short Plat makes appropriate provisions for, but not limited to, the public health, safety and general welfare, for open spaces, drainage ways, streets, sidewalks, alleys, other public ways, water supplies, sanitary waste.**

Finding: City codes ensure public health, safety, and general welfare through development code requirements. Existing public water and sewer facilities have been

deemed adequate to serve the proposed development. In addition, construction noise is expected during the construction period; however, the Bellevue Noise Control Ordinance (BCC 9.18) regulates hours of construction-related noise emanating from project sites.

2. The public interest is served by the short subdivision.

Finding: The public interest is served by providing additional housing opportunities in accordance with the Comprehensive Plan while ensuring compliance with City codes and standards.

3. The preliminary short plat appropriately considers the physical characteristics of the proposed short subdivision site.

Finding: The preliminary short plat considers the physical characteristics of the site by adequately responding to the existing topography by retaining the large, significant trees located on the moderately flat lot.

4. The proposal complies with all applicable provisions of the Land Use Code (BCC Title 20), the Utility Code (BCC Title 24), and the City of Bellevue Development Standards.

Finding: Refer to Section III.B of this report for dimensional requirements. As conditioned, the proposal complies with the Land Use Code requirements for the R-5 land use district, the Utility Code and the City of Bellevue Development Standards.

All lots shown can be developed, without the need for a variance, in accordance with the City of Bellevue Land Use Code requirements, including the R-5 land use district dimensional requirements.

5. The proposal is in accord with the Comprehensive Plan (BCC Title 21).

Finding: The site is located within the Eastgate Subarea. The Comprehensive Plan specifies Single-Family High-Density development for this property, consistent with the R-5 land use designation. In addition, the proposal complies with applicable Comprehensive Plan policies City-Wide and for this Subarea, including the following:

The proposal will enhance the existing residential character through physical improvements. The proposal will sustain the single-family residential character of the area as noted in the objectives of the subarea plan.

6. Each lot in the proposal can reasonably be developed in conformance with current Land Use Code requirements without requiring a variance.

Finding: As conditioned, each lot can reasonably be developed to current R-5 dimensional standards without requiring a variance. Existing structures over 30 inches within the proposed setbacks will be required to be removed as part of the proposal. **Refer to Conditions of Approval regarding the variance and demolition restrictions in Section X of this report.**

7. **All necessary utilities, streets or access, drainage and improvements are planned to accommodate the potential use of the entire property.**

Finding: The Utilities and Transportation Departments have reviewed the preliminary short plat and determined that all necessary utilities, drainage, driveway access locations, necessary sidewalk easements, and other required improvements are either existing, planned or conditioned as part of this approval, to accommodate the use of these lots. **Refer to Conditions of Approval regarding infrastructure improvements and access design and maintenance in Section X of this report.**

IX. CONCLUSION AND DECISION:

After conducting the various administrative reviews associated with this proposal, including applicable Land Use consistency, City Code, and standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE** the 2615 146th Ave SE Preliminary Short Plat **WITH CONDITIONS**.

This approval automatically expires and is void if the applicant fails to file for approval of the final short plat within one year of the effective date of approval unless the applicant files for an extension at least 30 days prior to the expiration and the extension is granted pursuant to LUC 20.45B.150 and 160.

X. CONDITIONS OF APPROVAL:

The following conditions are imposed under authority referenced:

COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances including but not limited to:

Applicable Codes, Standards & Ordinances	Contact Person
Clearing & Grading Code – BCC 23.76	Janey Gwo, (425)-452-6190
Construction Codes – BCC Title 23	Building Divisions, (425) 452-6864
Fire Code – BCC 23.11	Anna Mickols, (425) 452-2925
Land Use Code – BCC Title 20	Jackie Donovan, (425) 452-4387
Noise Control – BCC 9.18	Jackie Donovan, (425) 452-4387
Transportation Develop. Code – BCC 14.60	William Bou, (425) 452-7190
Traffic Standards Code 14.10	William Bou, (425) 452-7190
Right-of-Way Use Code 14.30	William Bou, (425) 452-7190
Utility Code – BCC Title 24	Roy Andresen, (425) 452-5206

A. GENERAL CONDITIONS:

1. Clearing and Grading Permit

The clearing and grading reviewer has reviewed the plans and materials submitted for this project and has approved the clearing and grading portion of this land use application. This approval does not constitute approval of any construction permit. An application for a clearing and grading permit must be submitted and approved

before plat construction can begin. Plans submitted as part of any permit application for this project shall be consistent with the activity permitted under this approval and must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76).

Authority:\ Clearing and Grading Code 23.76.035

Reviewer:\ Savina Uzunow, Development Services Department, Clearing and Grading Section

2. Seasonal Clearing and Grading Restrictions

The clearing and grading code defines the rainy season as October 1st through April 30th. The Development Services Department may grant approval to initiate or continue clearing or grading activity during the rainy season. Any approval will be based on site and project conditions, extent and quality of the erosion and sedimentation control, and the project's track record at controlling erosion and sedimentation.

Authority: Clearing and Grading Code 23.76

Reviewer: Savina Uzunow, Development Services Department, Clearing and Grading Section

3. Preliminary Design, Utility Codes, and Engineering Standards

Utility Department approval of the design review application is based on the conceptual design only. Minor changes to the site layout may be required to accommodate the utilities after land use design review is approved. The water, sewer, and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards.

Utility Department construction plan review, approval, and field inspection is performed under the BS (Single-family New) permit, as well as the side sewer (UA), and Water Service (UC) permits for each of the buildings. The Storm infrastructure will be reviewed and inspected under the BS permit.

Building Temporary Occupancy will not be granted until all the utilities constructed under the BS, UA, and UC permits have been inspected and accepted by the Utilities Department.

Authority: BCC 24.02, 24.04, 24.06

Reviewer: Roy Andresen, Utilities

B. CONDITIONS PRIOR TO ISSUANCE OF ANY PLAT ENGINEERING/CLEAR AND GRADE PERMIT:

1. Right of Way Use Permit

The applicant is required to apply for a Right of Way Use Permit before the issuance

of any clearing and grading, building, foundation, or demolition permit. In some cases, more than one Right of Way Use Permit may be required, such as one for hauling and one for construction work within the right of way. A Right of Way Use Permit regulates activity within the city right of way, including but not limited to the following:

- a) Designated truck hauling routes.
 - b) Truck loading and unloading activities.
 - c) Hours of construction and hauling.
 - d) Continuity of pedestrian facilities.
 - e) Temporary traffic control and pedestrian detour routing for construction activities.
 - f) Street sweeping and maintenance during excavation and construction.
 - g) Location of construction fences.
 - h) Parking for construction workers.
 - i) Construction vehicles, equipment, and materials in the right of way.
- All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access.

