DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th AVENUE NE., P.O. BOX 90012
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: Polaris @ Eastgate, LLC

LOCATION OF PROPOSAL: 13620 SE Eastgate Way

DESCRIPTION OF PROPOSAL: To demolish an existing parking lot to construct a Master Development Plan in three phases on 9.81 acres with a Binding Site Plan. The Polaris @ Eastgate, LLC will develop Phase I composed of 360 affordable, multi-family units along with a 10,000 square foot early learning center. Congregations for the Homeless will develop Phase II composed of a 100-bed permanent men's shelter. Horizon Housing Alliance will develop Phase III composed of 95 multi-family housing units for individuals transitioning from homelessness. Landscaping and 337 parking stalls will be provided within the Master Development Plan. Critical Areas are present on the site requiring a Critical Areas Land Use Permit.

FILE NUMBERS: 20-112403 LP, 20-119453 LF and 20-112548 LP
PLANNER: Antoinette Pratt, Senior Planner

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

☐ There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.

☒ This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **4/15/2021**

☐ This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project): or if the DNS was procured by misrepresentation or lack of material disclosure.

Elizabeth Stead
_____ **4/1/2021**
Environmental Coordinator Date

OTHERS TO RECEIVE THIS DOCUMENT:
☐ State Department of Fish and Wildlife / Stewart.Reinbold@dfw.gov; Christa.Heller@dfw.wa.gov;
☐ State Department of Ecology, Shoreline Planner N.W. Region / Jobu461@ecy.wa.gov; sepaunit@ecy.wa.gov
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☐ Attorney General ecyolyef@atg.wa.gov
☐ Muckleshoot Indian Tribe Karen.Walter@muckleshoot.nsn.us; Fisheries.fileroom@muckleshoot.nsn.us

City of Bellevue
Development Services Department
Land Use Staff Report

Proposal Name:	Eastgate Housing Campus
Proposal Address:	13620 SE Eastgate Way
Proposal Description:	To demolish an existing parking lot to construct a Master Development Plan in three phases on 9.81 acres with a Binding Site Plan. The Polaris @ Eastgate, LLC will develop Phase I composed of 360 affordable, multi-family units along with a 10,000 square foot early learning center. Congregations for the Homeless will develop Phase II composed of a 100-bed permanent men's shelter. Horizon Housing Alliance will develop Phase III composed of 95 multi-family housing units for individuals transitioning from homelessness. Landscaping and 337 parking stalls will be provided within the Master Development Plan. Critical Areas are present on the site requiring a Critical Areas Land Use Permit.
File Number:	**20-112403 LP, 20-119453 LF and 20-112548 LO**
Applicant:	Polaris @ Eastgate, LLC
Decisions Included:	Process II, Combined Master Development Plan, Binding Site Plan and Critical Areas Land Use Permit Decision, and SEPA Determination
Planner:	Antoinette Pratt, Senior Planner
State Environmental Policy Act Threshold Determination:	Determination of Non-Significance (DNS) Elizabeth Stead Elizabeth Stead, Environmental Coordinator Development Services Department
Director's Decision:	Approval with Conditions Michael A. Brennan, Director Development Services Department By: Elizabeth Stead Elizabeth Stead , Land Use Director

Application Date:	July 31, 2020
Notice of Application Date:	August 27, 2020
Minimum Comment Period:	September 10, 2020
Public Meeting:	September 16, 2020
Bulletin Publication Date:	**April 1, 2021**
Appeal Deadline:	**April 15, 2021**

For information on how to appeal a proposal, visit the Development Services Permit Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City Clerk's Office by 5 PM on the date noted for appeal of the decision.

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I. PROPOSAL, PHASING & REVIEW PROCESS

A. Request and Project Description

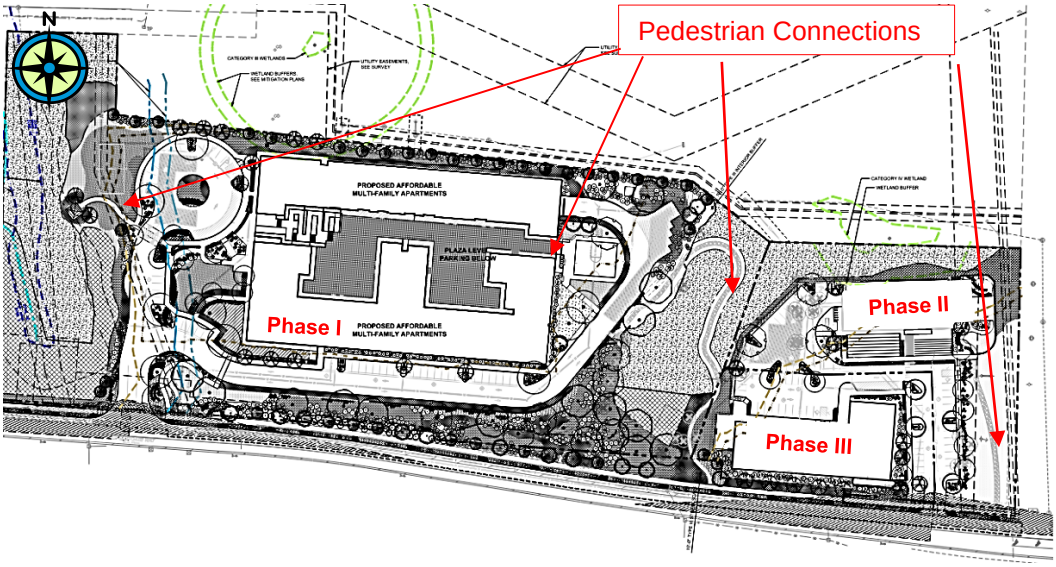
Master Development Plan

The Polaris @ Eastgate, LLC requests Master Development Plan (MDP), Binding Site Plan (BSP) and Critical Areas Land Use Permit (CALUP) approvals along with a Threshold Determination under the State Environmental Policy Act (SEPA) to demolish an existing parking lot to construct as the Eastgate Housing Campus in three phases on 9.81 acres. Landscaping and 337 parking stalls will be provided within the Master Development Plan.

Eastgate Housing Campus

B. Master Development Plan Phasing:

Development of the MDP is expected to occur in three phases:



Phase I – Polaris @ Eastgate, LLC: The proposed project will include 360 units of affordable housing available to qualifying households earning 60 percent or less of average median income on 7.3 acres. The 360 units will be divided between two six-story towers: Building A with 138 residential units and Building B to the south of this structure with 222

residential units. Total gross square footage for Building A is 190,904 while Building B contains 275,645 for a total gross square footage of 466,549 for both structures. Two levels of underground along with 52 surface parking stalls will be provided for a total of 273 parking stalls.

Phase II– Congregations for the Homeless: The second phase of development will occur on an .736 acre property located at the northeast corner of the campus. Congregations for the Homeless will locate a three-story 20,473 gross square foot permanent men's shelter with 100 beds for men experiencing homelessness.

Phase III – Horizon Housing Alliance: The third phase of development will occur on 1.69 acres located at the southeast corner of the campus. Horizon Housing Alliance will construct a four-story residential unit with 95 supportive housing units for residents exiting homelessness. Total gross square footage will be 53,534. Surface parking in the amount of 64 parking stalls will be shared between CFH and Horizon Housing Alliance Housing.

It should be noted that the phases noted above may alter allowing Phase III development prior to Phase II due to the required development review process for Phase II and its respective timeline. See Section VI.E Transportation for further discussion if this should occur.

C. Review Process

The applicant has requested a consolidated review of the MDP, BSP, and CALUP along with a Threshold Determination under the State Environmental Policy Act (SEPA) which are all Process II Administrative Decisions, pursuant to Land Use Code 20.35.200. The MDP is the City's mechanism to ensure the following elements are consistent with the policies and regulations noted below:

- Site Development including structure placement
- Vehicular and pedestrian mobility
- Required amenities
- Phasing to conform to the terms of the Land Use Code

Modifications may be made to an approved MDP. If the modifications are minor in nature, a Land Use Exemption will be required. Modifications beyond the original scope that exceed the thresholds of a Land Use Exemption and require additional transportation analysis, will require submittal of a new MDP for staff review and approval. See Section XIII.A for related condition.

D. Binding Site Plan

LUC 20.30.165.A permits procedural merger of Binding Site Plans with Master Development Plan applications. In this instance, the State standards of RCW 58.17.035, Alternative Method of Land Division – Binding Site Plan applies. Prior to Clear and Grade issuance, the applicant will be required to file the approved Binding Site Plan with King County Recorder's Office. See Section XIII.B for related condition.

E. Critical Areas Land Use Permit

Per LUC 20.25H the applicant is required to obtain a (CALUP) due to unavoidable stream, wetland, and steep slope buffer impacts. The request is to allow disturbance within these

prescribed buffers to enable structures along with necessary utilities, driveways, fire lanes and pedestrian trails. The proposal is supported by a Critical Areas Report. See Section IV.B for further discussion.

II. Site Context, Description, Critical Areas Functions and Values, and Zoning

A. Site Context and Description

Aerial of King County Solid Waste Site

The King County Solid Waste site is located within the Richards Valley Subarea. It is adjacent to the King County Transfer Station along its north property line, with office development along its west and east property boundaries. The property is bounded to the south by SE Eastgate Way where the primary vehicular site access is located at the southwest corner of the site. There is a secondary site access at the southeast portion of the campus connecting to an unpaved driveway. Historically, this site has been used for overflow parking for auto dealerships. Currently, the site is being utilized by the King County Health Department for two medical tents in the event that nearby hospitals reach their patient capacities due to COVID-19 hospitalizations. The King County Health Department has not operationalized the site to date.

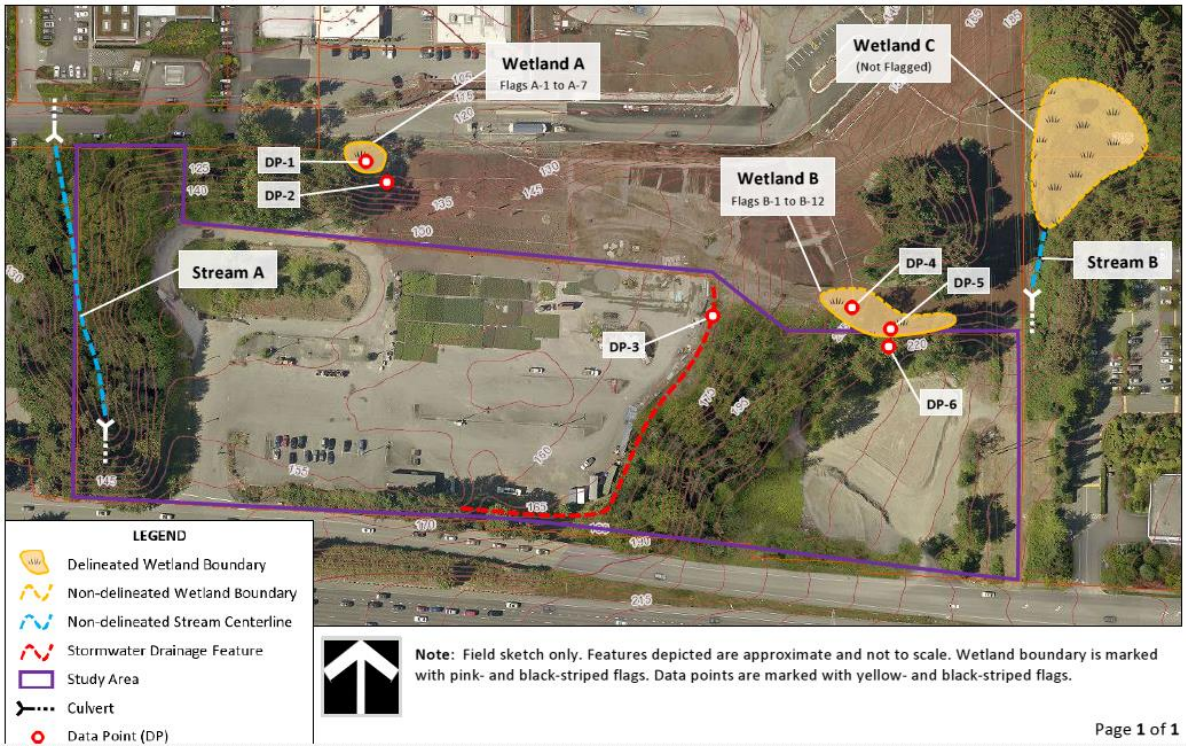
The site contains critical areas in the form of wetlands and Sunset Creek at the western portion of the site. Steep slopes are located throughout the site creating a break in the center of the campus which divides it into an upper and lower bench. See critical areas map below in Section II.B below. Phase I will located on the lower bench while Phases II and III will be located at the upper bench. See Section IV.B for further discussion of noted critical areas.

Historically, dating back to the 1930's, this site served as a gravel pit and then as a concrete and asphalt plant, truck maintenance yard and a dispatch facility. Previous geotechnical reports indicate the site is covered with up to 25 feet of uncontrolled fill containing sand, gravel, concrete, and other construction debris. Accordingly, the site will need remediation in accordance to the Washington State Pollution Liability Insurance Agency to provide a full cleanup of the contaminated soil in order to conform to State and Federal guidelines. Because the preponderance of the western portion of the site requires remediation, the proposed development of two levels of underground parking in this area provides an economy of scale due to the extensive nature of this site work.

Regarding the site topography, the site steps down a total of 130 feet from east to west. The east side of the site, approximately 1.5-acres is predominantly flat. Continuing west, the site slopes down about 50 feet to a second predominantly flat area that is approximately 5 acres in size. From there the site slopes down again 30 to 40 feet to Sunset Creek before sloping back up at its westerly property boundary. The sloped areas of the site are heavily vegetated. The upper bench contains exposed gravel and soil while the lower bench is paved. There is also an existing retention pond at the northwest corner of the site that collects on-site stormwater.

King County Solid Waste currently owns this property but will be transferring the site via sale in June 2021 to Polaris @ Eastgate, LLC so that they may complete the conditions of approval noted in Section XIII of this report for the submitted MDP, BSP and CALUP. King County has submitted an owner authorization letter dated January 19, 2021, which authorizes Polaris @ Eastgate, LLC to submit the aforementioned applications to the City of Bellevue for review. However, prior to the issuance of any permits authorizing construction, the sale and transfer of this site from King County Solid Waste to Polaris @ Eastgate, LLC must occur. **See Section XIII.A for related condition regarding transfer of ownership.**

B. Critical Areas Functions and Values



Stream and Wetland Locations

i. **Wetlands**

Wetlands provide important functions and values for both the human and biological environment—these functions include flood control, water quality improvement, and nutrient production. These "functions and values" to both the environment and the citizens of Bellevue depend on their size and location within a basin, as well as their diversity and quality. While Bellevue's wetlands provide various beneficial functions, not all wetlands perform all functions, nor do they perform all functions equally well (Novitski et al., 1995). However, the combined effect of functional processes of wetlands within basins provides benefits to both natural and human environments. For example, wetlands provide

significant stormwater control, even if they are degraded and comprise only a small percentage of area within a basin.

Off-Site Wetlands

The Watershed Company noted that there are three off-site wetlands located north of this site, Wetlands A, B and C, as shown in the above image. Two of the three identified wetland buffers encumber this site at its northwest and northeast corners. See Section IVB.2.B below for further discussion regarding buffer impacts of these noted wetlands along with their classifications as noted below:

Wetland A is a palustrine scrub-shrub emergent wetland within a depression to the north of the site that receives hydrology from local runoff. It is approximately 500 square feet in size. Wetland A scores 6 points for water quality function, 8 points for hydrologic function, and 5 points for habitat function, for a total of 19 points. It is a Category III wetland which requires a 110-foot buffer along with a 15-foot building setback.

Wetland B is a slope wetland located along the north property boundary that has been highly graded and modified. Hydrology appears to be primarily subsurface except for a small area of shallow inundation. A portion of the wetland is included in a large planting restoration area that encompasses nearly the entire hillside. The restored area includes about 8-inches of topsoil over saturated hydric soils. Wetland B is approximately 2,000 square feet and is a relatively small and low functioning wetland.

Wetland B scores 4 points for water quality function, 6 points for hydrologic function, and 5 points for habitat function, for a total of 15 points. Wetland B is classified as a Category IV wetland. Category IV wetlands less than 2,500 square feet on undeveloped parcels require a 40-foot wetland buffer setback but do not require a building setback.

Wetland C is a depressional off-site wetland to the north east of this site that was entirely ponded during the Watershed Company's site visit. Because of this ponding, the wetland rating for Wetland C is an estimate. Wetland C is approximately .25 acres in size and is a palustrine scrub shrub and emergent wetland.

Wetland C scores 7 points for water quality function, 8 points for hydrologic function, and 6 points for habitat function, for a total of 21 points. Wetland C is classified as a Category II wetland which requires a 110-foot wetland buffer along with a 20-foot building setback

Wetland Categories and Buffer Summary Table

Wetland Name	Category	Habitat Score	Standard Buffer (FT)	Setback (FT)
Wetland A	III	5	110	15
Wetland B	IV	5	40	N/A
Wetland C	II	6	110	20

ii. **Streams and Riparian Areas**

Most of the elements necessary for a healthy aquatic environment rely on processes sustained by dynamic interaction between the stream and the adjacent riparian area (Naiman et al., 1992). Riparian vegetation in floodplains and along stream banks provides a buffer to help mitigate the impacts of urbanization (Finkenbine et al., 2000 *in* Bolton and Shellberg, 2001). Riparian areas support healthy stream conditions. Riparian vegetation,

particularly forested riparian areas, affect water temperature by providing shade to reduce solar exposure and regulate high ambient air temperatures, slowing or preventing increases in water temperature (Brazier and Brown, 1973; Corbett and Lynch, 1985).