AUTHORITY: Bellevue City Code 14.30
REVIEWER: ROW Review, (425) 452-4189

2. Off-street Parking

The applicant must secure sufficient off-street parking for construction workers, equipment, and materials storage before the issuance of a clearing and grading, building, foundation, or demolition permit.

AUTHORITY: Bellevue City Code 14.30
REVIEWER: ROW Review, (425) 452-4189

3. Engineering Plans

A street lighting plan, channelization plan, and site (civil engineering) plan produced by a qualified engineer must be approved by the City prior to clear and grading permit approval. The design of all street frontage improvements must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, and the provisions of the Transportation Department Design Manual. The engineering plans must correctly show all transportation-related engineering details, including but not limited to, the design of the private roads, pavement restoration and sight distance. Appropriate standard drawings from the Transportation Department Design Manual must be included in the engineering plans.

Specific requirements are detailed below:

- Install a new joint use driveway approach per Transportation Design Manual Standard Plan SW-180-1.
- Install a minimum 16 ft wide joint use driveway with a 20ft minimum easement from 146th Avenue SE to the entrance of the first house on Lot A.
- Install new minimum 10-foot-wide single-family driveway and driveway approach for the new house on Lot B after the entrance to Lot A.
- The grade of the driveway is limited to 10% or less the first 20 feet past the back of driveway approach at 146th Avenue SE and limited to 15% thereafter.
- Sight distance requirements must be met per BCC 14.60.240 at all driveways.
- Any overhead utilities into the plat are required to be installed underground.
- No sidewalk or bicycle facilities are required for this development.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

AUTHORITY: Bellevue City Code 14.60; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings; Americans with Disabilities Act.

REVIEWER: William Bou, Transportation Department

4. Sight Distance

If necessary to meet the sight distance requirements of BCC 14.60.240 and standard drawing RL-100-1, existing vegetation near the driveways must be trimmed. Ground vegetation within the sight triangle must be trimmed to no more than 2.5 feet above a line drawn from pavement level to pavement level. Trees within the sight triangle must be limbed up to a height of 7.5 feet above a line drawn from pavement level to pavement level. A description of any required vegetation trimming must be shown on a sheet of the clearing and grading plan set.

AUTHORITY: Bellevue City Code 14.60.240

REVIEWER: William Bou, Transportation Department

5. Pavement Restoration

The city's pavement manager has determined that 146th Avenue SE Street segment will require grind and overlay trench restoration for any utility connections or other digging into 146th Avenue SE. Trench restoration must meet the requirements of Section 21 of the Design Manual and standard drawings RC-200-1. Exact copies of

the appropriate trench restoration drawing(s) must be included in the final engineering plans.

Restoration within the Private Road will be determined by the project designer.

AUTHORITY: Bellevue City Code 14.60.250; Design Manual Design Standard # 23
REVIEWER: William Bou, Transportation Department

6. Tree Protection

To minimize impacts to trees to be retained during construction the applicant shall do the following:

A. Clearing limits shall be established for retained trees within the developed portion of the site, outside of drip lines. Six-foot chain link fencing with driven posts, or an approved alternative, shall be installed at the clearing limits prior to initiation of any clearing and grading.

B. No excavation, clearing, or soil placement should be performed within drip lines of retained trees except as specifically approved on plans. All such work shall be done by hand to avoid damage to roots and shall be done under the supervision of an arborist approved by the city.

Authority: Bellevue City Code 23.76.060
Reviewer: Jackie Donovan, Development Services Department

C. PRIOR TO FINAL SHORT PLAT APPROVAL:

1. Existing Single-Family Residence

The existing single-family residence shall be demolished, and all associated building permits (BE) shall be finalized by all inspectors prior to the approval and recording of the final short plat (LF Permit).

AUTHORITY: Land Use Code 20.20.010 and LUC 20.45B130.A.6
REVIEWER: Jackie Donovan, Development Services Department

2. Infrastructure Improvements

All street frontage and infrastructure improvements shown in the final engineering plans or required by city codes and standards must be completed prior to approval of the final short plat. If all the requirements of BCC 14.60.260 are met, the director may accept an acceptable financial assurance device equivalent to 150% of the cost of the unfinished improvements. Installation of improvements that would negatively affect safety if left unfinished may not be delayed through use of a financial assurance device. Improvements must be approved by the Transportation Department inspector before they are deemed complete.

AUTHORITY: BCC 14.60.100, 110, 130, 150, 170, 190, 210, 240, 241, 260
Transportation Department Design Manual Sections 3, 4, 5, 7, 11,

14, 19

REVIEWER: William Bou, Transportation Department

3. Access Design and Maintenance

The final Subdivision map must include a note that specifies that the owners of lots served by the private road are jointly responsible for maintenance and repair of the private road. Also, the final Subdivision map must include a note that specifies that the private road will remain open at all times for emergency and public service vehicles and shall not be gated or obstructed.

AUTHORITY: BCC 14.60.130

REVIEWER: William Bou, Transportation Department

4. Tree Preservation Plan

A Tree Preservation Plan that portrays the drip-line, the diameter size, and common name of each significant tree to be retained must be recorded with the final short plat mylar. The Tree Preservation Plan must contain the following note:

“Tree Preservation Plan”:

Designation of trees on the Tree Preservation Plan establishes a covenant by the owner to leave undisturbed all trees as shown on the Tree Preservation Plan. This covenant shall run with the land and shall be binding upon all future owners. No tree topping, tree cutting or tree removal shall occur unless required or approved by the City. Except for ordinary landscape maintenance, no construction, clearing or land alteration activities shall occur within the drip-line of trees shown on the Tree Preservation Plan, unless required or approved by the City. Activities in violation of this covenant are subject to penalty, including without limitation, fines and mitigation requirements. The City of Bellevue shall have the right, but not the obligation, to enforce the requirements, terms and conditions of this covenant by any method available under law. It is the obligation of the owner to comply with the terms of the Tree Preservation Plan and this covenant.”

During future home construction, the dripline of the trees to be saved shall be fenced to prevent clearing & grading activities within the dripline area.