Upland and wetland riparian areas retain sediments, nutrients, pesticides, pathogens, and other pollutants that may be present in runoff, protecting water quality in streams (Ecology, 2001; City of Portland 2001). The roots of riparian plants also hold soil and prevent erosion and sedimentation that may affect spawning success or other behaviors, such as feeding.

Both upland and wetland riparian areas reduce the effects of flood flows. Riparian areas and wetlands reduce and desynchronize peak crests and flow rates of floods (Novitzki, 1979; Verry and Boelter, 1979 *in* Mitsch and Gosselink, 1993). Upland and wetland areas can infiltrate floodflows, which in turn, are released to the stream as baseflow

Stream riparian areas, or buffers, can be a significant factor in determining the quality of wildlife habitat. For example, buffers comprised of native vegetation with multi- canopy structure, snags, and down logs provide habitat for the greatest range of wildlife species (McMillan, 2000). Vegetated riparian areas also provide a source of large woody debris that helps create and maintain diverse in-stream habitat, as well as create woody debris jams that store sediments and moderate flood velocities.

Sparsely vegetated or vegetated buffers with non-native species may not perform the needed functions of stream buffers. In cases where the buffer is not well vegetated, it is necessary to either increase the buffer width or require that the standard buffer width be restored or revegetated (May 2003). Until the newly planted buffer is established the near-term goals for buffer functions may not be attained.

Riparian areas often have shallow groundwater tables, as well as areas where groundwater and surface waters interact. Groundwater flows out of riparian wetlands, seeps, and springs to support stream base flows. Surface water that flows into riparian areas during floods or as direct precipitation, infiltrates into groundwater in riparian areas and is stored for later discharge to the stream (Ecology, 2001; City of Portland, 2001).

Sunset Creek (Stream A) and Stream B

During the Watershed Company's site reconnaissance, they found two streams on this site: Sunset Creek along the western portion of the site in a deep ravine and an off-site unnamed creek northeast of this parcel. Sunset Creek is located on the western portion of the site and flows off-site to the north. The streambed is composed of boulders, cobbles and coarse gravel and has a width that ranges from approximately 5 to 15 feet. Sunset Creek contains an abundant pool that is capable of supporting salmonids (Coho) as documented with the Washington Department of Fish and Wildlife. There is an existing culvert at the south property boundary where Sunset Creek flows into with a topographic drop of four feet. The presence of this culvert is a barrier to fish migration. Sunset Creek is considered a Type F stream. A Type F stream requires a 100-foot buffer and 20-foot building setback per LUC 20.25H.075.C.1.a.i and D.2.a.i. These buffers encroach into the already disturbed parking areas that exist on the site.

In contrast to Sunset Creek, Steam B is a small stream that flows north into Wetland C that emerges from a culvert. Stream B is confined to an existing excavated ditch and has a channel width of less than two feet. Stream B has been designated as a Type N stream.

LUC 20.25H.075.C.1.a.i and D.2.a.1 set the prescribed buffers for a Type N stream as noted below which do not impact the site because it is located off-site and does not have a development impact on this site.

Stream Rating and Buffer Requirements

Stream Name	Type	Standard Buffer (FT)	Setback (FT)
Sunset Creek (Stream A)	F	100	20
Stream B	N	50	15

During review of this application, staff found that there was an existing Native Growth Protection Easement (NGPE) for Sunset Creek with a recording number of #8811039001 that was established with Boundary Line Adjustment 88-6830. This existing NGPE will be removed with this application as it reflects outdated environmental standards, a new NGPE will be established to capture current environmental standards (buffers) of LUC 20.25H. The NGPE will also need to be shown on the associated BSP for this project so that this area is noted on the face of the BSP. Lastly, the NGPE will need to be provided to the City via a separate instrument prior to the issuance of a Clear and Grade Permit and filing of the Binding Site Plan. **See Section XIII.B for related conditions for the NGPE and BSP.**

Storm Drainage: In addition to the above, there is an existing storm drainage pond at the northwest corner of the property. This pond will be removed with this application and will still infiltrate to Sunset Creek.

Floodplain: Sunset Creek ravine also contains an existing 100-year floodplain. LUC 20.25H.175 and 180 regulate such floodways. Because this floodplain is located within a ravine and will not be subject to direct development impacts, the standards contained therein are not applicable for this application.

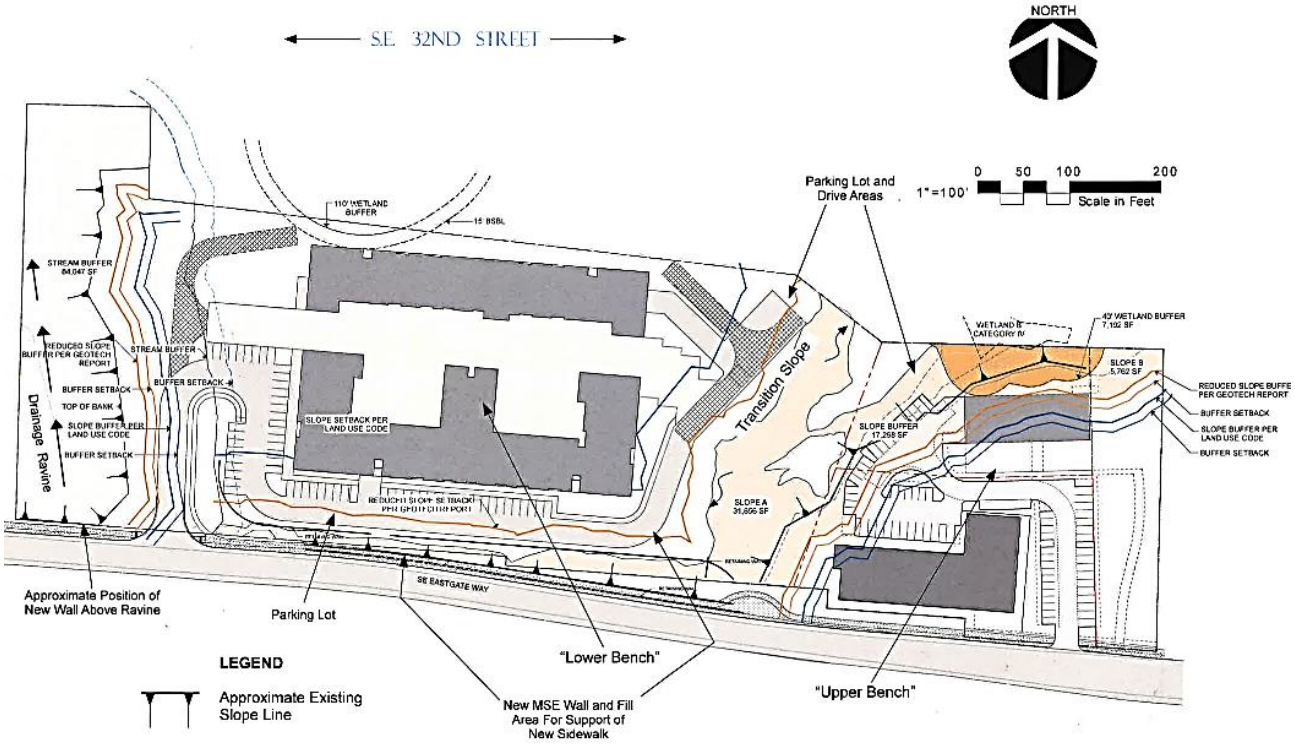
iii. **Geologic Hazard Areas**

Geologic hazards pose a threat to the health and safety of citizens when commercial, residential, or industrial development is inappropriately sited in areas of significant hazard. Some geologic hazards can be reduced or mitigated by engineering, design, or modified construction practices. When technology cannot reduce risks to acceptable levels, building in geologically hazardous areas is best avoided (WAC 365-190). Steep slopes may serve several other functions and possess other values for the City and its residents. Several of Bellevue's remaining large blocks of forest are located in steep slope areas, providing habitat for a variety of wildlife species and important linkages between habitat areas in the City. These steep slope areas also act as conduits for groundwater, which drains from hillsides to provides a water source for the City's wetlands and stream systems. Vegetated steep slopes also provide a visual amenity in the City, providing a "green" backdrop for urbanized areas enhancing property values and buffering urban development.

The applicant has submitted Critical Area Reports by Earth Solutions NW, Inc. dated January 15 and October 23, 2020. Earth Solutions NW, Inc. concluded that there are no slope failures or instabilities from their observations of this site. Earth Solutions NW, Inc. found that the slopes located along the western, south, and eastern portions of this site do meet the standards identified in LUC 20.25H.120.A.2, to require regulation as a "steep slope":

- Slopes of 40 percent and more
- Have a rise of 10 feet
- Exceed 1,000 square feet in area

The steep slopes that exist east/west bifurcate the site into two areas: the lower bench where Phase I development will take place from the upper bench where Phases II and III will be located.



From the south, the site is located at the toe of slope from steep slopes that are bounded by SE Eastgate Way at the south property boundary. The geotechnical engineer has recommended the following buffer reductions for this site:

- Top of Bank: Reduction of the buffer setback from 50 feet to 25 feet plus a reduction of the structure setback from 25 feet to 10 feet for a total of 35 feet
- Toe of Slope: Reduction from 75 feet to 25 feet.

Due to placement of necessary utilities for storm and water connections as required by the Utilities Department, Phase II building placement, driveways, fire lanes and pedestrian pathways will require intrusions into the reduced buffer areas as noted above. Earth Solutions NW, Inc. in its latest geotechnical update noted these encroachments in its evaluation of LUC 20.25H.055.C.3.F and 20.25H.030.B.2. They have determined that this limited encroachment is feasible from a geotechnical standpoint and will not increase geological hazards on-site.

iv. Habitat Associated with Species of Local Importance

Habitat Functions: Urbanization, the increase in human settlement density and associated intensification of land use, has a profound and lasting effect on the natural environment and wildlife habitat (McKinney 2002, Blair 2004, Marzluff 2005, Munns 2006),

is a major cause of native species local extinctions (Czech et al 2000), and is likely to become the primary cause of extinctions in the coming century (Marzluff et al. 2001a). Cities are typically located along rivers, on coastlines, or near large bodies of water. The associated floodplains and riparian systems make up a relatively small percentage of land cover in the western United States, yet they provide habitat for rich wildlife communities (Knopf et al. 1988), which in turn provide a source for urban habitat patches or reserves. Consequently, urban areas can support rich wildlife communities. In fact, species richness peaks for some groups, including songbirds, at an intermediate level of development (Blair 1999, Marzluff 2005). Protected wild areas alone cannot be depended on to conserve wildlife species. Impacts from catastrophic events, environmental changes, and evolutionary processes (genetic drift, inbreeding, colonization) can be magnified when a taxonomic group or unit is confined to a specific area, and no one area or group of areas is likely to support the biological processes necessary to maintain biodiversity over a range of geographic scales (Shaughnessy and O'Neil 2001). As well, typological approaches to taxonomy or the use of indicators present the risk that evolutionary potential will be lost when depending on reserves for preservation (Rojas 2007). Urban habitat is a vital link in the process of wildlife conservation in the U.S.

The applicant hired the Watershed Company to conduct a stream and wetland delineation and a habitat assessment for this site. See file for Critical Areas Reports dated July 2020, October 22, 2020, and January 8, 2021.[1] Habitat assessment was also included in these reports as well. Site reconnaissance was conducted on March 1 and 4, 2018 and February 25, 2020. The ecologists found that the site contains two forested areas that are degraded due to past construction activities that took place on this site. These past practices have allowed a substantial amount of invasive vegetation to populate the site within two areas of forested vegetation areas which remain on the site. Both forested areas contain remnants of asphalt and gravel.

The first forested area is located along the western portion of the site where Sunset Creek is located. Sunset Creek is located within a steep ravine and contains a multilayered closed forested environment which contains both overstory and understory materials. However, there is a large amount of invasive materials in the form of English ivy that is restricting the opportunities for growth of the understory along with any saplings. A preponderance of the tree materials in this area are deciduous trees with some conifers. Lastly, there is an abundance of snag materials in this area for habitat usage.

The second forested area on the site is located between the lower bank which is Phase I and the upper bank which will contain Phases II and III. It also contains a multilayered closed forested environment which contains both overstory and understory materials. There is also an abundance of snags in this area as well. This area also contains overstory and understory materials that are being affected by the presence of invasive materials such as English ivy. However, this vegetated area predominantly contains conifer rather than deciduous trees. The importance of this second forested area is that it does connect to off-site habitat, a 25-acre patch to the northeast of the site, that is mostly undisturbed and is separated by an existing utility corridor. The area does contain off-site wetlands and streams that provide high value habitat for wildlife in the area.

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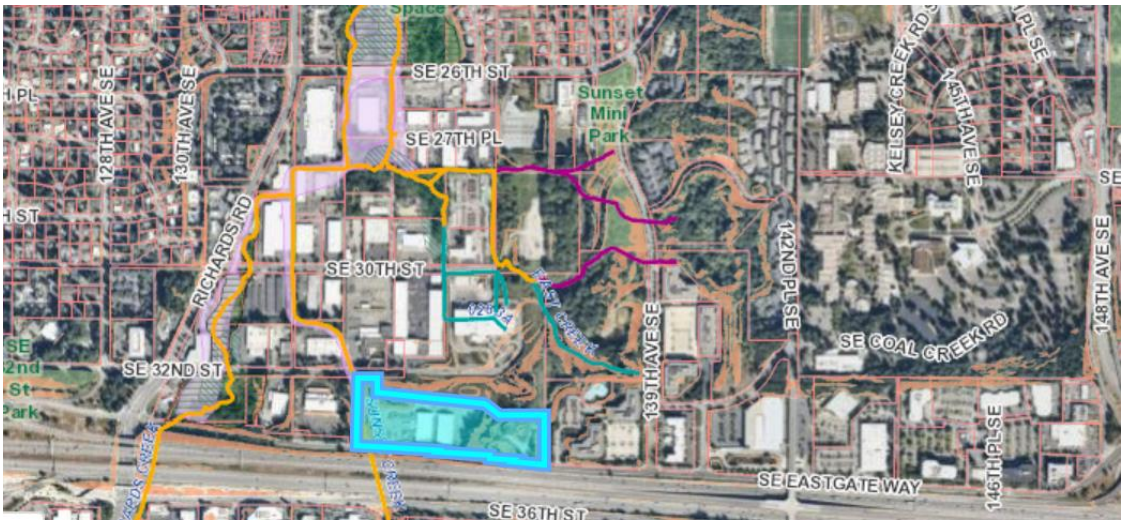
1 The applicant filed a Pre-Development application, 19-103434 DC, which contains the Watershed Company's initial report of the site dated May 20, 2019.

Because of the importance of this second forested area, this area between the lower and upper benches of this site will be required to be noted as a NGPE. This area is located on the BSP (Page 3). Lastly, the NGPE will need to be provided to the City via a separate instrument prior to the issuance of a Clear and Grade Permit and filing of the Binding Site Plan. **See Section XIII.B for related condition for the NGPE.**

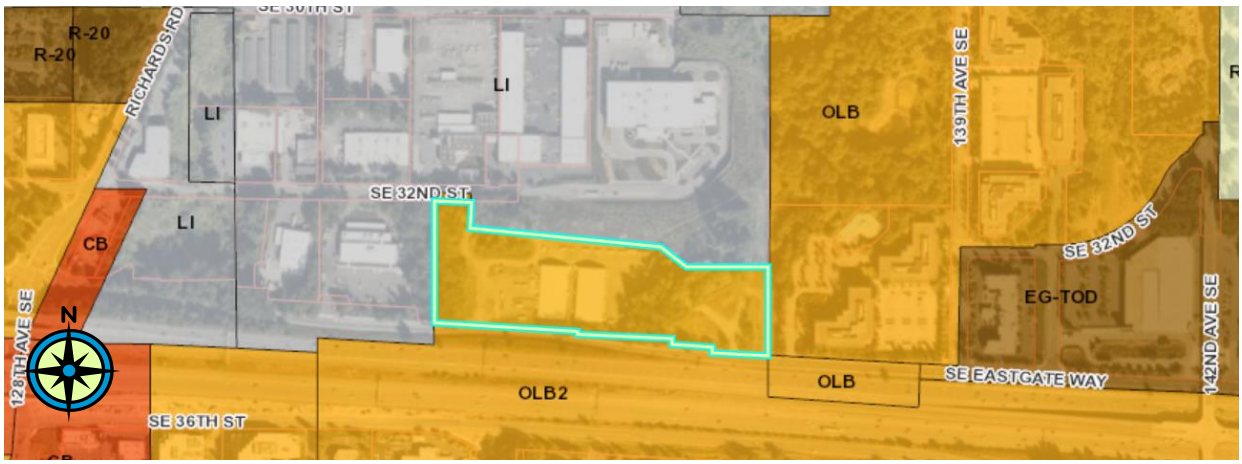


During the Watershed Company's site reconnaissance, they did not note any species of Species of Local Importance per LUC 20.25H.150.A outside of the known presence of Coho salmon that may be present in Sunset Creek. Outside of this, migratory or foraging birds may use these forested areas.

In sum, the Watershed Company concluded that, based on the fractured nature of the two on-site forested areas and the past construction practices that took place on this site, that the site's existing habitat may have the potential to support species of local importance.

B. Zoning

The property is located within the Office Limited Business-2 (OLB2) land use district. The site does not lie within a perimeter district nor is there an applicable concomitant agreement for the property.



Aerial of Zoning in Proximity to Site

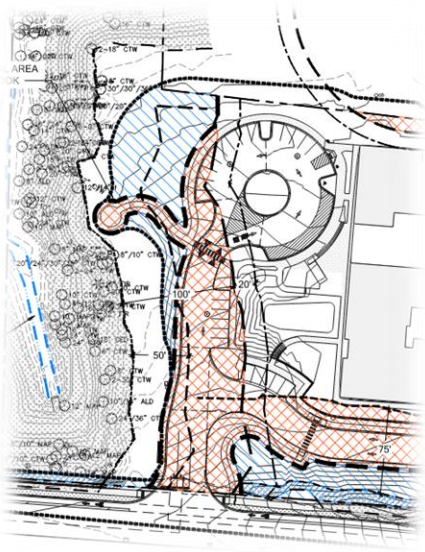
III. SITE AND BUILDING DESIGN

Site Design (Phase I, II and III)

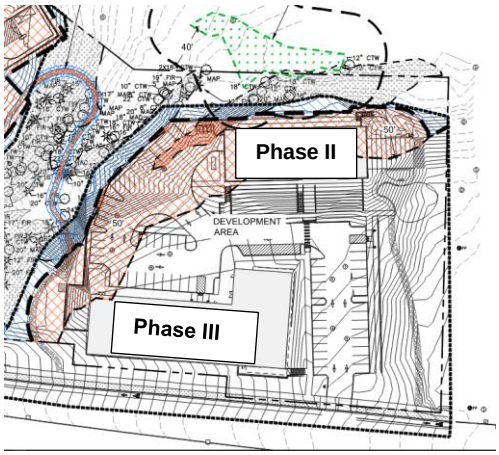
Eastgate Housing Campus has been designed to complement existing topographic conditions of the site. Phase I development has been sited in the already disturbed areas on the lower bench. Buildings A and B in Phase 1 have been set back from thee buffers to the east to reduce impacts to the critical areas buffers along the western portion of the site due to the presence of Sunset Creek and steep slopes within this existing ravine. Minor encroachments will occur with a fire lane, parking and driveways and a picnic overlook that will allow for a passive residential amenity. See graphics below:

Existing Condition

Proposed Condition



Phases II and III will be located on the upper bench located to the east of Phase I development. Phase II development will impact existing wetland and steep slope buffers, but the structure has been designed to have a compact building footprint reducing the development impact to the prescribed buffers. Phase III development will be located closest to SE Eastgate Way. Out of all the building proposed on this campus, it will have a presence along this street frontage and minimum impact to the steep slope buffers. See the graphic below.



Building Design

Polaris at Eastgate (Phase I)

Polaris at Eastgate will contain a 360-unit affordable multi-family apartment development with studio through three-bedroom units within two mid-rise towers over an underground parking structure. An Early Learning Center will be included within the Polaris building that will be approximately 10,000 square feet. A combination of surface and sub-surface garage parking will meet the minimum criteria as outlined within the recently adopted City of Bellevue Ordinance #6513 which allows development adjacent to frequent transit stops to reduce their required parking stall requirements accordingly. See Section IV.A for further discussion regarding parking.

CFH (Congregations for the Homeless) Shelter & Center (Phase II)

Congregations for the Homeless is proposing a permanent, overnight men's shelter with 100 beds within a three-story wood-frame building that will include a 125 person Day Center and offices for support services and CFH administration. The Day Center portion of the building will include bathrooms, medical room, storage & donation areas, staff/ guest laundry, meeting rooms, and CFH workspaces.

Congregations for the Homeless has formally submitted for its required Conditional Use application to site the permanent men's shelter per 21-100169 LB. The Conditional Use application is running concurrently with the submitted MDP, BSP and CALUP. However, no construction may begin on Lot 2 until such time as the Conditional Use process is complete.

Horizon Housing Apartments (Phase III)

Horizon Housing Alliance will construct a four-story residential unit with 95 supportive housing units for residents exiting homelessness. Total gross square footage will be 53,534. Surface parking in the amount of 64 parking stalls will be shared between Lots 2 and 3. The building will have outdoor amenity space for gardening and gatherings.

In review of this application, the applicant has not submitted sign packages for Phases I, II or III. The applicants of each lot within the MDP will be required to submit their own individual sign packages for staff review and approval. **See Section XIII.E for related condition for sign permits**.

IV. CONSISTENCY WITH LAND USE CODE/ZONING REQUIREMENTS

This site is located within the OLB-2 land use district. All of the proposed uses within the MDP are permitted subject to specific development review paths as noted below:

- **Phase I Polaris:** Polaris @ Eastgate, LLC is responsible for the submitted MDP, BSP and CALUP to establish the Eastside Housing Campus and subdivide the 9.81-acre parcel into 3 lots.

- **Phase II Congregations for the Homeless:** A Conditional Use Permit is required to site a 100 bed permanent men's shelter which was submitted on January 6, 2021 for City review per 21-100169 LB.
- **Phase III Horizon Housing Alliance:** Multi-family housing units are permitted outright in this land use district.

Polaris @ Eastgate, LLC has fulfilled its requirement to establish a campus plan by submitting the required Master Development Plan and Binding Site Plan applications for review and approval. The proposal has fulfilled the LUC requirements as shown below:

LAND USE CODE REQUIREMENTS

Category	LUC Requirements	Proposal by Applicant
Zoning	OLB-2	No changes to zoning
Site Area	427,143 square feet	Lot 1: 7.3 acres Lot 2: .73 acres Lot 3: 1.69 acres
Lot Coverage[1]	35 percent	Proposed: 32.7% (Shared across the MDP)
Floor Area Ratio	Maximum of 1	.97 (shared across the MDP – See Section IV.A for further FAR discussion)
Impervious Surface	60 percent	Proposed: 49% (Shared across the MDP)
Building Height	75 feet	Lot 1: 74'-0" Lot 2: 45' Lot 3: 56'-8"
Building Setbacks Side (West) Front (south) Rear (North) Side (east)	 0 feet 0 feet 0 feet 0 feet	 Critical Areas Setbacks per Watershed Company and Earth Solutions, NW. See Section IV.B below.
Parking[2]	**Lot 1** : .75 parking stall: 270 parking stalls **Bike Racks**: 10 **Lots II and III**: Unspecified[3] **Bike Racks:** 5 per each parcel **Total Parking Provided: 331** **Total Bike Racks Provided: 20**	**Lot I:** 273 Stalls (52 Surface, 221 Garage) **Bike Racks:** 20 **Lots II and III:** 64 Stalls to be shared between CFH and Horizon Housing Alliance **Bike Racks:** 10 per each parcel **Total Parking Provided: 337** **Total Bike Racks Provided: 30**
Landscaping Perimeter Buffers North South East West **Parking lot Landscaping** **Tree Preservation Interior** **Tree Preservation Perimeter**	 10 feet 10 feet 10 feet 10 feet 4,340 square feet (35 sq. ft. per stall) 15% minimum of the existing diameter tree inches= 89 diameter inches (See *WFC arborist report pg.8) 100% = 84 diameter inches (see *WFC Arborist Report pg.7, Table 5)	 13 feet 40 feet 32 feet 70 feet 5,841 square feet 177.5 diameter inches proposed for retention, 30% remaining (See *WFC arborist report pg.8) 100% = 84 diameter inches

1 LUC 20.20.010, subnote 13 applies to this site due to the presence of critical areas on-site. Lot coverage must be calculated after the subtraction of all critical areas. In this case, the total lot area for this site is 432,172 SF – 135375 SF of critical area (wetland, stream, and steep slopes) = 291,768 SF (Deducted lot area).
2 This site is subject to Ordinance 6513 which permits modification of the standard parking stall counts noted in LUC 20.20.590 for sites that are near frequent transit stops. This site qualifies for these standards for Phase I development.
3 Phases II and III are unspecified per LUC 20.20.590.F.2. The Transpo Group in their parking analysis dated January 15, 2020 established a minimum parking count of 61 for both uses to share. The provision of 64 parking stalls fulfills this required minimum.

A. Floor Area Analysis (FAR)

Because this site is subject to a Binding Site Plan, the dimensional standards are applied to the MDP as a whole rather than individually on a lot per lot basis. Building height is the only dimensional standard applied to each individual structure within the MDP. Additionally, the applicant has calculated the Floor Area Ration (FAR) across the entire MDP and has arrived at a 411,767 square feet per LUC 20.50.020 (F Definitions). Use of the BSP allows the property to be divided into three lots. **See Section XIII.B for related condition for BSP.** See chart below for the MDP FAR analysis which is summarized as follows:

MDP/BSP FAR Phasing Analysis

Eastgate Housing Campus	1/14/2021		
Eastgate FAR Calculation per Construction Phase			
This represents maximum square feet to be built in the MDP.			
Lot Area		427,143	
Base Permitted Floor Area (Base FAR x Project Limit)	1	425,228 (Less Right-of-Way Dedication)	
Total Max FAR	1	425,228	
MDP - Eastgate Housing Campus			
FAR per Construction Phase			
	Phase I Polaris	**Phase II CFH**	**Phase III PSH**
Floor Area for FAR	343,024	18,699	50,044
Cumulative FAR	0.81	0.85	**0.97**

B. Critical Areas Requirements

1. **LUC 20.25H.055.C.2 New and Expanded Uses or Development:**

a. New or expanded facilities and systems are allowed within the critical area or critical area buffer only where no technically feasible alternative with less impact on the critical area or critical area buffer exists. A determination of technically feasible alternatives will consider:

i. The location of existing infrastructure;
ii. The function or objective of the proposed new or expanded facility or system;
iii. Demonstration that no alternative location or configuration outside of the critical area or critical area buffer achieves the stated function or objective, including construction of new or expanded facilities or systems outside of the critical area;
iv. Whether the cost of avoiding disturbance is substantially disproportionate as compared to the environmental impact of proposed disturbance; and
v. The ability of both permanent and temporary disturbance to be mitigated.

Finding: The Watershed Company has conducted an analysis of allowed uses per LUC 20.25H.055 and 20.25H.030 per their reports dated October 23, 2020 and January 8, 2021. As discussed earlier in this report, this site has been heavily disturbed by past construction practices that took place under King County ownership as a King County Solid Waste site. Additionally, the site is heavily encumbered with stream, steep slope, and wetland buffers. The applicant has generally confined the proposed developments for Phase I, II and III to discrete areas, but there are instances where the proposed development is set further from critical areas than the existing areas of impact. This is largely evident on Phase I development where the 360 units of affordable housing has been located outside of the steep slope and stream buffers with exceptions for driveways, parking, a pedestrian trail, and overlook. If the applicant adhered to all of the prescribed buffers noted on this site, there would not be an opportunity to construct the proposed densities on this site.

There will be no direct impacts to Sunset Creek, or Wetlands A, B, and C with the submitted application. However, there are direct impacts to the identified steep slopes on site which have been evaluated by Earth Solutions NW. See Section IV.B.2.D below for further discussion.

b. If the applicant demonstrates that no technically feasible alternative with less impact on the critical area or critical area buffer exists, then the applicant shall comply with the following:

i. Location and design shall result in the least impacts on the critical area or critical area buffer;
ii. Disturbance of the critical area and critical area buffer, including disturbance of vegetation and soils, shall be minimized;
iii. Disturbance shall not occur in habitat used for salmonid rearing or spawning or by any species of local importance unless no other technically feasible location exists;
iv. Any crossing over of a wetland or stream shall be designed to minimize critical area and critical area buffer coverage and critical area and critical area buffer disturbance, for example by use of bridge, boring, or open cut and perpendicular crossings, and shall be the minimum width necessary to accommodate the intended function or objective; provided, that the Director may require that the facility be designed to accommodate additional facilities where the likelihood of additional facilities exists, and one consolidated corridor would result in fewer impacts to the critical area or critical area buffer than multiple intrusions into the critical area or critical area buffer;
v. All work shall be consistent with applicable City of Bellevue codes and standards;
vi. The facility or system shall not have a significant adverse impact on overall aquatic area flow peaks, duration or volume or flood storage capacity, or hydroperiod;
vii. Associated parking and other support functions, including, for example, mechanical equipment and maintenance sheds, must be located outside critical area or critical area buffer except where no feasible alternative exists; and

viii. Areas of new permanent disturbance and all areas of temporary disturbance shall be mitigated and/or restored pursuant to a mitigation and restoration plan meeting the requirements of LUC 20.25H.210.

Finding: Based upon the submitted materials, the applicant has complied with these standards. The location and design result in the least impact on critical area and critical area buffers and does not include disturbance in habitat used for salmonid or any species of local importance. The applicant has designed the proposed mitigation plan to focus on the restoration of the Sunset Creek ravine and associated buffer to remove invasive materials in the area while providing improved water quality and habitat function. These enhancements can also provide an opportunity for habitat snag creation for birds and small wildlife.

The applicant is proposing a pedestrian trail that will lead to an overlook for a picnic area for passive recreation for its residents as an area of respite. The overlook and pedestrian trail will be located within the stream buffer for Sunset Creek but 65 feet from its ordinary high-water mark. The Watershed Company's mitigation plan will replant this area and others at a 1:1 ratio per the LUC. Specifically, the plan will restore the noted buffers with native plantings. Pedestrian trails will connect the site to allow east/west and north/south pedestrian movement. No significant trees are proposed for removal as the pedestrian trail has been designed to meander around vegetative materials on the noted steep slopes between the lower and upper bench areas of the site. See Sheets W6 through W8 for the proposed mitigation plan.

The Watershed Company proposes to mitigate permanent and temporary disturbance by proposing the following mitigation. The table below accounts for modest changes that were made to the October 23, 2020 report due to the required Utility Department changes to the water and sewer design. These changes were accounted for with the Watershed Company's addendum dated January 8, 2021, to document impact comparison between the two reports and subsequent mitigations:

Impact Comparison

	Eastgate CAR (SF)	Revised Proposal (SF)	Change (+/-) (SF)
Permanent Impacts			
Steep Slopes	2,115	2,165	+50
Buffers/Setbacks	87,775	83,785	-3,990
Total	89,890	85,950	-3,940
Temporary Impacts			
Steep Slopes	13,250	15,870	+2,620
Buffers/Setbacks	32,015	36,005	+3,990
Total	45,265	51,875	+6,610

Mitigation Comparison

	Eastgate CAR (SF)	Revised Proposal (SF)	Change (+/-) (SF)
Mitigation Area	96,730	85,950	-10,780
Temporary Impact to be Restored in Place	35,995	50,720	+14,725

The City's Development Services Department (DSD) has evaluated the recommendations of the Watershed Company as noted above and accepts the recommendations in their reports and as documented on Sheets W1 to W8. Specifically, Sheet W8.0 details the components of the 5-year monitoring plan along with yearly reports to the City. BSD will complete the improvements noted on the W-plan sheets and designate the area as an NGPE prior to Certificate of Occupancy. **Refer to Section XIII.B and D for Condition of Approval regarding mitigation and restoration planting, plant monitoring and maintenance and the Native Growth Protection Easement (NGPE).**

2. Consistency with Land Use Code Critical Areas Performance Standards

A. Streams (LUC 20.25H.075)

Finding: In compliance with LUC 20.25H.230, the applicant hired the Watershed Company to conduct a steam and habitat study as noted above. The plans developed by the Watershed Company fulfill the LUC performance standards, and DSD accepts the Watershed Company recommendations which are noted on the W-plan sheets. Lights have been directed away from the Sunset Creek ravine and pedestrian movement is limited to a designated 6-foot walking path from the proposed picnic overlook that will allow passive enjoyment of the area. Sheets W6-W8 provide the proposed vegetative layering for Sunset Creek ravine and the steep slope mitigations areas throughout the site along with limitations of pesticide usage.

Refer to Section XII.B for Condition of Approval regarding restoration planting, lighting, and Environmental Best Management Practices.

B. Wetlands (LUC 20.25H.095)

Finding: In compliance with LUC 20.25H.230, the applicant hired the Watershed Company to conduct a wetland study as noted above. Wetlands A, B, and C are all located off-site to the north. However, Wetlands A and B have buffer impacts that cross over the property line to the southwest and northwest corners of this site as shown in the graphic below:

Wetlands A and B

No buffer mitigation is required for Wetland A due to its distance away from Phase I development. Wetland B will have a buffer intrusion by Phase II development. Because Wetland B is classified as a Category IV wetland, a 40-foot wetland buffer is required. To mitigate for the impact of Phase II development, the Watershed Company has proposed 220 square feet of mitigation planting in the northeast corner of the site as noted on Sheet W5 of 8.

C. Geological Hazards (LUC 20.25H.125)

Finding: In compliance with 20.25H.230, the applicant submitted Critical Area Reports by Earth Solution NW. Earth Solutions NW concluded that there are no slope failures or instabilities from their observations of this site. The submitted plans fulfill the LUC performance standards, and DSD accepts Earth Solution NW's recommendations per their reports dated December 19, 2019 and October 23, 2020.

D. Steep Slopes Analysis

Finding: In compliance with 20.25H.230, the applicant has submitted a Critical Area Report by Earth Solutions NW which is dated December 19, 2019 and October 23, 2020. Earth Solutions NW recommends that the top of slope buffer and building setback be reduced to 35 feet as there is no evidence of landslides or slope failures along the perimeter of these slopes. Similarly, the geotechnical engineer recommends that the associated toe of slope buffers be reduced to 25 feet. For the most part, the proposed development will adhere to the noted reduced setbacks with exception of development within Phase II. As noted earlier, a portion of Phase II's building and adjacent parking stalls will be located within the top of bank reduced buffer area of 35 feet, or within limited portions of the slope itself. Earth Solutions NW has documented from its site reconnaissance that the intrusions from the aforementioned structures is limited in scope and will not increase the geohazards for this site as the site's overall slope stability is good. The report also contains construction recommendations for the building foundation which will be further

evaluated by the geotechnical engineer during the review of the associated building permit. A hold harmless agreement will be required as a condition of approval. **See Section XIII.C regarding related condition for hold harmless agreement. .**

V. PUBLIC NOTICE AND COMMENT

To date, staff has received comments from three individuals from the public regarding this project. One of the commenters wanted to provide an email in support of the project. The other two commenters wanted a copy of the PowerPoint presentation from the public meeting held on September 16, 2020 and to be a party of record so that they may receive the Director's decision on this proposal.