Authority: Land Use Code 20.20.520.E, LUC 20.20.900

Reviewer: Jackie Donovan, Development Services Department

5. Demolition of existing structures within proposed setbacks

Existing shed within the required minimum structure setbacks must be removed prior to approval of the final short plat. The applicant shall apply for a building permit to remove the structures.

Authority: Land Use Code 20.20.010, 20.45B.130.A.6

Reviewer: Jackie Donovan, Development Services Department

6. Variance Restriction

Approval by the City of this short plat is a determination that each lot in the short plat can be reasonably developed in conformance with the Land Use Code requirements in effect at the time of preliminary short plat approval without requiring a variance. The following language shall be placed on the final short plat document:

“Variance restriction: Approval by the City of this short plat is a determination that each lot in the short plat can be reasonably developed in conformance with the Land Use Code requirements in effect at the time of preliminary short plat approval without requiring a variance.”

Authority: Land Use Code 20.45B.130.A.6
Reviewer: Jackie Donovan, Development Services Department

7. TREE RETENTION

The City of Bellevue encourages the applicant to save as many trees as possible. The final short plat shall portray a minimum of 10 diameter inches of existing significant trees to remain, as proposed. A Tree Preservation Plan that portrays the drip-line, the diameter size, and common name of each significant tree to be retained must be recorded with the *final short plat mylar* (recorded with King County). This Tree Preservation Plan must also contain the following note:

“Designation of trees on the Tree Preservation Plan establishes a covenant by the owner to leave undisturbed all trees as shown on the Tree Preservation Plan. This covenant shall run with the land and shall be binding upon all future owners. No tree topping, tree cutting or tree removal shall occur unless required or approved by the City. Except for ordinary landscape maintenance, no construction, clearing or land alteration activities shall occur within the drip-line of trees shown on the Tree Preservation Plan, unless required or approved by the City. Activities in violation of this covenant are subject to penalty, including without limitation, fines, and mitigation requirements. The City of Bellevue shall have the right, but not the obligation, to enforce the requirements, terms and conditions of this covenant by any method available under law. It is the obligation of the owner to comply with the terms of the Tree Preservation Plan and this covenant.”

During construction, the dripline of the trees to be saved shall be fenced to prevent clearing and grading activities within the dripline area.

Authority: Land Use Code 20.20.900.D
Reviewer: Jackie Donovan, Development Services Department



NORTHUP DESIGN ASSOC.

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BELLEVUE, WA 98008
PHONE: (425) 246-7356
E-MAIL: DORLESKA@MSN.COM

TRACY QI AND HUAQI YIN RESIDENCE SINGLE FAMILY HOUSE

ISSUE DATE: 02.03.2023
REVISIONS DATE:
1-09.21.23
2-01.15.24

SITE PLAN

A1

PROJECT DATA.

ZONING	R-5
LOT SIZE	16,743.0 s.f.
FRONT YARD	20 ft. min.
REAR YARD	20 ft. min.
SIDE YARD	5 ft. min.
2 SIDE YARDS	15 ft.
BUILDING HEIGHT	30'/35' max.
LOT COVERAGE	40% max.
IMPERVIOUS SURFACE	55% max.
GREENSCAPE OF FRONT YARD SETBACK	50% max

PROPERTY ADDRESS:

2615 146th AVE. SE
Bellevue, WA 98007

PARCEL#: 255200-0030

OWNER NAME & ADDRESS:

Tracy Qi	Huaqi Yin
2615 131st. Pl. NE	11660 168th CT. NE
Bellevue, WA 98005	Redmond, WA 98052
425-362-0546	850-728-6158
tracyqi@outlook.com	yinquagi@hotmail.com

LEGAL DESCRIPTION

FIR TERRACE ADD
PLat Block:
Plat Lot: 3

LOT COVERAGE

NEW HOUSE FOOTPRINT - 1686 s.f.
EXISTING SHED - 544 s.f.
LOT COVERAGE:
 $1686 / 16,743 = 10\% < 40\% \text{ max.}$

IMPERVIOUS SURFACE

NEW HOUSE FOOTPRINT - 1686 s.f.
EXISTING SHED FOOTPRINT - 544 s.f.
NEW ASPHALT DRIVEWAY - 2052 s.f.
IMPERVIOUS SURFACE:
 $(1686+2052) / 16,743 = 22\% < 55\% \text{ max.}$

FRONT YARD GREENSCAPE

FRONT YARD AREA - 1120 s.f.
FRONT YARD DRIVEWAY - 330 s.f.
FRONT YARD GREENSCAPE:
 $330 / 1120 = 30\% < 50\% \text{ max.}$