The City also received a letter of comment from the Department of Ecology dated September 10, 2020. In their correspondence they requested more information regarding the following:

- Identify the contaminated soils onsite along with an outline of the cleanup details.
- Description of the removal and disposal of the contaminated soils and/or ground water from the site.
- Protection of human health during the remediation process

Polaris @ Eastgate, LLC responded to the above requested items in a letter dated September 16, 2020. Upon review of Polaris @ Eastgate, LLC response, DOE has responded in a subsequent email dated January 14, 2021, that they are satisfied with their responses.

Applicant Held Public Meetings

Because this is an MDP that is being created in the support of affordable housing, Polaris @ Eastgate, LLC has worked cooperatively with its partners, Congregations for the Homeless and Horizon Housing Alliance to begin early conversations with the City and the community regarding its development progress to develop this campus. The following is an overview of the communications and meetings that have taken place since 2019:

- **September 2019:** Press release issued announcing plans for the Eastgate Campus which included Inland and Horizon Housing Alliance. https://www.cfhomeless.org/cfh-news-preferred-site/
- **September 2019- November 2019:** Eastgate Campus representatives met with City of Bellevue Council members.
- **November 2019:** CFH, Inland and Horizon held a community meeting for local businesses and Eastgate area residents where they shared the current status of the Eastgate Campus Plan.
    1. **January 2020 - Today:** CFH formed a Community Advisory Group consisting of adjacent neighborhood & business representatives and continues to refine plans for the Phase III building and use. Polaris @ Eastgate, LLC submitted its Master Development Plan, Binding Site Plan and Critical Areas Land Use Permits which triggered the first formal public meeting for the campus which was held September 16, 2020.
    2. Eastgate Community Association newsletters shared information about the entire campus.

3. CFH formally submitted its Conditional Use Application on January 6, 2021, to begin the development review process for the permanent men's shelter.

VI. TECHNICAL REVIEW

A. Utility Department

The development proposed for this application has been reviewed on a conceptual basis and can feasibly construct water, sewer and storm facilities under current Utility codes and standards without requesting modifications or deviations from them. Major changes to the design may cause delay in approval of future utility construction permits. **See Section XIII.B for related conditions.**

B. Clear and Grade Division

The Clear and Grade reviewer has reviewed the plans and materials submitted for this project and has determined that the clearing and grading portion of this land use application can be approved. The future Clearing and Grading Permit application for this development must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76).

C. Fire Department

The Fire Department has reviewed this application. The proposal generally conforms to the Fire Code requirements for site circulation and access. Final review and approval will occur through the associated building permits for this proposal.

D. Building Department

The plans for the Master Development Plan have not been sufficiently developed for a thorough review under the 2015 IBC (International Building Code), including amendments made by the State of Washington and the City of Bellevue. Complete review will occur under the Building permit applications.

The plans generally conform to the level of detail typical at this stage in the design process.

E. Transportation Department

Project Summary

The Eastside Housing Campus is located in South Bellevue just north of I-90 and east of I-405. The site was previously owned by King County and is 9.81 acres in size.

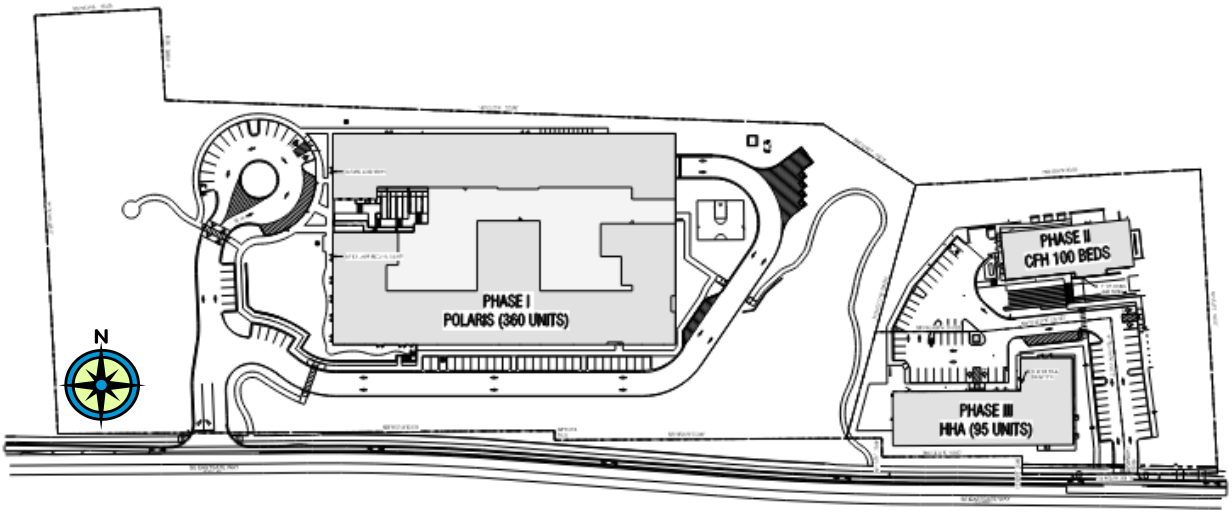
The Master Development Plan proposal is comprised of three phases:

1. Phase I (Lower Bench)
    a. Polaris – Two six story building over two levels of subterranean parking consisting of 360 units of affordable housing. There will also be 10,000 square feet of commercial space that will accommodate an early learning center that will be independently owned and operated. It will be open to the public as well the residents.

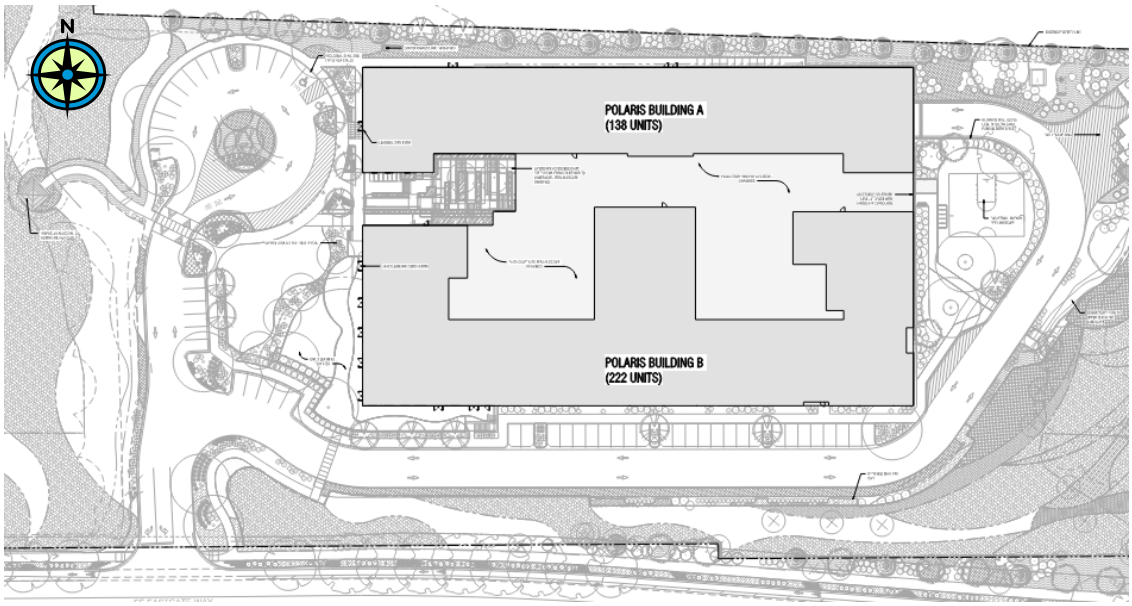
2. Phase II (Upper Bench)
    a. Men's Homeless Shelter – A three story building consisting of 100-shelter beds, a day center, supportive services, and administrative offices.

3. Phase III (Upper Bench)
    a. Horizon Housing Alliance Affordable Housing – A four story building consisting of 95 studio apartments to provide transitional housing to people exiting homelessness and three units for full time staff living on site.

The site can be divided into two distinct and separate sections that match the phasing plan. Below is a plan of the overall site.

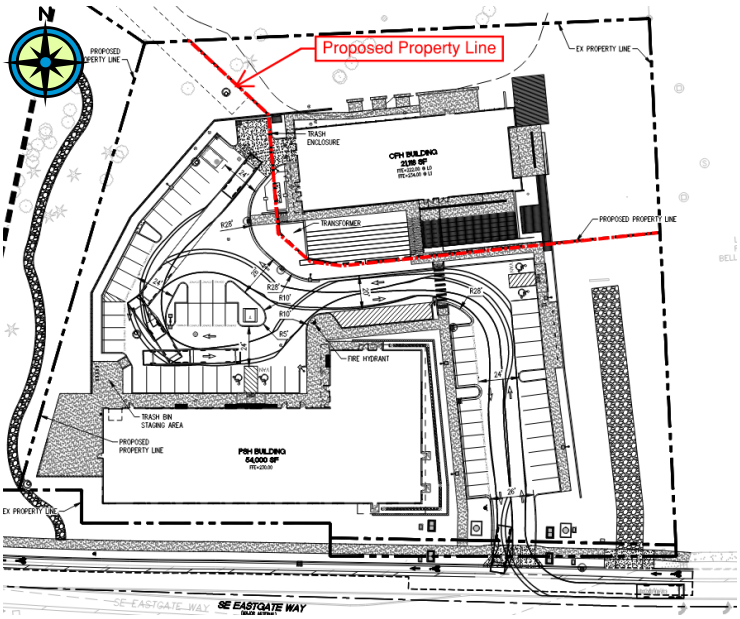


Phase I, the Polaris project, will be located on the western portion of the site. It will have one driveway access off SE Eastgate Way. This first phase will install all of the frontage improvements on SE Eastgate Way, including those adjacent to the Horizon Housing Alliance Affordable Housing project.



The second and third phases will occur on the eastern portion of the property and will consist of two buildings on two separate parcels. Phase II will include the CFH shelter in the NE corner of the site. . Phase III will house the Horizon Housing Alliance affordable housing along SE Eastgate Way. Access for the CFH shelter will be provided by an easement through the Phase III Horizon Housing Alliance affordable housing project to SE Eastgate Way. The easement to the Congregations for the Homeless site will also cover the parking lot drive aisles on the Horizon Housing Alliance parcel, which serve the loading, trash pickup, and circulation needs for both projects. There will not be any internal vehicular access between the upper and lower portions of the site. If the CFH shelter is constructed

as Phase II, then it will be required to construct a portion of the parking lot on Horizon's parcel to allow for circulation, trash pickup, and loading.



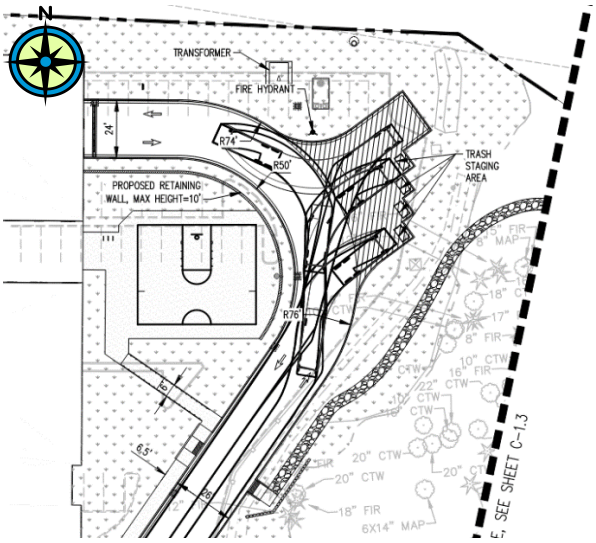
Multimodal Site Access

Vehicle Access and Loading

The project site is bordered by the arterial street SE Eastgate Way on the south. A small portion of the site in the northwest corner extends to SE 32nd Street; however, no access is being taken from that street. Interstate 90 is directly south of the project across SE Eastgate Way. All access is being taken from SE Eastgate Way with no vehicular access restrictions at this time.

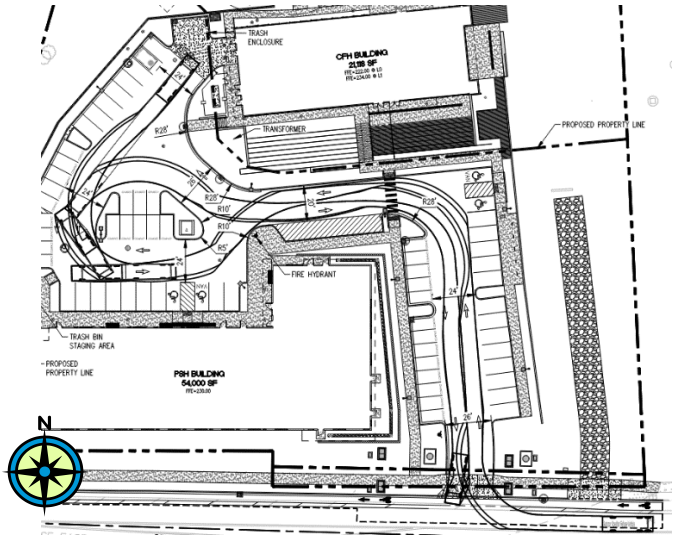
There is one existing driveway in the southwest corner of the site which will be reconstructed to meet Bellevue standards to serve the Polaris project. The Polaris project is providing several turnarounds to serve residents as well as loading. The loading and trash removal activities will occur in the NE corner of the building and AutoTURN exhibits have been provided to the City to show that the required loading demands including trash collection can be met on the site.

AutoTurn Diagram – Phase I



One new additional driveway will be constructed near the SE corner of the site to serve the Horizon Housing project and to be shared with CFH. The Horizon Housing project will provide an access easement through their parcel to provide CFH with access to SE Eastgate Way. Within the shared surface parking lot is a hybrid hammerhead/cul-de-sac that allows larger vehicles such as those used for garbage pick up to turn around. The parking lot also provides a loop for smaller trucks, deliveries, and standard passenger cars. The facilities used to accommodate loading demands for both projects is shared across both parcels. The Horizon project will be granting easements for shared parking and loading access to permanent shelter. AutoTURN exhibits have been provided to the City to show that the required loading demands for both projects can be met.

AutoTurn Diagram – Phase II and III



There are also easements for the Olympic Pipeline and overhead Transmission lines that require access along the east boundary of the property. A mountable curb will be placed in the SE corner of the project to allow infrequent maintenance access by the existing easement holders.

Refer to Conditions of Approval regarding Vehicular Access Restrictions and Provisions for Loading in Section XIII.A of this report.

Pedestrian Access

There are existing sidewalk facilities on SE Eastgate Way that extend east from the project site to the Eastgate Park and Ride and continue to the Eastgate commercial areas. These facilities consist of 6-ft wide sidewalk separated from the road by a 4-ft wide planter strip. There are currently no pedestrian facilities on the site frontage. Phase I will construct frontage improvements across the full length of the parcel frontage to provide a continuous sidewalk to the east and west of the site to provide access to the transit facilities and commercial areas. This will consist of a 6-ft wide sidewalk separated from the road by a 5-ft wide planter strip. On the adjacent property to the west, the Humane Society, there is 6-ft sidewalk separated from the road by a 2-ft wide planter. There will be a transition from the existing 2-ft planter to the west to this project's 5-ft planter. West of the Humane Society there is a shoulder striped as a bike lane that can to be used by pedestrians headed to and from SE Richards Road. There are sidewalk facilities upon reaching SE Richards Road to the north and south.

Bicycle Access

There are existing eastbound and westbound bicycle lanes on SE Eastgate Way. The frontage improvements required along the length of this project will maintain these lanes.

Transit Service Access

The project site is located less than ¼ mile from the Eastgate Park and Ride Facility. This facility and the adjacent freeway Flyer stop over Interstate 90 at 142nd Avenue SE is served by a wide variety of routes which includes connections to Downtown Seattle and the Bellevue Transit Center. Each of these areas serves a significant number of additional routes. By 2023 light rail will also be an additional option with a planned station located two miles west of the proposed project on SE Bellevue Way.

Transportation Infrastructure

In order to provide safe pedestrian and vehicular access in the vicinity of the site, and to provide infrastructure improvements with a consistent and attractive appearance, the construction of street frontage improvements is required as a condition of development approval. The design of the improvements must conform to the requirements of the Americans with Disabilities Act, the Transportation Development Code (BCC 14.60), and the provisions of the Transportation Department Design Manual.

Engineering and construction details must be shown on the civil engineering plans submitted to the clearing and grading permit. The engineering plans shall be the controlling document on the design of these features; architectural and landscape plans must conform to the engineering plans. During construction, city inspectors may require additional survey

work at any time to confirm proper elevations. The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans.

Project Phases and Improvements

The Eastgate Housing Campus has three phases. Phase I is planned to be the Polaris Affordable Housing project located on the west part of the site. All of the required frontage improvements will be constructed with Phase I. The second phase will be the CFH shelter. Phase III will be the Horizon Housing project.

Completed frontage improvements for the full length of SE Eastgate Way are required prior to any form of occupancy for any phase.

The parking, loading, trash pickup, and circulation requirements for the Phase II homeless shelter are being fulfilled on the adjacent Phase III Horizon Housing project. The homeless shelter will be required to construct a portion of these facilities within an easement from Horizon to fulfill their parking, loading, trash pickup, and circulation requirements.

A detailed list of required transportation infrastructure is included in the Civil Engineering Plans – Transportation Conditions of Approval section of this report.

Refer to Condition of Approval regarding Civil Engineering Plans – Transportation, Building and Site Plans – Transportation, and Transportation Infrastructure requirements in Section XIII.B of this report.

Right of Way Dedication and Easements

To incorporate street improvements which are reasonably necessary to mitigate the direct results of the development, and to accommodate the street widening described elsewhere in this document, the developer is required to dedicate property to the back of the required sidewalk along SE Eastgate Way.

A wall and wall maintenance easement is required for the proposed wall along SE Eastgate Way. The maintenance easement shall extend a minimum of 5feet behind the wall.

Refer to Section XIII.C for related Conditions of Approval.

Use of the Right of Way During Construction

Applicants often request use of the right of way and of pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses as well as for construction of utilities and street improvements. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit including demolition permit. Sidewalks may not be closed except as specifically allowed by a Right of Way Use Permit.

Refer to Condition of Approval regarding Right-of-Way Use Permit in Section XIII.B of this report.

Pavement Restoration

The City of Bellevue has established the Trench Restoration Program to provide developers with guidance as to the extent of resurfacing required when a street has been damaged by trenching or other activities. Under the Trench Restoration Program, every street in the City of Bellevue has been examined and placed in one of three categories based on the street's condition and the period of time since it has last been resurfaced. These three categories are, "No Street Cuts Permitted," "Overlay Required," and "Standard Trench Restoration." Each category has different trench restoration requirements associated with it. Damage to the street can be mitigated by placing an asphalt overlay well beyond the limits of the trench walls to produce a more durable surface without the unsightly piecemeal look that often comes with small strip patching.

Refer to Condition of Approval regarding Pavement Restoration in Section XIII.D of this report.

Transportation Management Program

In order to reduce single occupant vehicle trips and provide enhanced options to employees and infrastructure users, the City has adopted code provisions for a transportation management program. The owner of this development shall, prior to any initial occupancy of the building structure, sign and record an agreement approved by the City of Bellevue to establish a transportation management program to the extent required by BCC14.60.070. and 14.60.080.

Refer to Condition of Approval regarding Transportation Management Program in Section XIII.C of this report.

VII. STATE ENVIRONMENTAL POLICY ACT (SEPA)

Environmental review is required for the proposal under the State Environmental Policy Act (SEPA), Chapter 43.21C RCW and Washington Administrative Code (WAC) 197-11, and the City's Environmental Procedures Code, Chapter 22.02 of the Bellevue City Code (BCC). The Environmental Checklist together with information provided below (and in the official file) adequately discloses expected environmental impacts associated with the proposed Design Review approval. The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under SEPA.

Adverse impacts which are less than significant are subject to City Codes or Standards, which are intended to mitigate those impacts. In cases where the City has adopted development regulations to systematically avoid or mitigate adverse impacts, those standards, and regulations, where applicable, will normally constitute adequate mitigation of the impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. Where impacts and regulations do not correspond, or where unanticipated impacts are not mitigated by existing regulations, BCC 22.02.140 provides substantive authority to mitigate impacts disclosed through the environmental review process.

A discussion of the impacts associated with the project is noted below, together with any specific conditions of approval. These impacts will be mitigated to less than significant through exercise of Code authority as well as through project-specific Conditions of Approval contained in Section XIII of this report.

TRANSPORTATION

Long Term Impacts and Mitigation

The City has prepared a traffic forecasting model for the 2030 horizon year to assess cumulative impacts that may result from growth and development during that period. This modeling analysis is based on a projected land use scenario and improvements to the transportation system that would occur during this time period.

Under the level of service standard detailed in the Transportation Code, the City is divided into 14 Mobility Management Areas (MMAs), each with an area average standard and a congestion management standard. The traffic modeling shows that all of the MMAs would meet both standards. This project proposes to add a maximum net increase of 225 trips in MMA 10, consisting of approximately 360 multi-family units and approximately 10,000 SF of daycare with Phase I Polaris, Phase II Congregations for the Homeless 100 bed men's shelter, and 95 multi-family units with the Phase III Horizon Housing Alliance Affordable Housing. This level of development is within the assumptions of the City's traffic modeling and does not require additional mitigation from that which is conditioned in this staff report.

In addition, transportation impact fees are used by the City to fund street improvement projects to alleviate traffic congestion caused by the cumulative impacts of development throughout the City. Payment of the transportation impact fee, as required by Chapter 22.16 BCC, contributes to the financing of transportation improvement projects in the current adopted Transportation Facilities Plan, and is considered to be adequate mitigation of long-term traffic impacts. Fee payment is required at the time of building permit issuance. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply. Each of the three phases appears to meet one of the exemption criteria listed in the traffic impact fee code. Supporting documentation will be required at the time of building permit issuance to have these fees waived.

Refer to Condition of Approval regarding Transportation Impact Fee in Section XIII.C of this report.

Mid-Range Impacts and Mitigation

Project impacts anticipated to occur in the next six years are assessed through a concurrency analysis. The Traffic Standards Code (BCC 14.10) requires that development proposals generating 30 or more new p.m. peak hour trips undergo a traffic impact analysis to determine if the concurrency requirements of the State Growth Management Act are maintained. For this MDP there are three phases which have all provided documentation that they are exempt from the City's concurrency analysis; therefore, concurrency was not run as noted below in the short term operational impacts and mitigation discussion.

Short Term Operational Impacts and Mitigation

The MDP for the Eastgate Housing Campus will consist of three separate phases on three separate parcels. Phase I will consist of two buildings while Phases II and III will each consist of a single building. Phase I will be a single building with 360 residential units, and also house a 10,000 square foot early learning center (daycare). It will have a separate and direct access out to SE Eastgate Way. Phase II, a permanent men's shelter, and Day Center will be a 3-story building consisting of 100 shelter beds, support services and administrative offices. Phase III, , will be a 4-story building consisting of 95-multi-family transitional housing units and on-premise staff.

An access easement will be provided from Horizon Housing Alliance Affordable Housing to provide the homeless shelter access to SE Eastgate Way through their parcel. The access easement will also extend north to encompass the necessary parking lot with drive aisles on the Horizon parcel that serve the circulation, trash pick-up, and loading needs of the homeless shelter. Phase two, will be required to construct additional facilitates for loading, trash pickup, and parking.

A TIA was prepared for the MDP by Transpo Group in October 2020 to analyze traffic operations for the MDP. The project trips were calculated, and documentation was provided showing the project(s) to be exempt from concurrency per BCC14.10.020. Phase I, Polaris project, is providing affordable housing which is exempt from concurrency and requires a signed agreement with the City prior to Certificate of Occupancy. The project is also providing not for profit daycare which is exempt from concurrency and requires a signed agreement with the City prior to issuance of the building permits. Phase II, Congregations for the Homeless' permanent men's shelter is a privately operated not-for-profit social services facility that is exempt from traffic impact fees. The Phase III Horizon Housing Alliance Affordable Housing project is also providing affordable housing which is exempt from concurrency and requires a signed agreement with the City prior to Certificate of Occupancy.

The Traffic Impact Analysis reviewed the operations of seven existing intersections:

1. Factoria Boulevard SE/SE 38th Street/I-90 EB Off-ramp
2. Richards Road/SE Eastgate Way /I-90 WB On Ramp
3. 139th Avenue SE/SE Eastgate Way
4. 140th Avenue SE/SE Eastgate Way
5. 150th Avenue SE/SE Eastgate Way
6. 150th Avenue SE/SE 37th Street
7. 150th Avenue SE/SE 38th Street

All intersections remained at LOS D or better. The project will be constructing pedestrian facilities across the frontage of the project. The sidewalk will be separated from the road by a planter strip and include new curb, gutter, and a buffered bike lane. No intersection or capacity improvements have been identified for any of the other phases of the MDP.

Amendments to Environmental Checklist

The Environmental Checklist submitted with the application was revised per the revised design concept and it adequately discloses expected environmental impacts associated with the proposed project. The City codes and requirements, including the Clear and Grade Code, Utility

Code, Land Use Code, Noise Ordinance, Building Code, and other construction codes adequately mitigate expected environmental impacts except as noted below. The following amendments to the Environmental Checklist are needed. These impacts will be mitigated through exercise of code authority as well as through project-specific conditions of approval, contained in Sections XIII A, B, C, and D for related conditions.

A. Air Quality

During construction, emissions to the air will be released by construction vehicles and heavy equipment. Following construction, emissions from residents' and retail workers vehicles will be released.

Construction would temporarily increase dust and vehicle emissions near the construction area. Mitigation will include using BMPs to control dust, covering exposed soils, and requiring idling vehicles to be shut off. Construction vehicles will be fitted with required, factory-installed emission control devices. To reduce the potential of dust, construction accesses will be covered with rock or aggregate. Dust emissions will also be reduced during construction through the use of spray water as necessary during dry weather conditions and planting disturbed areas with erosion control seed mix as soon as is practical. Material stockpiles will also be covered or watered as necessary to control dust. These are standard practices imposed on the Clearing & Grading permit. (Bellevue City Code 23.76)

Construction vehicles and heavy construction equipment shall emit the least amount of air pollution as possible. While on city streets, all construction vehicles shall meet the requirements of the Revised Code of Washington 46.61.655 for covered loads. **Refer to Section XIII.A for Condition of Approval regarding Air Pollution from Construction Vehicles and Equipment.**

UTILITIES

1. **Surface Water**
   Sunset Drainage Basin encompasses the site and drainage discharges to the north through public and private conveyance. Storm water from the site eventually discharges to Lake Washington. Connection to the immediate downstream system is proposed on and through 13351 SE 32nd Street. A private drainage easement will be required to connect to the storm system located on 13351 SE 32nd Street. The existing historic drainage path is proposed to be maintained and additional runoff is required to be detained and treated prior to discharge. Washington State Department of Ecology Minimum Requirements 1-9 will apply to the site.

2. **Water**
   Domestic water for the site will connect to a 12" AC main located in SE 32 Street for the lower western portion of the project. The eastern upper portion of the project proposes to connect and extend from a 12" main located in SE Eastgate Way. There is adequate capacity in the water mains to supply the site with domestic water.

3. **Sewer**
   Domestic sewer for the site is available to an existing sewer main located in a public easement directly north on 13351 SE 32nd Street. A private offsite sewer easement will be required to connect to the sewer system.

NOISE

Exterior Noise: As conditioned, short term impacts related to noise generation as a result of the construction will be minimized. Normal hours for allowed generation of noise related to construction are from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Exceptions to the construction noise hour limitation contained in the Noise Control Code may be granted pursuant to 9.18.020C.1 & 2. However, prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding commercial and residential properties during the proposed timeline for construction. If expanded hours are necessary to accommodate a specific component of construction, a noise permit shall be required and must be submitted in advance of the scheduled onset of extended hour construction activity. In accordance with the Bellevue City Code – BCC 9.10 – Noise Control, the City will only be providing construction noise exemptions for the following work:

- Work in the ROW and essential public facilities (i.e., Water connections that require a main shut off and are required to be done at night by the Utility Department)
- Work to accommodate transportation mitigation
- Required evening haul routes

Work that has been previously determined by sound level monitoring is not to exceed the maximum permissible noise levels. Utility/site work on private projects/property is not essential public facilities. **See Section XIII.A for related condition for construction noise.**

Interior Noise Levels: The Bellevue City Code, BCC 9.18, limits interior noise levels within residential structures to 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. Special construction is generally necessary to meet these thresholds. Prior to the issuance of any occupancy permits, the applicant shall verify that this threshold has been met. **See Section XIII.D for related condition regarding Interior Noise Levels.**

VIII. CHANGES TO PROPOSAL

Site Design

1. The Parks Department requested that the language shown on the face of the Binding Site Plan regarding trail maintenance by the City of Bellevue be removed. Additionally, Parks will not maintain the landscaping along the frontage of this project, adjacent to SE Eastgate Way.
2. Additional information was requested regarding the shared use of parking for the proposed 10,000 square foot on-site daycare within Phase I construction for Polaris. An addendum was completed by the Transpo Group dated January 11, 2021, that analyzed the shared parking arrangements between Polaris and the daycare. **See Section XIII.D for related condition of approval for designation of parking stalls per designated use.**
3. LUC 20.20.050.A.4.vii requires bike racks for the campus. Polaris @ Eastgate, LLC will provide 10 bike racks for Phase I while Phases II and III will provide 10 bike racks on their parcels respectively as noted on Sheet C1.1 .
4. Polaris @ Eastgate, LLC is required to provide 10,000 square feet of multifamily play area. In the original submittal, 11,455 square feet was being provided for both a turf and basketball court but it also included a dog run area which subtracted 2,080

square feet from this required space. Phase I has since been redesigned to provide 10,057 square feet of dedicated multifamily play area separate from the enclosed dog run area that will be provided east of the project. Lastly, CFH's permanent men's shelter and permanent supportive housing proposals are excluded from this requirement.

5. A large tree retention area is being proposed between the lower and upper benches of this proposal. This area has been noted as a NGPE as shown on Sheet 3 of the BSP. **See Section XIII.B and D for related condition for the NGPE.**
6. The sidewalks and pedestrian trails (outside of the wetland and stream buffers) are required by LUC 20.25C.050.B.IX.2.b to be six feet side. The applicant has since modified their sidewalks from five to six feet.
7. The multifamily play turf located at the western portion of the building contained a sloped area down to a proposed parking area. The applicant has since revised the grading and added a wall at the toe of this slope so that any play toys are restrained from going into the noted parking areas.
8. The Transportation Department has required a vehicular easement on Lot 2 so that CFH will have access to its parcel. See Section VI.E for further discussion of this topic.
9. Modifications were requested to the existing Watershed Company reports to account for intrusions for parking, rideshare lane, pedestrian paths and the overlook which fall outside of LUC 20.25H.055.C.3 F for allowed uses. The Watershed Company updated its report to account for these activities in its report dated October 23, 2020.
10. The Utilities Department required modifications to the utility layout for water and sewer which are located in critical areas. This modification required an additional addendum from the Watershed Company dated January 8, 2021, to substantiate this work.
11. There is an existing NGPE on this site that was filed in 1988 per 8811039001. With the development of this MDP and BSP, the existing NGPE will be removed in favor of a new NGPE that will overlay the stream and wetlands located along the westerly portion of this site.
12. The original geotechnical report submitted by Earth Solutions, NW was required to be updated as it did not account for the intrusions into the top and toe slope buffer setbacks per LUC 20.25H.030.B.2. The geotech has since updated its report dated October 23, 2020, to account for the intrusions by Phase II development, fire lanes, pedestrian pathways, and driveways.

Building Design

1. More information was necessary regarding the site FAR for the MDP. The applicant has re-calculated the FAR based upon the LUC 20.50.020, Floor Area Ratio. Additionally, Transportation is requiring a dedication as well that is reflected in the calculation to arrive at a total FAR of .97 which complies with the maximum standard of 1 FAR.
2. Weather protection was required for the building entries per LUC 20.25C.050.B.1.ix.5. The subsequent plan sets have been updated to denote the required protection along with height, materiality, and dimensions.

IX. LUC 20.25C.050, SITE AND BUILDING DESIGN GUIDELINES, OLB-2 DISTRICT

A. DESIGN GUIDELINES – CHARACTER & SITE

Purpose. These guidelines address the qualities that make the OLB 2 District unique. They describe what makes an area a special, distinct "place," not simply a group of individual building and streets.

1. Integrate the Natural Environment.

a. Intent. Integrate new landscape areas, natural drainage/LID features, sustainable design elements and green open spaces into site design. Reinforce existing linkages and orient building to the existing natural and landscaped features of the surrounding area.
b. Guideline. Site and building design should capitalize on existing elements of the natural environment, such as parks and open spaces trails, and critical areas. Designs should also integrate new natural features, such as street trees, natural drainage systems and open space amenities for residents, employees, and visitors. Depending on the location, this may be accomplished through integration of the natural environment with new development or providing a smooth transition between the natural and built environments.

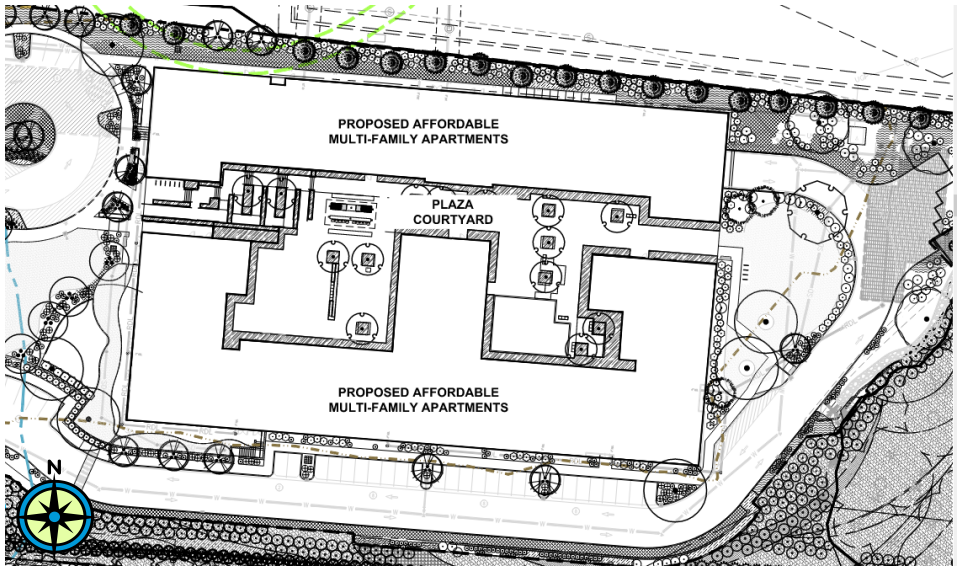
Response: As noted above, this site contains critical areas as noted above in Sections II.B and IV.B above. The applicant has proposed development in the existing disturbed areas of the site with encroachment taking place in stream and steep slope buffers. There will be no direct impacts to Sunset Creek. The applicant will enhance the buffer areas with their proposed landscaping plans while also removing invasive materials. A picnic overlook is also being provided for passive enjoyment so that residents may enjoy the natural features of Sunset Creek along the site's westerly property boundary. Lastly, the applicant is providing east/west pedestrian connections throughout the campus that will allow residents to move to and through the site. North/south pedestrian connections are also being provided so that residents may access SE Eastgate Way and localized transit services.