BUILDING HEIGHT

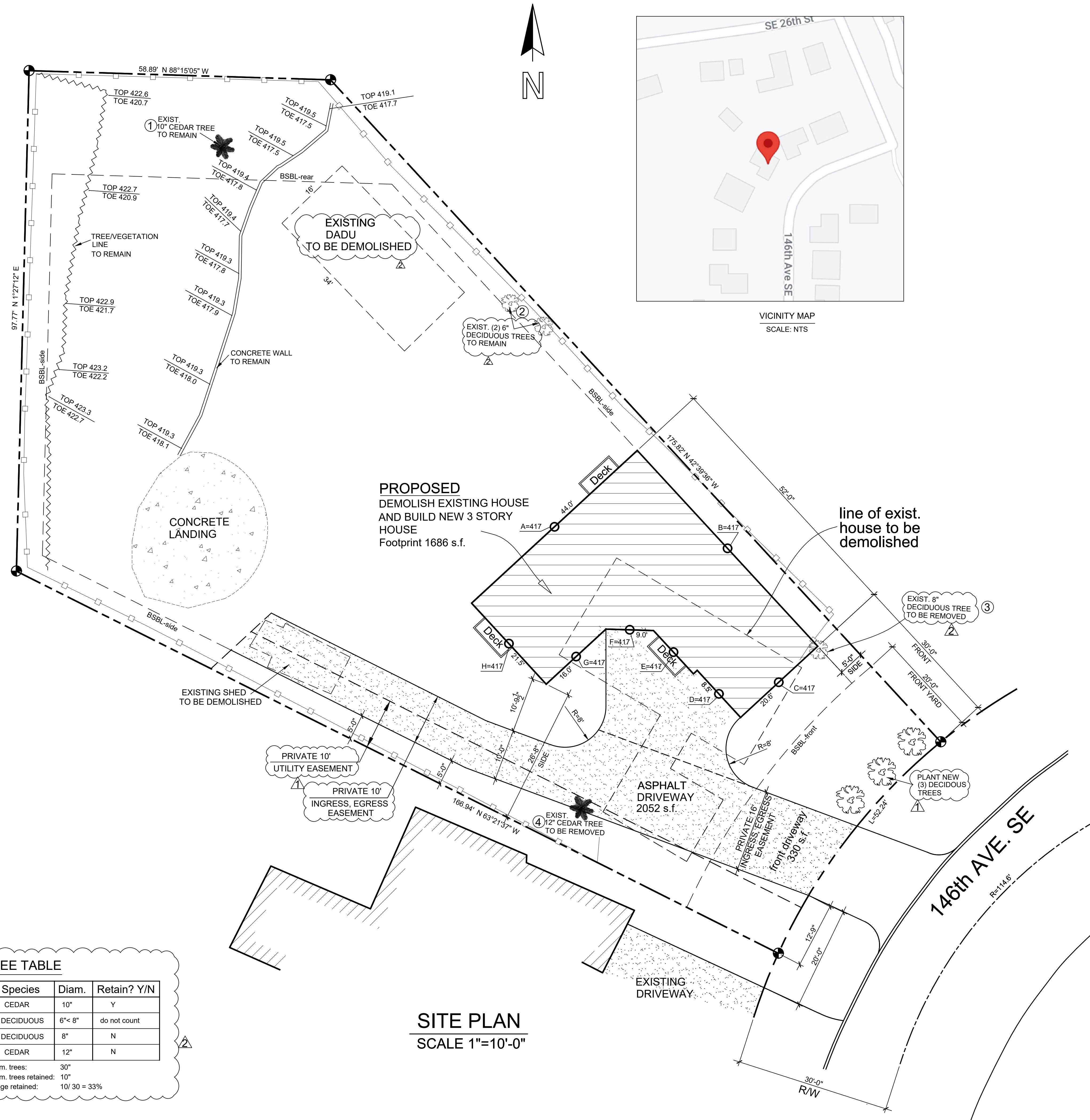
AVERAGE EXIST. GRADE:
AVERAGE EXIST. GRADE:
 $(A+B+C+D+E+F+G+H) / 8 = 417.0'$
HIGHEST POINT OF ROOF - 451.5'
BUILDING HEIGHT:
 $451.5' - 417.0' = 34.5' < 35.0' \text{ max.}$

FLOOR AREA RATIO (FAR)

TOTAL LIVING AREA: 3,712 s.f.
LOT SIZE: 16,743.0 s.f.
 $FAR = 3,712 / 16,743 = 0.22 < 05 \text{ max.}$

SYMBOLS & LEGEND

---	LINE OF THE EXIST. GRADE
-SS-SS-	EXIST. SANITARY SEWER LANE
-W-W-	EXIST. WATER LINE
-G-G-	EXIST. GAS LINE
-□-	4' HOGWIRE FENCE
.....	CONCRETE RETAINING WALL



TREE TABLE

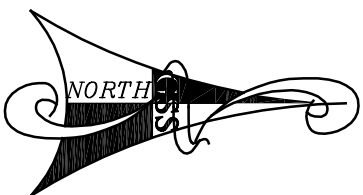
Tree #	Quantity	Species	Diam.	Retain? Y/N
1	1	CEDAR	10"	Y
2	2	DECIDUOUS	6"< 8"	do not count
3	1	DECIDUOUS	8"	N
4	1	CEDAR	12"	N

Total diam. trees: 30"
Total diam. trees retained: 10"
Percentage retained: 10/ 30 = 33%

SITE PLAN
SCALE 1"=10'-0"

MERIDIAN:
WASHINGTON STATE PLANE,
NAD83 (NSRS 2007) – NORTH ZONE
(CITY OF BELLEVUE)

BASIS OF BEARINGS:
LINE BETWEEN MONUMENTS AT
C.O.B.S.C. PT. No. 1993 AND C.O.B.S.C.
PT. No. 1994
BEARING N19°43'16" W

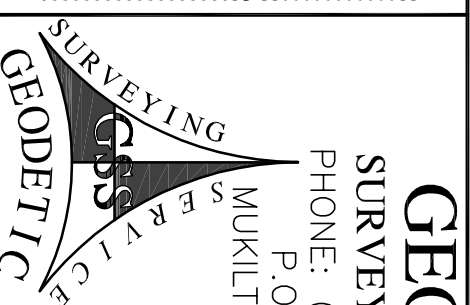
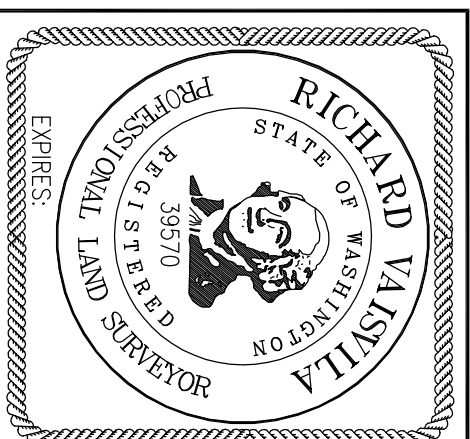


SCALE: 1 inch = 20 ft.
(IN FEET)

3" BRASS SURFACE
DISK W/PUNCH IN SIDEWALK
C.O.B. MON. #1993
VISITED DEC '23
"HELD"

145TH PL. S.E.
N21°58'48"W
63.63'

3" BRASS SURFACE
DISK W/PUNCH
C.O.B. MON. #1994
VISITED DEC '23



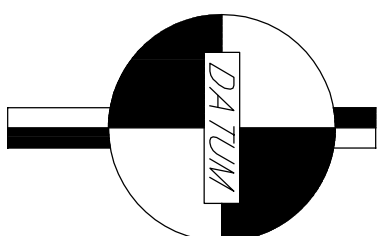
GEODETIC
SURVEYING SERVICES
PHONE: (425) 299-1739
P.O. BOX 133
MUKILTEO, WA 98275
DATE: 4/5/24
DWG: Z22BEL1
JOB# Z22BEL1
DRAWN BY: R
APPROVED: RV