3. Promote Community Gathering.

a. Intent. A comfortable, well-designed site provides an inviting and attractive area for community gathering.
b. Guideline. Gathering spaces are well-defined, inviting, secure, and attractive. They provide space for both active use and areas of respite for employees, general public and visitors to the site. They provide space to enjoy the natural environment with weather protection. All gathering spaces should be easily and safely linked with pedestrian access from and through the development.

Response: Phase I of the MDP has been designed with a plaza courtyard for community gathering for its residents between Buildings A and B. Landscaping along with benches and moveable tables and chairs have been planned for this area. Additionally, outdoor kitchen and theatre elements will be provided to enhance community building between residents. As mentioned earlier, the applicant is also

providing a picnic area that will overlook Sunset Creek to allow residents to have an area of respite and connection to the adjacent natural environment.



The courtyard area is connected to the proposed east/west pedestrian connection that starts from the picnic area that overlooks Sunset Creek to and through the proposed plaza east up to the upper bench area which contains Lots 2 and 3.

Regarding Phases II and II, they will have smaller patio areas to allow residents an area of respite from the interior of the building.

4. Build Compatible Parking Structures and Lots

a. Intent. Use design elements to enhance the compatibility of parking structures with the urban streetscape.
b. Guideline. Parking structures should be designed so that their streetscape interface has a consistent form, massing and use of materials with the vision for the area. Preference is given to parking structures that do not face public sidewalks. However, if due to site constraints there are sidewalk facing parking structures, the frontages facing the sidewalk should be designed to appear like any other occupied buildings in the area.

The horizontal garage form can be broken down by adding more wall surface and usable retail space, while retaining adequate garage ventilation as defined by Mechanical Code.

Response: Phase I of the MDP will be providing 273 parking stalls. The preponderance of those stalls will be provided within a two-level underground parking garage with the balance of those stalls being provided at the surface level (52 stalls). The surface stalls provided in Phase I will not be seen due to the topography that exists at this section of the site from SE Eastgate Way. Because remediation is required for this site due to the past construction activities by King County, the provision of a two-level underground parking garage at this portion of the site provided an economy of scale for the project.

Phases II and III will share 64 surface parking stalls that will support the two uses and will mostly be shielded from view from SE Eastgate Way. In sum, a large majority of the parking stalls will not be visible to the public due to the provision of the underground parking garage and the existing topographic conditions of the site from SE Eastgate Way.

B. **Pedestrian Emphasis Guidelines.** Purpose. The pedestrian emphasis guidelines promote an environment where pedestrians are a priority. The highest consideration should be given to the ease and comfort of pedestrian movement and gathering places.

Enhance the Pedestrian System.

a. Intent. Prioritize the pedestrian by eliminating barriers and ensuring that walking routes are convenient, direct, and pleasant.
b. Guideline. Pedestrian routes should be attractive, easy to use and encourage walking and activity. Sidewalks should be continuous, avoiding interruptions such as vehicle curb cuts or changes in direction or grade. The portion of the sidewalk dedicated to walking should be free of barriers such as utility poles, newspaper boxes, cafe tables and chairs, permanent planters, tree grates, waste and recycling receptacles, mechanical equipment, or other obstructions and clutter.

Response: Because this is an MDP, the applicant has complied with the requirements of LUC 20.30V.120 which focuses on both pedestrian and vehicular movement. The applicant has complied with this guideline by providing east/west and north/south pedestrian connections across this campus. The pedestrian paths have been designed to be integrated into the site with the least development impact as possible to the existing critical area buffers for Sunset Creek and steep slopes.

C. **Architectural Guidelines.** Purpose. The architecture guidelines promote high-quality development while reinforcing the area's sense of place by encouraging innovative design, construction techniques and materials that reflect local character.

1. Provide Interesting Building Massing.

a. Intent. Use architectural features to break down the mass and scale of buildings to create a comfortable sense of enclosure with an uninterrupted street edge.
b. Guideline. The length and breadth of a building should be friendly in scale and inviting to the pedestrian. Portions of a large building mass should be broken into smaller, appropriately scaled modules, with changes in plane indicated by projections

and indentations. This allows an overly large building to appear as multiple smaller, side-by-side buildings. Vertical and horizontal elements should be used to create a human scale and form a coherent pattern providing visual interest to the public.

Response: Each phase of the Eastgate Housing Campus has been designed architecturally to fulfill the intent of this guideline. Phase I development contains two six-story buildings for a total of 360 units. Building A will contain 138 Units while Building B will contain 222 units which are arranged around a central plaza. The buildings have been designed to complement one another architecturally but each building will be distinctive in due to color and varying usage of architectural elements such as building recesses, fins, banding, projections, and materiality that are intended to reduce the building bulk and form.

Phase I - Polaris

View South of the East Elevations of Buildings A and B

Phases II and III will contain similar design elements so that the campus will be designed with similar architectural features that complement each phase while also adding building diversity to this area of the Richards Valley Subarea.

X. MASTER DEVELOPMENT PLAN DECISION CRITERIA

The Director may approve or approve with modifications an application for a Master Development Plan if:

A. The proposed Master Development Plan is consistent with the Comprehensive Plan.

Finding: The proposal is located within the Richards Valley Subarea and has a Comprehensive Plan designation of Office Limited Business (OLB) which focuses on providing areas for the location of integrated complexes made up of offices, hotels, or motels, eating establishments and retail sales accessary to permitted uses. Such districts are located in areas that abut and have convenient access to freeways and major highways. The land use classification of OLB-2 aligns with this overarching Comprehensive Plan designation of OLB. The following land use policies are pertinent to, and supportive of, the MDP proposal:

Richards Valley Policies:

Policy S-RV-1*: Enhance the natural environment within the industrial area by encouraging redevelopment to consider natural features in site design, including but not limited to reducing impervious surfaces, improving the functions of wetlands and stream corridors, incorporating natural drainage features, retaining trees, and restoring vegetated corridors.*

Policy S-RV-7: *Retain and enhance existing vegetation on steep slopes, within wetland areas, and along stream corridors to control erosion and landslide hazard potential and to protect the natural drainage system.*

Response: The MDP responds to the policies above by concentrating development in the already disturbed areas of the campus. All of the building and site development will occur in these areas. No direct development impacts will occur to Sunset Creek and its associated floodplain. Additionally, the applicant will be retaining trees and their associated understory materials with the exception of invasive materials to maintain a substantial amount of existing vegetation – in particular at the westly portion of the site and between the upper and lower benches. Lastly, the treed area between the upper and lower benches will be noted on the associated BSP as an NGPE (Page 3) along with language that will maintain this area in perpetuity for the life of the project. Refer to 20-119453 LF for this information.

The site will be landscaped throughout the campus with each phase as noted on the submitted landscape sheets for this project (L-100 to L-200) shows compliance with the LUC. Prior to Certificate of Occupancy of this project, the applicant will be required to submit landscape and maintenance devices for the installed landscaping. **See Section XIII.D for related conditions regarding landscape installation assurance device and landscape maintenance device.**

Policy S-RV-11: *Develop a safe integrated on and off-street nonmotorized system emphasizing connections to schools, parks, transit, and other parts of Bellevue.*

> *Discussion: Richards Valley needs many nonmotorized improvements. These include better access to the schools, parks, and transit service. Because of its central location to other parts of Bellevue (such as Downtown, and the Kelsey Creek and Mercer Slough Parks), it is important for the off-street trail system to connect safely to the on-street facilities.*

Response: The MDP responds to this policy by providing pedestrian connections throughout the campus as required by LUC 20.30V.120. The applicant has provided 1,200 lineal feet of pedestrian path from Phase I development in the lower bench up to Phases II and III on the

upper bench. A north/south pedestrian path will be provided to SE Eastgate Way within Puget Sound Energy and Olympic Pipeline easements that run north/south at the eastern property boundary of this site. A similar pedestrian path is proposed within Phase I development to connect pedestrians directly to SE Eastgate way as well.

In addition to the above, the frontage improvements along SE Eastgate Way will improve connections for pedestrians and bicyclists. Currently, there is no pedestrian sidewalk in front of this parcel as shown below:

Policy S-RV-27: *Encourage the retention and enhancement of special features such as unique open spaces, landmarks, and viewpoints. Discussion: In Richards Valley the stream and wetlands qualify as unique open space, the railroad trestle as a landmark and the view from Woodridge School grounds as a designated viewpoint.*

Policy S-RV-28: *Encourage the retention of vegetation during the clearing, grading, and construction.*

Response: The MDP responds to this policy by retaining and minimizing development impacts to Sunset Creek. Proposed development on this site has been placed in the already disturbed areas of this site. The westerly portion of the site already has an existing NGPE noted for Sunset Creek under previous development regulations. With the development of this site, this NGPE will be removed and replaced with a new NGPE that will maintain the area in perpetuity under the City's current development regulations of LUC 20.25H, Critical Areas. Additionally, the applicant will highlight this area by creating a unique open space where residents may view the Sunset Creek while limiting pedestrian movement into the area. The overlook for can be utilized by residents for picnics to create an appreciation of the natural environment with Phase I of the campus. A 6-foot pedestrian path will provide access to this picnic pavilion while keeping residents on a designated pathway through this area.

Picnic Overlook – Phase I Development

Land Use Element

Policy LU-6*: Encourage new residential development to achieve a substantial portion of the maximum density allowed on the net buildable acreage.*
Policy LU-27: *Encourage the master planning of multi-building and multi-parcel developments and large institutions to emphasize aesthetics and community compatibility. Include circulation, landscaping, open space, storm drainage, utilities, and building location and design in the master plan.*

Response: The applicant has nearly maximized the development potential of this site. As shown in Section IV.A above, the FAR has been calculated for the entirety of the campus (Phases I, II and III) to arrive at a .97 FAR which is below the OLB-2 maximum of 1.0. Because this is an MDP, the FAR may be shared across the campus because all of the proposed uses are residential uses.

The submitted proposal also addresses the MDP requirement regarding advance planning for structure placement. The proposed buildings for Lots 1, 2, and 3 have been sited to inform staff of building sizing along with placement in order to calculate FAR, lot coverage, impervious surface, etc. which is calculated for the entirety of the campus. Height is the only dimensional standard that is calculated individually across the campus.

Policy LU-34: *Support provision of childcare equitably throughout the city:*

> *1. Allow family childcare homes in residences in all single-family land use districts through a discretionary review process, unless otherwise required by state law or regulation.*
>
> *2. Permit childcare centers in all non-single-family land use districts and allow childcare centers as part of a community facility as long as the center has been identified as part of any discretionary review permit.*

Response: Phase I will contain a 10,000 square foot childcare center at the western portion of the building. The childcare will be open to the public, but it is expected that residents of the campus may avail themselves of this service due to its accessible location. The provision of this

facility is permitted outright within the OLB-2 land use district while bringing multi-use diversity to the site.

Housing Element

Policy HO-2. *Promote quality, community-friendly multifamily development, and mixed-use development, through features such as enhanced open space and pedestrian connectivity.*

Response: The MDP includes an east-west pedestrian connections to the upper and lower benches on-site. It also provides north-south pedestrian connections to SE Eastgate Way for connections to existing bus stops and the Eastgate Transit Center.

Policy HO-11: *Encourage housing opportunities in mixed residential / commercial settings throughout the city.*

Policy HO-21: *Address the entire spectrum of housing needs, including the need for housing affordable to very low, low, and moderate-income households, through the city's affordable housing programs.*

Response: The Eastgate Housing Campus will provide affordable housing to resident needs at differing stages of housing need. The OLB-2 land use district is a mixed-use land use district that permits multifamily development outright while the permanent men's shelter submitted by CFH requires a Process I Conditional Use Permit subject to the provisions of LUC 20.20.455, Homeless Services Uses.

Housing will be made available for individuals who are experiencing homelessness along with supportive services to stabilize them so that they may enter a permanent supportive housing to transition them out of homelessness. Additionally, 360 units of housing will be devoted to individuals who meet the 60 percent of AMI.

The placement of a permanent men's shelter on this campus fulfills a City Council priority of "working towards an Eastside solution for a permanent location for men's winter homeless shelter." This priority echoes the Council's 2014 Diversity Advantage Plan, which includes an action item for "supporting the establishment of a year-round homeless shelter on the Eastside." The City has hosted CFH at interim locations since the winter of 2008, shifting to a year-round model in 2019. Currently, CFH is at an interim location at the Lincoln Center that is owned by the City of Bellevue for a 100-bed men's shelter at 515 116th Avenue NE.

Lastly, the location of the Eastgate Housing Campus lends itself to convenient access to nearby transit from the Eastgate Park and Ride along with nearby access to the Factoria for services and goods.

Policy HO-22: *Work cooperatively with King County, A Regional Coalition for Housing (ARCH), and other Eastside jurisdictions to assess the need for, and to create, affordable housing.*

Policy HO-24*: Develop and implement an effective strategy to ensure affordable housing opportunities are available in Downtown and throughout the city at a range of affordability levels. Monitor quantity, types, and affordability of housing achieved for potential unintended consequences and to determine if the need is being met*

Response: The City of Bellevue is a member of ARCH which is a consortium made up of multiple eastside cities with the idea of pooling funds to advance and support the creation of affordable housing on the Eastside. Each of the applicants on the Eastside Housing Campus has their own individual funding considerations which ARCH may or may not be funding on this campus.

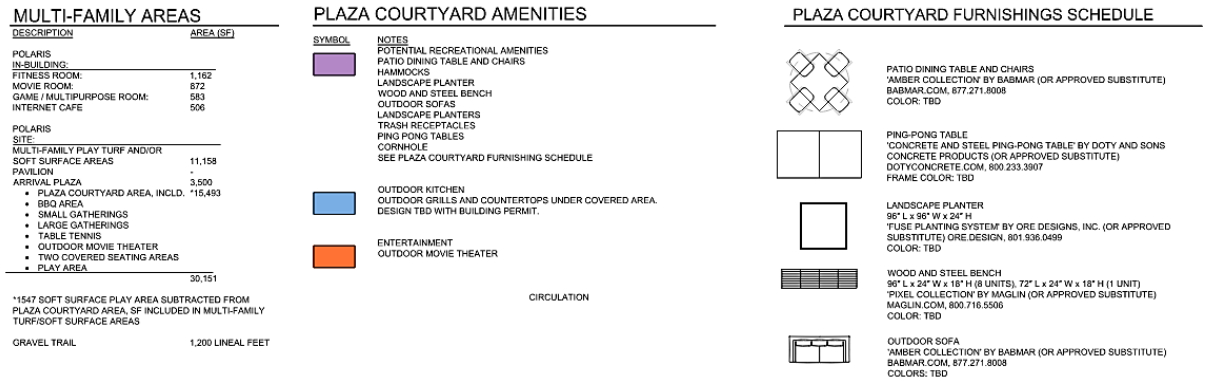
This project is consistent with Policy HO-24 by developing affordable housing outside of the Downtown so that it may be available throughout the City. CFH is subject to the requirements of LUC 20.20.455, Homeless Services Uses, there is a prescribed policy for the creation of a Good Neighbor Agreement Advisory Committee who will develop an end product in the form of a Good Neighbor Agreement for monitoring and compliance between the homeless services provider (CFH) and the adjacent neighborhood.

Urban Design & The Arts Element

Policy UD-12: *Enhance and support a safe, active, connected, and functional pedestrian environment for all ages and abilities.*

Policy UD-21: *Explore opportunities to enhance pedestrian and other mobility connections between buildings and developments.*

Response: The MDP provides pedestrian connectivity between Phase I development on the lower bank to the upper bank sites, Phase II and III. Polaris @ Eastgate, LLC is also providing residential amenities for residents of Phase I between Buildings A and B. Residents leaving the picnic pavilion on the western portion of the site can walk east and pass through Buildings A and B which will contain amenities such as an outdoor kitchen and theatre areas.



MULTI-FAMILY AREAS

DESCRIPTION	AREA (SF)
POLARIS	
IN-BUILDING:	
FITNESS ROOM:	1,162
MOVIE ROOM:	872
GAME / MULTIPURPOSE ROOM:	583
INTERNET CAFE	506
POLARIS	
SITE:	
MULTI-FAMILY PLAY TURF AND/OR	
SOFT SURFACE AREAS	11,158
PAVILION	-
ARRIVAL PLAZA	3,500
• PLAZA COURTYARD AREA, INCLD.	*16,493
• BBQ AREA	
• SMALL GATHERINGS	
• LARGE GATHERINGS	
• TABLE TENNIS	
• OUTDOOR MOVIE THEATER	
• TWO COVERED SEATING AREAS	
• PLAY AREA	
	30,151

*1547 SOFT SURFACE PLAY AREA SUBTRACTED FROM PLAZA COURTYARD AREA, SF INCLUDED IN MULTI-FAMILY TURF/SOFT SURFACE AREAS

GRAVEL TRAIL 1,200 LINEAL FEET

PLAZA COURTYARD AMENITIES

SYMBOL NOTES

POTENTIAL RECREATIONAL AMENITIES
PATIO DINING TABLE AND CHAIRS
HAMMOCKS
LANDSCAPE PLANTER
WOOD AND STEEL BENCH
OUTDOOR SOFAS
LANDSCAPE PLANTERS
TRASH RECEPTACLES
PING PONG TABLES
CORNHOLE
SEE PLAZA COURTYARD FURNISHING SCHEDULE

OUTDOOR KITCHEN
OUTDOOR GRILLS AND COUNTERTOPS UNDER COVERED AREA.
DESIGN TBD WITH BUILDING PERMIT.