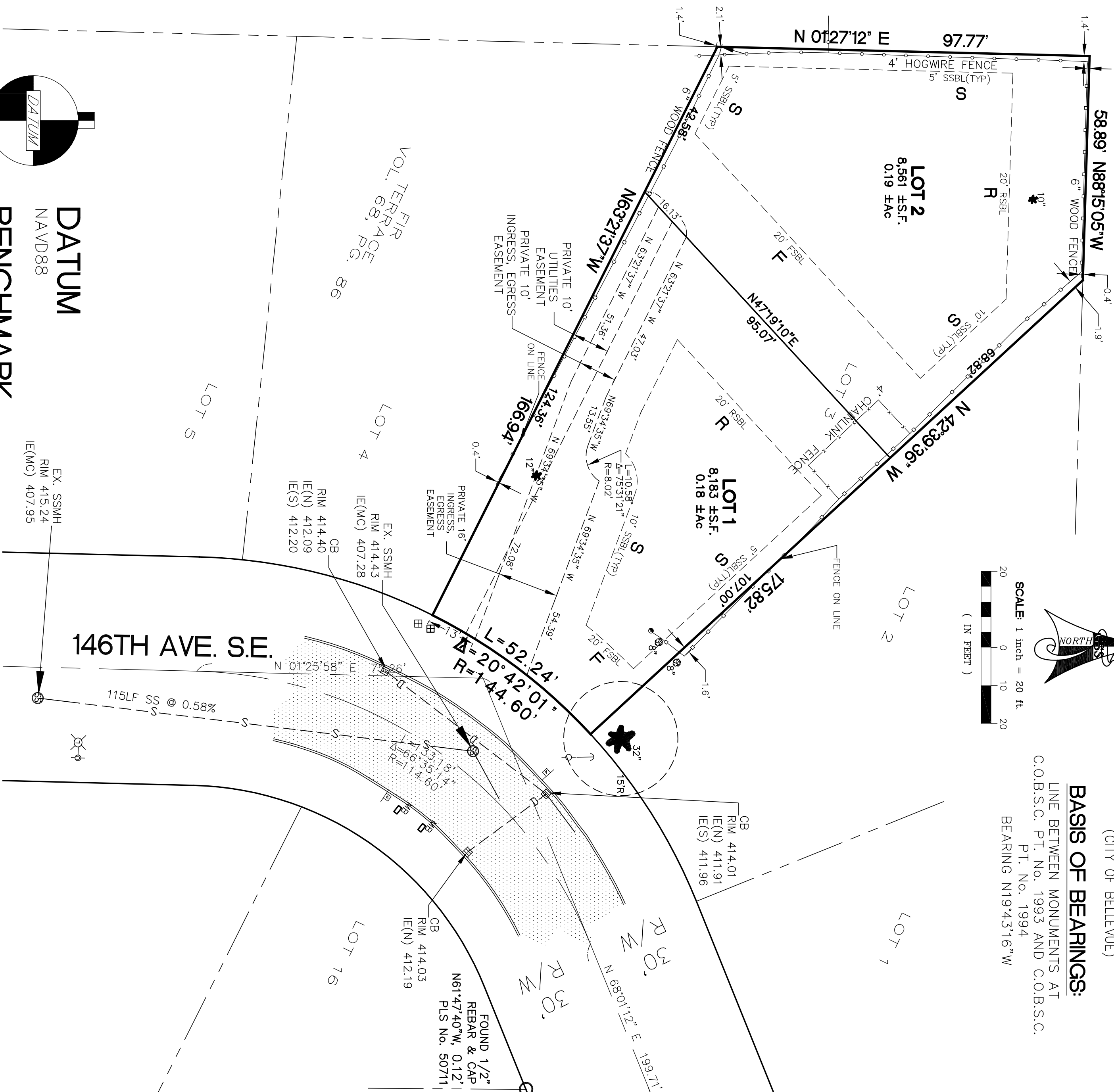
**City of
Bellevue**

SHORT PLAT NO.

SHEET 2 OF 2



DATUM
NAVD88
BENCHMARK
C.O.B.S.C. BENCHMARK
No. 0119
ELEV. = 414.22



LEGEND

- SANITARY SEWER MANHOLE
- WATER METER
- SANITARY SEWER CLEANOUT
- STORM DRAIN MANHOLE
- STREET STORM DRAIN CATCH BASIN
- YARD DRAIN CATCH BASIN
- SPLASH BLOCK
- DOWNSPOUT
- UTILITY POLE ANCHOR
- POWER METER
- UTILITY POLE
- UNDERGROUND STORM LINE
- WATER LINE
- UNDERGROUND SEWER LINE
- 4" STORM DRAIN PIPE
- UNDER GROUND POWER
- TREE PROTECTION FENCE
- SILT FENCE
- ROCKERY
- PAVEMENT
- GRAVEL
- CONCRETE
- DECIDUOUS TREE
- CEDAR TREE
- TREE PROTECTION ZONE

NOTES:

1. SEE C2.0 FOR GENERAL NOTES, AND STORMWATER CONSTRUCTION DETAILS.
2. THE EXISTING SITE IS COVERED BY GRASS AND IN CASE OF DAMAGES WILL BE MAINTAINED. SEE DETAILS ON SHEET C4.0.
3. THE CLEARING AREA MUST BE MARKED BY STAKING WITH RIBBON OR SEPARATED BY ORANGE CONSTRUCTION FENCE, PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES.
4. TREE PROTECTION: THERE ARE TWO TREES ON THE WEST SIDE AND ONE TREE ON THE NORTH SIDE OF SITE (SHOWN ON THE PLAN) THAT WILL BE PRESERVED. DO NOT STAPLE OR WIRE FENCES TO THE TREES. SEE DETAILS ON SHEET C4.0.
5. STOCKPILE MUST COVERED BY CLEAR PLASTIC COVERING. SEE SHEET C3.0 AND DETAILS ON SHEET C4.0.
6. SEDIMENT CONTROL: SILT FENCE MUST BE INSTALLED TO PREVENT THE TRANSPORT OF SEDIMENT FROM THE SITE. SEE SHEET C3.0 AND DETAILS ON SHEET C4.0.
7. USE 1" PEX PIPE FOR THE WATER LINE.
8. USE 4" PVC PIPE WITH 1/2 SLOPE (SEE STORM DRAINAGE NOTES ON SHEET C2.0) FOR STORM DRAIN PIPES INSIDE OF PROPERTY.
9. USE 6" ABS PIPE WITH MINIMUM 1/2 SLOPE FOR SEWER LINE.



12569 SE 72nd ST
NEWCASTLE, WA 98056

Tel: (206) 602-7452
A.CivilSolutions@gmail.com

EXP. 06/03/2024
10/30/2023

DESIGNED BY:
B.A

DRAWN BY:
B.A

JOB TITLE:
146TH AVE LLC-SHORT PLAT

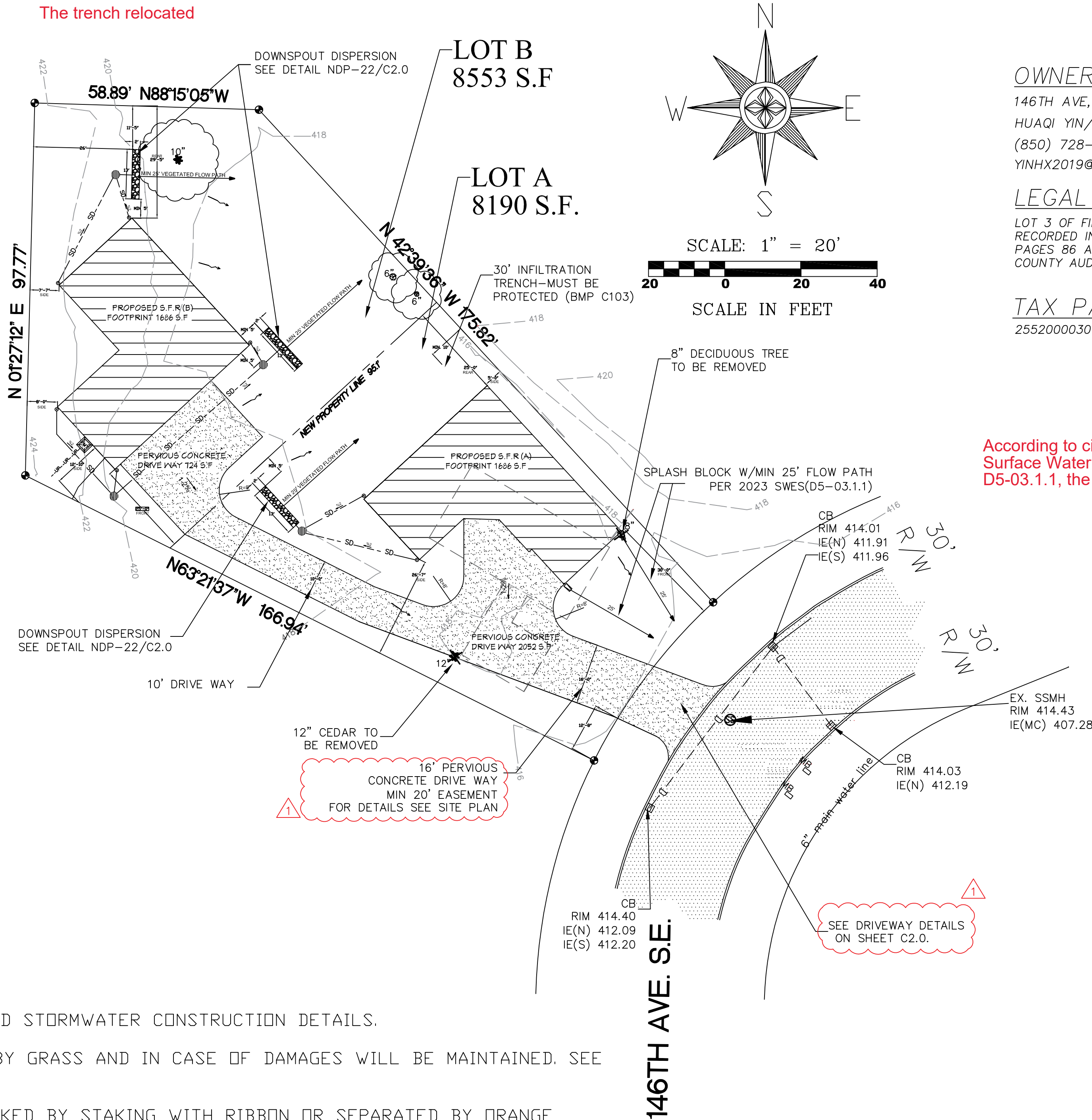
ADDRESS:
2615 146TH AVE SE
BELLEVUE, WA 98007

SHEET TITLE:

STORMWATER SITE PLAN

SHEET NO:
C1.0

SHEET:
1 OF 5



OWNER:
146TH AVE, LLC
HUAQI YIN/TRACY QI
(850) 728-6158
YINHX2019@GMAIL.COM

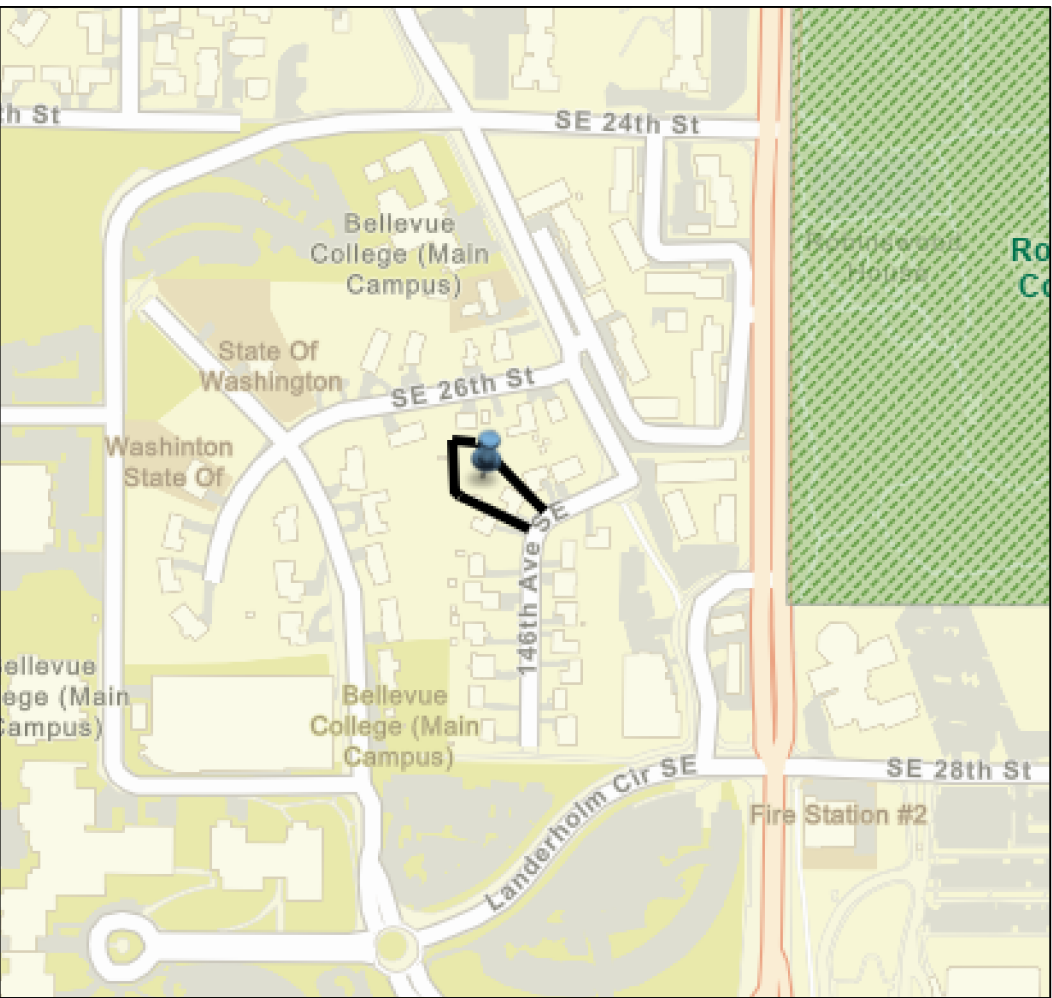
LEGAL DESCRIPTION:
LOT 3 OF FIR TERRACE, AS PER PLAT
RECORDED IN VOLUME 68 OF PLATS,
PAGES 86 AND 87, RECORDS OF KING
COUNTY AUDITOR.