ENTERTAINMENT
OUTDOOR MOVIE THEATER

CIRCULATION

PLAZA COURTYARD FURNISHINGS SCHEDULE

PATIO DINING TABLE AND CHAIRS
'AMBER COLLECTION' BY BABMAR (OR APPROVED SUBSTITUTE)
BABMAR.COM, 877.271.8008
COLOR: TBD

PING-PONG TABLE
'CONCRETE AND STEEL PING-PONG TABLE' BY DOTY AND SONS
CONCRETE PRODUCTS (OR APPROVED SUBSTITUTE)
DOTYCONCRETE.COM, 800.233.3907
FRAME COLOR: TBD

LANDSCAPE PLANTER
96" L x 96" W x 24" H
'FUSE PLANTING SYSTEM' BY ORE DESIGNS, INC. (OR APPROVED SUBSTITUTE) ORE.DESIGN, 801.936.0499
COLOR: TBD

WOOD AND STEEL BENCH
96" L x 24" W x 18" H (8 UNITS), 72" L x 24" W x 18" H (1 UNIT)
'PIXEL COLLECTION' BY MAGLIN (OR APPROVED SUBSTITUTE)
MAGLIN.COM, 800.716.5506
COLOR: TBD

OUTDOOR SOFA
'AMBER COLLECTION' BY BABMAR (OR APPROVED SUBSTITUTE)
BABMAR.COM, 877.271.8008
COLORS: TBD

B. The Master Development Plan complies with the applicable requirements of the Bellevue City Code.

Finding: As shown in Sections IV.A and VI, A-D above, the proposed MDP complies with all applicable development regulations of the Bellevue City Code, including Land Use, Transportation, Utilities and Fire codes. A detailed review of City codes and standards will occur as future phases of development are submitted as separate Conditional Use and building permit applications.

C. The proposed Master Development Plan addresses all applicable standards, guidelines or criteria of this Code in a manner which fulfills their purpose and intent.

Finding: As described in Section I.B and I.C above, the MDP addresses all applicable standards, guidelines, or criteria of the Land Use Code in a manner which fulfills their purpose and intent.

To reiterate, the purpose of an MDP is as follows: a mechanism by which the City can ensure that site development including structure placement, vehicular and pedestrian mobility and necessary amenities are developed and phased to conform to the terms of the Land Use Code and other applicable City codes and standards. (LUC 20.30V.120)

The proposed project meets the criteria. The Eastgate Housing Campus is a 9.81-acre site of which development will be constructed in three phases. The first phase of development is included as part of this application. In addition to phasing, the MDP includes the number of and uses of buildings, amenities, and pedestrian-oriented amenity uses. **See Section XIII.C for related condition regarding consistent use of pedestrian amenities.**

D. The Master Development Plan depicts features of and relationships and connectivity between required site features for the underlying Land Use District.

Finding: This application includes the first phase of development which will construct 360 units of affordable housing with a BSP to subdivide this 9.81 parcel into three lots. The proposal fulfills the required pedestrian and vehicular connectivity, structure placement along with myriad of amenities as discussed above.

CFH and Horizon Housing Alliance will be responsible for the development of their own individual lots. They will also work cooperatively together as they will have a shared access easement along with parking. Refer to Sections I.B and I.C above for additional discussion regarding MDP phasing. The MDP includes landscaping, pedestrian amenities and frontage improvements that are consistent with the underlying land use district. **As a condition of approval for this proposal, the applicant will be required to file the MDP with King County Records and Elections prior to Certificate of Occupancy. See Section XIII.D for related condition.**

XI. CRITICAL AREAS DECISION CRITERIA

A. 20.25H.255 CRITICAL AREAS REPORT DECISION CRITERIA

The Director may approve, or approve with modifications, the proposed modification where the applicant demonstrates:

1. The proposal includes plans for restoration of degraded critical area or critical area buffer functions which demonstrate a net gain in overall critical area or critical area buffer functions;

As discussed in the submitted critical areas report addendum, the proposal will increase functions and values of all critical areas on-site. Current degraded conditions will be improved through removal of invasive species coverage and

replacement with native vegetation. The proposed mitigation will improve water quality, hydrology, slope stability and habitat functions of the on-site critical areas. Improvement of habitat quality will also result by increasing foraging, perching, and nesting opportunity. The number of snags on the site will be increased which provides further opportunity for woodpecker and other bird species usage.

2. **The proposal includes plans for restoration of degraded critical area or critical area buffer functions which demonstrate a net gain in the most important critical area or critical area buffer functions to the ecosystem in which they exist;**

   The most important functions on the site are associated with the wetland, stream, and their buffers as well as habitat functions for foraging and perching on the entire site. The goal of the proposed mitigation is to improve the quality of vegetation on the site to allow for improved habitat foraging functions. This is achieved primarily through removal of invasive and noxious species and replanting with appropriate native species and creating habitat snags.

3. **The proposal includes a net gain in stormwater quality function by the critical area buffer or by elements of the development proposal outside of the reduced regulated critical area buffer;**

   All storm water from surfaces will be directed into collection systems. The vegetation remaining on the site will be enhanced through mitigation planting that will increase vegetation cover and quality that will improve storm water functions. Dense planting will promote infiltration during flood events and provided improved treatment of storm water entering the wetland.

4. **Adequate resources to ensure completion of any required restoration, mitigation and monitoring efforts;**

   Maintenance and monitoring are required for five years for mitigation per LUC 20.25H.220 which the applicant has noted on Sheet W8 of 8An installation and assurance device will be required prior to clearing and grading permit issuance and a maintenance assurance device required prior to final inspection of the grading permit. The amounts of the devices will be based on cost estimates for installation and monitoring provided at clearing and grading permit submittal. Copies of the monitoring reports will be submitted annually to the City. **See Conditions of Approval in Section XIII.A and B related to maintenance and monitoring and assurance devices.**

5. **The modifications and performance standards included in the proposal are not detrimental to the functions and values of critical area and critical area buffers off-site; and**

   The proposed mitigation will improve the functions of the wetland and stream on the site be removing invasive species and replanting to increase coverage by trees, shrubs, and ground cover. The proposed mitigation will improve functions of the critical areas and buffers.

6. **The resulting development is compatible with other uses and development in the same land use district.**

   The development of Phases I and III is permitted within the OLB-2 District outright with exception of Phase II development which requires a Conditional Use application to site a permanent men's shelter.

B. CRITICAL AREAS LAND USE PERMIT CRITERIA 20.30P

The proposal, as conditioned below, meets the applicable regulations and decision criteria for a Critical Areas Land Use Permit pursuant to LUC Section 20.30P.

1. **The proposal obtains all other permits required by the Land Use Code;**

   Finding: The applicant has applied for the required Critical Areas Land Use Permit and a Master Development and Binding Site Plan in order to develop to develop the Eastgate Housing Campus. The applicant has also applied for necessary ancillary permits to complete required improvements. Based upon the submittal of these applications, the applicant has complied with this regulation.

2. **The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;**

   Finding: The Watershed Company has provided recommendations as noted in Section IV.B of this report for construction, design, and development techniques. The stream, wetland, and steep slope enhancements along with buffer mitigations will improve the degraded and impacted stream corridor of Sunset Creek along with the associated wetland and steep slope buffers. This area must be designated as an NGPE on all ancillary permits as shown on Sheets W1 through W8. **Refer to Sections XIII.A and B for Conditions of Approval regarding NGPE requirements.**

3. **The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and;**

   Finding: The applicant hired the Watershed Company to comply with the standards of LUC 20.25H. As discussed in Sections II and IV.B of this report, the applicable performance standards of LUC Section 20.25H are being met.

4. **The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;**

   Finding: Based upon the conditions of approval in Section XIII of this report, the proposal will be adequately served by the necessary public facilities. Refer to discussion in Section IX.3 above.

5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and

Finding: A mitigation plan has been proposed by the Watershed Company for the buffer encroachment for the building footprints, driveways, and parking which will take place throughout the campus. See Section IV.E above for further discussion. The focus of the Watershed Company's mitigation plan is focused on the Sunset Creek ravine to restore the area in support of Coho salmon. Additional stream and wetland plantings for enhancements will occur along with fencing as noted on Sheets W1 through W8. **Refer to Sections XIII.B for condition of approval regarding restoration requirements.**

6. The proposal complies with other applicable requirements of this code.

Finding: As discussed in Section IV of this report, the proposal complies with all other applicable requirements of the Land Use Code.

XII. DECISION

After conducting the various administrative reviews associated with this proposal including applicable land use consistency and City Code and Standard compliance reviews, the Director of the Development Services Department does hereby **APPROVE the Master Development Plan, Critical Areas Land Use Permit, Binding Site Plan and SEPA applications,** subject to the following conditions:

XIII. CONDITIONS OF APPROVAL

The following conditions are imposed under the authority referenced:

A. GENERAL CONDITIONS

1. COMPLIANCE WITH BELLEVUE CITY CODES AND ORDINANCES: The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Clearing and Grading Code - BCC 23.76	Savina Uzunow	425/452-7860
Bellevue Development Standards	"	
Transportation Code - BCC 14.60	Ryan Miller	425/452-2065
Trans. Improvement Program - BCC.22.16	"	
Right-of-Way Use Permit - BCC 14.30	Tim Stever	425/425-4294
Bellevue Utilities Code - BCC Title 24	Mark Dewey	425/452-6179
Construction Codes - BCC Title 23	Doug Beck	425/452-4563
Land Use Code - BCC Title 20	Antoinette Pratt	425/452-5374
Sign Code - BCC Title 22B	"	
Noise Control - BCC 9.18	"	
Uniform Fire Code - BCC 23.11	Bill Lehner	425/452-2925

2. Vehicular Access and Turning Restrictions: There are currently no new turning restrictions required however, the City may restrict left turns in the future based upon traffic safety.

Authority: BCC 14.60.150
Reviewer: Ryan Miller, (425) 452-2065

3. **Provision for Loading:** The property owner shall provide an off-street loading space which can access a public street. This must include an off-street location for garbage pick-up, which must be acceptable to the garbage hauler. On-street loading and unloading will not be permitted on SE Eastgate Way.

   Authority: LUC 20.20.590.K.4; BCC 14.60.180
   Reviewer: Ryan Miller, (425) 452-2065

4. **Future Modification of an MDP**: If modifications to the MDP are minor in nature, then a Land Use Exemption shall be required. However, modifications that change the original scope beyond the thresholds of a Land Use Exemption and require additional transportation analysis shall require the applicant to submit a new MDP for staff review and approval.

   Authority: LUC 20.30V.160
   Reviewer: Antoinette Pratt

5. **Transfer of Ownership**: Prior to the issuance of any construction permits, the sale and transfer of this site from King County Solid Waste to Polaris @ Eastgate, LLC shall occur.

   Authority: LUC 20.40.425
   Reviewer: Antoinette Pratt

6. **Conceptual Approval:** Utility Department approval of the design review application is based on the conceptual design only. Minor changes to the site layout may be required to accommodate the utilities after land use design review is approved. The water, sewer, and storm drainage systems are required to be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department construction plan review, approval, and field inspection is performed under the Utility Developer Extension Agreement (DEA) and Utilities Permit Processes. A water, sewer and storm Developer Extension Agreement will be required for the project and is required to be approved, constructed, and accepted prior to any Certificate of Occupancy granted for project buildings. Public water, and private sewer and storm easements will be required. Offsite private sewer and storm easements from King County, WA will be required to be signed and recorded prior to recording of the binding site plan under permit 20-119453 LF.

   Authority: BCC 24.02, 24.04, 24.06
   Reviewer: Mark Dewey, Utilities

7. **Air Pollution from Construction Vehicles and Equipment:** Construction vehicles and heavy construction equipment shall emit the least amount of air pollution as possible. While on city streets, all construction vehicles shall meet the requirements of the Revised Code of Washington 46.61.655 for covered loads.

   Authority: State Environmental Policy Act, Bellevue City Code, 23.76, Revised Code of Washington 46.61.655
   Reviewer: Antoinette Pratt

8. **Mitigation Planting and Monitoring:** Mitigation planting shall be undertaken on the Eastgate Housing Campus site to mitigate for the reduction in buffer associated with the construction of the MDP. The mitigation planting shall, at a minimum, contain the plants and quantities specified in the approved mitigation planting plans (W1 – W8) as prepared by the Watershed Company. The mitigation plantings shall be monitored for a period of five years, consistent with a monitoring plan approved pursuant to LUC 20.25H.210. A report on plan health, survival, and maintenance activity shall be submitted every year for 5 years to verify that the plan is performing as proposed.

   The reports, along with a copy of the planting plan, can be sent to Toni Pratt at tpratt@bellevuewa.gov or to the address below:

   Environmental Planning Manager
   Development Services Department
   City of Bellevue
   PO Box 90012
   Bellevue, WA 98009-9012

   Authority: Land Use Code 20.30P.140
   Reviewer: Antoinette Pratt

9. **Construction Hours:** Noise related to construction is allowed from 7:00 a.m. to 6:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturday. Construction noise is prohibited on all Sundays and WA state holidays. Posting of construction hours is required. Exceptions to the construction noise hours limitation contained in the Noise Control Code MAY be granted pursuant to 9.18.020.C.1&2 when necessary to accommodate construction which cannot be undertaken during exempt hours. Prolonged exposure to noise created by extended hour construction activity is likely to have a significant impact on inhabitants of surrounding residential properties during the proposed timeline for construction. In order to minimize detriment on residential uses in the immediate vicinity of the project, the Contractor shall not rely on City issuance of a blanket exemption from the Noise Control Code during the construction period. To vary construction noise hours, the applicant shall apply for a noise permit that must be submitted two weeks prior to the scheduled onset of extended hour construction activity. Such requests may be required to include a noise analysis prepared by a noise consultant, including recommendations for achieving the noise limitations of the Noise Ordinance for new residential construction.

   Authority: BCC 9.18.040
   Reviewer: Antoinette Pratt

B. PRIOR TO ISSUANCE OF A CLEARING AND GRADING PERMIT:

1. **RIGHT-OF-WAY USE PERMIT :** Prior to issuance of any construction or clearing and grading permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

   a) Designated truck hauling routes.
   b) Truck loading/unloading activities.
   c) Location of construction fences.

d) Hours of construction and hauling.
e) Requirements for leasing of right of way or pedestrian easements.
f) Provisions for street sweeping, excavation and construction.
g) Location of construction signing and pedestrian detour routes.
h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevents access. General materials storage and contractor convenience are not reasons for preventing access. The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

Authority: BCC 11.70 & 14.30
Reviewer: Ryan Miller (425) 452-7915

2. **Transportation Infrastructure Improvements and Civil Engineering Plans:** Civil engineering plans produced by a qualified engineer must be approved by the Transportation Department prior to issuance of the clearing and grading permit. The design of all street frontage improvements and driveway accesses must be in conformance with the requirements of the Americans with Disabilities Act, the Transportation Development Code, the provisions of the Transportation Department Design Manual, and specific requirements stated elsewhere in this document. All relevant standard drawings from the Transportation Department Design Manual shall be copied exactly into the final engineering plans.

   Transportation Infrastructure Improvements are required to be completed prior to any form of occupancy for any of the three phases as detailed below:

   - **SE Eastgate Way Street Improvements**
     - Construct a 2-ft wide buffer
     - Construct a 5-ft wide WVB bicycle lane
     - Construct new concrete curb and gutter
     - Construct a 5-ft wide planter with spray irrigation from a private water source. Ground cover, street trees, root barrier, and soil preparation is required to meet Bellevue Standards
     - 6-ft wide clear width concrete sidewalk.
   - Provide right of way dedication to the back of the required sidewalk.
   - There are portions of the frontage where safety railing and walls will be required and shall meet City and AASHTO standards.
     - A wall and wall maintenance easement shall be provided to allow maintenance activities a minimum of 5-ft behind the wall is on private property.
   - There is an existing vehicular barrier of SE Eastgate Way that shall be required to be removed. Any previous wall or barrier shall be removed a minimum of 4-ft below grade.

- All of the frontage improvements shall be constructed at the grade of SE Eastgate Way and no part shall be installed above or below the public road.
- Street lighting is required to meet Bellevue Standards.
- Sidewalks, Driveways, and ADA Ramps shall be ADA compliant and meet all City Standards.
- The project shall be relocated and remove the existing signal and service cabinets as needed to install the required frontage improvements.
- Installation of conduit is required for the length of the project per the concrete sidewalk standard detail.
- Mountable curb with traffic rated sidewalk will be required int eh SE corner of the project to allow infrequent maintenance access to existing easement holders.
- Horizon Housing Alliance Affordable Housing shall provide an access easement to the Permanent Men's Homeless Shelter to provide the landlocked parcel access to SE Eastgate Way.
- Horizon Housing Alliance Affordable Housing shall provide an access easement for the parking lot that fulfills circulation, trash pickup, and loading requirements of the Permanent Men's Homeless Shelter.
- The permanent Men's Homeless Shelter shall construct portions of the parking lot and drive aisles within the access easement from Horizon Housing Alliance Affordable Housing to fulfill their requirements for access to SE Eastgate Way, circulation, trash pickup, and loading if they construct first with phase two.