TAX PARCEL NO.:
2552000030

MERIDIAN:
WASHINGTON STATE PLANE,
NAD83 (NSRS 2007)-NORTH ZONE
(CITY OF BELLEVUE)

BASIS OF BEARING:
LINE BETWEEN MONUMENTS AT
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C.O.B.S.C. PT. NO. 1994
BEARING N19°43'16"W

DATUM:
NAVD88
BENCHMARK:
C.O.B.S.C. BENCHMARK NO.0119
ELEV. = 414.22



VICINITY MAP

SITE AREA – EXISTING

Land Cover Type	sqf	Acre	Pervious	Impervious
Pervious Land scape	13359	0.307	X	
Pavers (Patio and walkway)	852	0.020	X	
Total Pervious	14211	0.326		
House	953	0.022		X
Carport	443	0.010		X
ADU	564	0.013		X
Shed	147	0.003		X
Concrete Driveway	425	0.010		X
Total Impervious	2532	0.058		
Total site	16743	0.384		

SITE AREA – LOT A

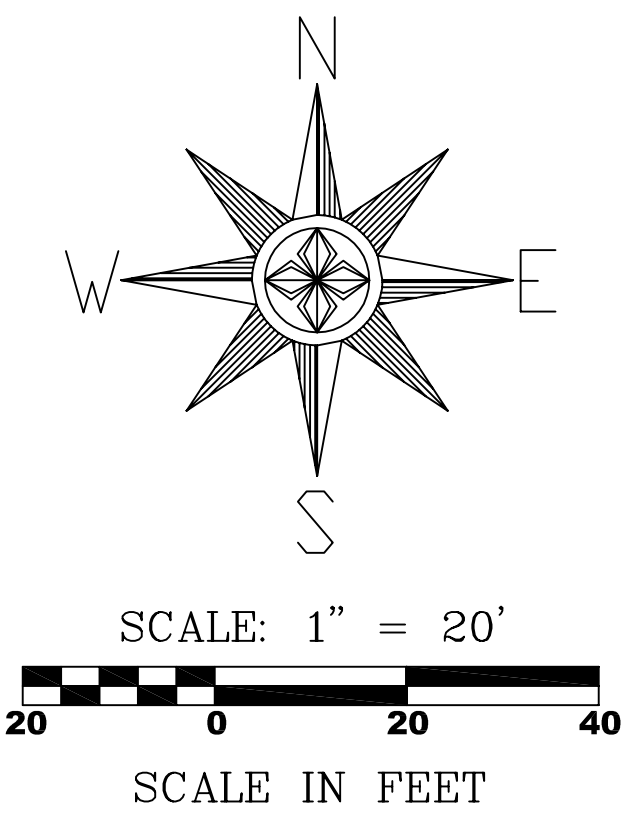
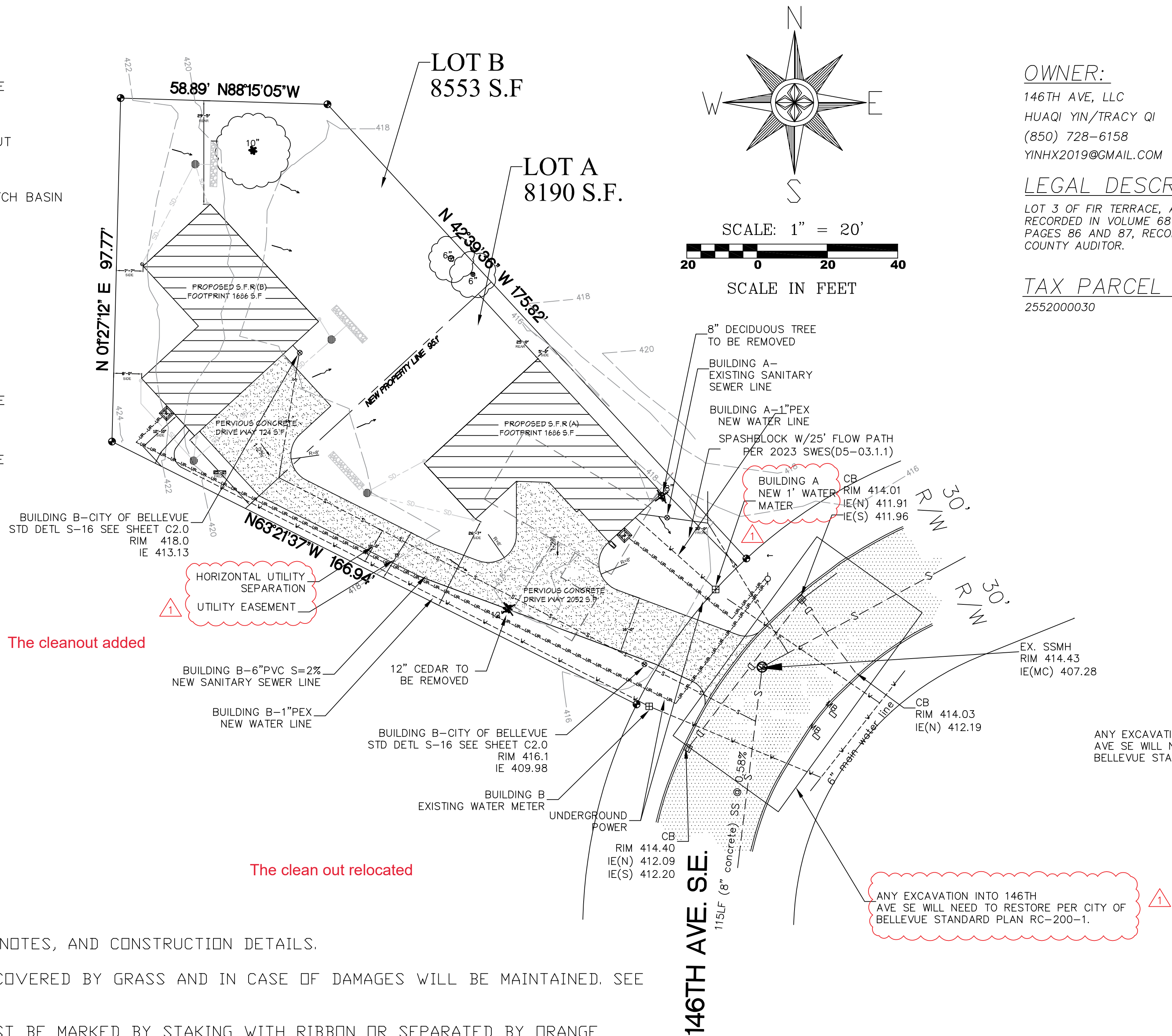
Land Cover Type	sqf	Acre	Pervious	Impervious
Pervious Land scape	4452	0.102	X	
Driveway	2052	0.047	X	
Total Pervious	6504	0.149		
House	1686	0.039		X
Total Impervious	1686	0.039		
Total site	8190	0.188		

SITE AREA – LOT B

Land Cover Type	sqf	Acre	Pervious	Impervious
Pervious Landscape	6143	0.141	X	
Driveway	724	0.017	X	
Total Pervious	6867	0.158		
House	1686	0.039		X
Total Impervious	1686	0.039		
Total site	8553	0.196		

LEGEND

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- UTILITY POLE
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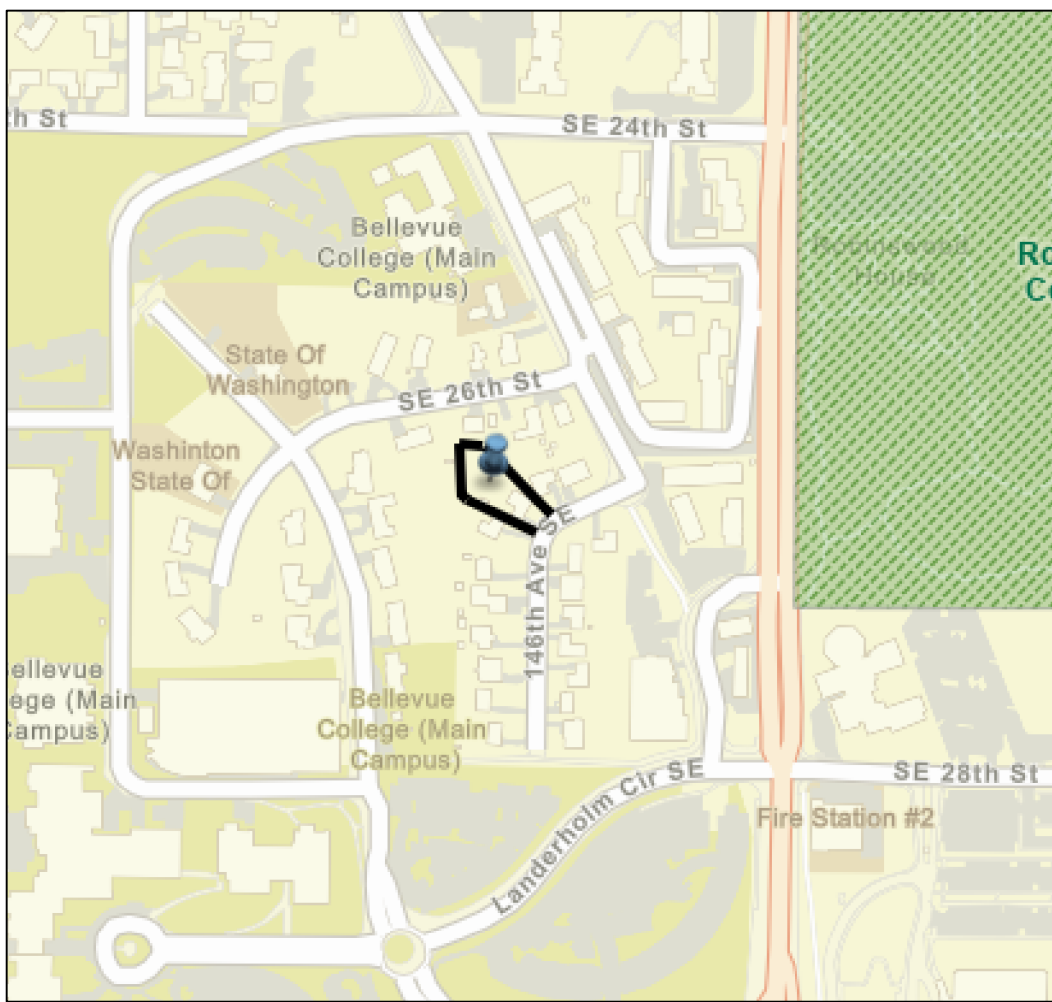
TAX PARCEL NO.:
2552000030

MERIDIAN:
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NAD83 (NSRS 2007)-NORTH ZONE
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BEARING N19°43'16"W

DATUM:
NAVD88

BENCHMARK:
C.O.B.S.C. BENCHMARK NO.0119
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Total site	8553	0.196		

NO.	Date	Revesion/Issue
1	10/30/2023	Correction 1



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DESIGNED BY: B.A	JOB TITLE: 146TH AVE LLC-SHORT PLAT
DRAWN BY: B.A	ADDRESS: 2615 146TH AVE SE BELLEVUE, WA 98007

SHEET TITLE: UTILITY PLAN	SHEET NO: C1.1 SHEET: 2 OF 5
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