1. The Americans with Disabilities Act (ADA)

a. ADA requires that sidewalk cross slopes not exceed two percent. The sidewalk cross slope may be less than two percent only if the sidewalk has a longitudinal slope sufficient to provide adequate drainage. Bellevue's standard for curb height is six inches, except where curb ramps are needed. The engineering plans must comply with these requirements, and must show adequate details, including spot elevations, to confirm compliance. New curb and sidewalk shall be constructed in compliance with these requirements. Building elevations shall be consistent with the required curb and sidewalk elevations. Spot elevations must be included in the building plans in a manner that proves that building elevations are designed to correspond to the sidewalk elevations shown in the engineering plans, especially at entrances and other key points. Curb and sidewalk elevations will not be revised to fit the building, and city inspectors may require spot surveys during construction in order to confirm the required elevations. All new and existing junction boxes shall have non-slip lids installed. All new and existing junction boxes shall have foundry applied non-slip lids within the public sidewalk.

ADA also requires provision of a safe travel path for visually handicapped pedestrians. Potential tripping hazards are not allowed in the main pathway. Any planter boxes installed in the sidewalk to improve pedestrian sight distance at driveways must be designed to reduce the tripping potential and must not extend more than two feet into the public sidewalk. Traffic signal controller boxes and streetlight contactor cabinets must be located so as not to interfere with the main pedestrian path.

Buildings shall be designed so that doors do not swing out into the pedestrian path. Installation of colored or textured bands to guide pedestrians in the direction of travel is advisable, subject to the requirements for non-standard sidewalk features. ADA-compliant curb ramps shall be installed where needed, consistent with City and WSDOT standard drawings. If such standards cannot be met, then deviation from standards must be justified on a Design Justification Form to be filed with the Transportation Department.

2. No soil nailing or shoring is allowed under a street right of way or sidewalk/utility easement or multi-use easement without an indemnification agreement that protects the city.

3. No fixed objects, including fire hydrants, trees, and streetlight poles, are allowed within ten feet of a driveway edge, defined as Point A in standard drawing SW-140-1 or equivalent. Fixed objects are defined as anything with breakaway characteristics greater than a four-inch by four-inch wooden post.

4. No new overhead utility lines will be allowed within or across any right of way or sidewalk easement, and existing overhead lines must be relocated underground.

5. The applicant is required to coordinate mailbox location with the Bellevue Postmaster and show the mailbox location on the engineering plans

6. A dedicated channelization and signage plan is required.

Construction of all street and street frontage improvements must be completed prior to closing the clear and grade permit and right of way use permit for this project. A Design Justification Form must be provided to the Transportation Department for any aspect of any pedestrian route adjacent to or across any street that cannot feasibly be made to comply with ADA standards. Design Justification Forms must be provided prior to approval of the clear and grade plans for any deviations from standards that are known in advance. Forms provided in advance may need to be updated prior to project completion. For any deviations from standards that are not known in advance, Forms must be provided prior to project completion.

Authority: BCC 14.60; Transportation Department Design Manual; Americans with Disabilities Act
Reviewer: Ryan Miller (425) 452-7915

3. NGPE Recording: The Native Growth Protection Easement shall be recorded prior to the issuance of clear and grade permit. The Native Growth Protection Easement shall be surveyed and shall have fencing and signage noting its status as a Native Growth Protection Easement. The NGPE shall be recorded with King County and shall have language which contains at minimum:

A. An assurance that the NGPE will be kept free from all development and disturbance except where allowed or required for habitat improvement projects and vegetation management, existing topography, and other natural features will be preserved for the purpose of preventing harm to property and

the environment, including, but not limited to, controlling surface water runoff and erosion, maintaining slope stability, and buffering and protecting plants and animal habitat.

B. The right of the city of Bellevue to enter to the property to investigate the condition of the NGPE upon reasonable notice;

C. The right of the City of Bellevue to enforce the terms of the restriction; and,

A management plan for the NGPE designating future management responsibility shall be provided as well. Lastly, the NGPE shall be shown on the associated BSP for this project so that this area is noted on the face of the BSP. The NGPE will need to be provided to the City via a separate instrument prior to issuance of a Clear and Grade permit and the filing of the Binding Site Plan.

Authority: Land Use Code 20.25H.160
Reviewer Antoinette Pratt, 425.452.5374

4. **Binding Site Plan (BSP) Recording**: The BSP shall be recorded with King County Recorder's Office before the sale or lease of any lot, tract, or parcel and before the issuance of a Clear and Grade permit. The BSP shall include all required dedications and easements per the MDP conditions of approval. Additional amendments may be required based on future phases of development. Modifications shall be processed as an amendment to the Binding Site Plan, per RCW 58.17. The existing Native Growth Protection Easement (NGPE) for Sunset Creek with a recording number of #8811039001 shall be removed with this application. The NGPE shall also need to be shown on the associated BSP.

Authority: RCW 58.17.035, Alternative Land Division
Reviewer: Antoinette Pratt

5. **Mitigation Assurance Devices:** An installation and assurance device will be required prior to clearing and grading permit issuance and a maintenance assurance device required prior to final inspection of the grading permit. The amounts of the devices will be based on cost estimates for installation and monitoring provided at clearing and grading permit submittal. Copies of the monitoring reports will be submitted annually to the City.

Authority: LUC 20.25H.220
Reviewer: Antoinette Pratt

C. PRIOR TO ISSUANCE OF ANY BUILDING PERMIT:

1. **Transportation Impact Fee:** Payment of the traffic impact fee will be required at the time of building permit issuance. If multiple building permits will be issued, the impact fee will be tied to the primary above-ground permit. Removal of existing buildings will be eligible for impact fee credit for the phase in which the buildings are removed. If any credit remains, it may be applied to the next phase permitted. Impact fees are subject to change and the fee schedule in effect at the time of building permit issuance will apply. This project does appear to meet traffic impact fee exemptions as listed in the Bellevue City Code. Each project will be required to provide documentation to support the identified exemption prior to

issuance of any building permits. Some exemptions may also require a signed agreement with the City that will need to be completed and recorded.

Authority: BCC 22.16
Reviewer: Ryan Miller (425) 452-7915

2. **Building and Site Plans – Transportation:** The building grade and elevations shall be consistent with the curb and sidewalk grade shown in the approved civil engineering plans. During construction, city inspectors may require additional survey work at any time in order to confirm proper elevations. Building plans, landscaping plans, and architectural site plans must accommodate on-site traffic markings and signs and driveway design as specified in the engineering plans. Building plans, landscaping plans, and architectural site plans must comply with vehicle and pedestrian sight distance requirements, as shown on the engineering plans.

   Authority: BCC 14.60.060; 110; 120; 150; 180; 181; 190; 240; 241
   Reviewer: Ryan Miller (425) 452-7915

3. **Existing Easements:** There are several existing easements on the site including those with overhead transmission lines on the east, the Olympic pipeline on the east, and slope/drainage easements in the SW corner of the project. Any easements contained on this site which are affected by this development must be identified. Any negative impact that this development has on those easements must be mitigated or easements relinquished.

   Authority: BCC 14.60.100
   Reviewer: Ryan Miller (425) 452-7915

4. **Easements:** The applicant shall provide wall and wall maintenance easements such that the City has a wall maintenance easement that extends behind the proposed City owned wall along SE Eastgate Way a minimum of 5-ft. Only walls necessary to accommodate the required frontage improvements like those supporting the SE Eastgate Way street section shall be owned and maintained by the City.

   Authority: BCC 14.60.100
   Reviewer: Ryan Miller (425) 452-7915

5. **Dedication of Right-of-Way:** To incorporate street improvements which are reasonably necessary to mitigate the direct results of the development, and to accommodate the street widening described elsewhere in this document, the developer shall dedicate additional right of way to the back of the sidewalk.

   Authority: BCC 14.60.090
   Reviewer: Ryan Miller (425) 452-7915

6. **Transportation Management Program:** The owner of the property being developed shall sign and record at the King County Office of Records and Elections an agreement to establish a Transportation Management Program to the extent required by Sections 14.60.070 and 14.60.080.

Authority: BCC 14.60.070; 080
Reviewer: Ryan Miller (425) 452-7915

7. **Hold Harmless Agreement**: The applicant shall submit a hold harmless agreement in a form approved by the City Attorney which releases the City from liability for any damage arising from the location of improvements within a critical area buffer in accordance with LUC 20.30P.170. The hold harmless agreement is required to be recorded with King County Prior to building permit issuance.

   Authority: LUC 20.30P.170
   Reviewer: Antoinette Pratt

8. **Consistent Usage of Pedestrian Amenities:** Sheet MDP-A.21 provides an overview of proposed lighting (bollard, exterior step light, and landscape up lighting), benches, litter receptacles, and vine walls. Additional detailing shall occur with future design review applications to continue said pedestrian amenities. Consistent usage of street furniture, lighting, etc. for the pedestrian shall be provided for each future phase prior to building permit issuance.

   Authority: LUC 20.30V.130
   Reviewer: Antoinette Pratt

D. PRIOR TO CERTIFICATE OF OCCUPANCY:

1. **Street Frontage Improvements:** All street frontage improvements and other required transportation elements must be constructed by the applicant, inspected by the Transportation Department inspector, and accepted by the Transportation Review Engineer.

   All existing streetlight and traffic signal apparatuses affected by this development, including traffic controllers, pedestrian signal poles, traffic signal poles, and power sources, must be relocated as necessary. Existing overhead lines must be relocated underground. All required improvements must be constructed as per the approved plans or as per direction of the Transportation Department inspector. Bonding or other types of assurance devices will not be accepted in lieu of construction, unless the City requires a delay.

   Authority: BCC 14.60; Comprehensive Plan Policy UT-39; Transportation Department Design Manual; and Transportation Department Design Manual Standard Drawings.
   Reviewer: Ryan Miller (425) 452-7915

2. **Pavement Restoration:** Pavement restoration associated with street frontage improvements or to repair damaged street surfaces shall be based upon the pavement restoration classification at the time of pavement restoration.

   Authority: BCC 14.60. 250; Design Manual Design Standard #23
   Reviewer: Ryan Miller (425) 452-7915

3. **Implement the Transportation Management Program:** The Transportation Management Program required by Bellevue City Code Sections 14.60.070 and 14.60.080 per a condition of approval above must be functional prior to issuance of the initial certificate of occupancy.

Authority: BCC 14.60.070, 14.60.080
Reviewer: Ryan Miller (425) 452-7915

4. **MDP Recording:** The applicant will be required to file the MDP with the King County Recorder's Office prior to building permit issuance. The MDP shall provide extended vesting for a period of 10 years from the date of MDP approval.

   Authority: LUC 20.30V.180
   Reviewer: Antoinette Pratt

5. **Landscape Installation Assurance Device:** If a Temporary Certificate of Occupancy is requested prior to completion of the landscaping installation, the applicant shall file with DSD a landscape installation assurance device equal to 150% of the cost of labor and materials for any landscaping that has not yet been installed.
   Authority: LUC 20.40.490
   Reviewer: Antoinette Pratt

6. **Landscape Maintenance Device:** The applicant shall file with DSD a landscape maintenance assurance device for a one-year period from the date of final inspection in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

   Authority: LUC 20.40.490
   Reviewer: Antoinette Pratt

7. **Interior Noise:** The Bellevue City Code, BCC 9.18, limits interior noise levels within residential structures to 40 dBA in sleeping areas and 45 dBA in non-sleeping areas. Special construction is generally necessary to meet these thresholds. Prior to the issuance of any occupancy permits, the applicant shall verify that this threshold has been met.

   Authority: BCC 9.18
   Reviewer: Antoinette Pratt

8. **Allocation of Parking for Daycare, Residential, and Visitor:** Prior to TCO, applicant shall submit plans of the parking garage to Land Use, identifying the exact location of the parking stalls to be assigned to the retail, restaurant and visitor uses in the building and identify any conditions and/or restrictions for these spaces. All spaces that are required for uses that the general public may use must be fully available during business hours.

   Authority: LUC 20.25A.050
   Reviewer: Antoinette Pratt

E. PRIOR TO ISSUANCE OF SIGN PERMITS

1. **Signs:** All signage shall be pedestrian oriented. A comprehensive sign package shall be submitted to DSD for review and approval prior to issuance of any sign permits. The sign package plans, elevations, and other sketches shall include but are not limited to:

   A. Location
   B. Lighting

C. Color Palette
D. Material
E. Design (No cabinet or can signs are permitted)

Signage shall be the minimum size necessary to convey information and shall be architecturally compatible and integrated with the building. See Sign Code limitations or other design criteria. Design review of individual signs and compliance with the approved sign package will occur through review of each sign permit application.

Authority: LUC 20.25A.110, LUC 20.30F, BCC 22B
Reviewer: Antoinette Pratt

ATTACHMENTS

Project Plans and Drawings

01/11/2021 MDP RESUBMITTAL #2

POLARIS AT EASTGATE

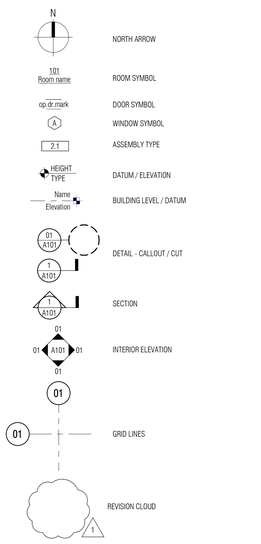
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

ABBREVIATIONS

SEE ALSO INDIVIDUAL SHEETS FOR OTHER ABBREVIATIONS NOT LISTED HERE

&	AND
∠	ANGLE
@	AT
℄	CENTERLINE
ø	DIAMETER OR ROUND
#	POUND OR NUMBER
A.C.T.	ACOUSTICAL CEILING TILE
ACOUST.	ACOUSTICAL
ADJ.	ADJUSTABLE
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
A.F.F.	ABOVE FINISH FLOOR
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
CAB.	CABINET
CER.	CERAMIC
C.F.C.I.	CONT. FURNISHED, CONT. INSTALLED
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
C.T.	CERAMIC TILE
CTSK.	COUNTERSUNK
CTR.	CENTER
CPT.	CARPET
DBL.	DOUBLE
DEPT.	DEPARTMENT
DTL.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
DR.	DOOR
DWG.	DRAWING
EA.	EACH
ELEV.	ELEVATION
ELECT.	ELECTRICAL
EQ.	EQUAL
EXIST.	EXISTING
EXT.	EXTERIOR
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FACTORY FINISH
FIN.	FINISH
F.I.O.	FURNISHED AND INSTALLED BY OWNER
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.I.C.	FURNISHED BY OWNER, INSTALLED BY CONTRACTOR
F.O.S.	FACE OF STUD
FURR.	FURRING
GA.	GAUGE
GALV.	GALVANIZED
G.W.B.	GYPSUM WALL BOARD
H.C.	HOLLOW CORE
HDR.	HEADER
HDWD.	HARDWOOD
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR.	HOUR
HT.	HEIGHT
H.R.	HANDRAIL
INCAN.	INCANDESCENT
I.D.	INSIDE DIAMETER (DIM.)
INSUL.	INSULATION
INT.	INTERIOR
IDF.	INTERMEDIATE DISTRIBUTION FRAME
JT.	JOINT
KIT.	KITCHEN
LAM.	LAMINATE
LAV.	LAVATORY
MAX.	MAXIMUM
MECH.	MECHANICAL
MTL.	METAL
MFGR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MUL.	MULLION
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE
O.F.C.I.	OWNER FURNISHED, CONT. INSTALLED
OFF.	OFFICE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
PTBD.	PARTICLE BOARD
P LAM.	PLASTIC LAMINATE
PLY.	PLYWOOD
PR.	PAIR
PT.	POINT
PTN.	PARTITION
PRESERV.	PRESERVATIVE
P.	PAINT
Q.T.	QUARRY TILE
R.	RISER
RAD.	RADIUS
REF.	REFRIGERATOR
REINF.	REINFORCED
REQ'D	REQUIRED
RESIL.	RESILIENT
RM.	ROOM
R.O.	ROUGH OPENING
RT.	RUBBER TILE
R.B.	RUBBER BASE
R.S.	REDWOOD SIDING
S.C.	SOLID CORE
SECT.	SECTION
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYMM.	SYMMETRICAL
S.V.	SHEET VINYL
T.	TREAD
TEL.	TELEPHONE
THK.	THICK
T.V.	TELEVISION
TYP.	TYPICAL
T.L.	TRUE LENGTH
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITION TILE
VERT.	VERTICAL
VEST.	VESTIBULE
V.T.	VINYL TILE
W/	WITH
W.C.V.	WALLCOVERING
WD.	WOOD
W/O	WITHOUT
WP.	WATERPROOF
WT.	WEIGHT
W.R.	WATER RESISTANT

DRAWING SYMBOLS



APPLICABLE CODES

CITY OF BELLEVUE CONSTRUCTION CODES - TITLE 23
2015 INTERNATIONAL BUILDING CODE (IBC)
2015 WASHINGTON STATE ENERGY CODES
2009 ICC A117.1, BARRIER-FREE STANDARD
2015 INTERNATIONAL FIRE CODE (IFC)
2020 NATIONAL ELECTRICAL CODE (NEC)
2015 UNIFORM PLUMBING CODE (UPC)
2015 INTERNATIONAL MECHANICAL CODE (IMC)
2015 INTERNATIONAL FUEL GAS CODE (IFGC)

PROJECT TEAM

ARCHITECT
OLSON PROJECTS
3707 SOUTH GRAND BLVD, SUITE D
SPOKANE, WASHINGTON 99203
509.844.2169

CHRIS OLSON, AIA
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SPOKANE, WASHINGTON 99201
509.321.3210

BRENT PARRISH
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STRUCTURAL ENGINEER
GLR ENGINEERS
9 S WASHINGTON, SUITE 213
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SEATTLE, WASHINGTON 98103
206.522.9510

MEP ENGINEER
EMERALD CITY ENGINEERS, INC.
21705 HIGHWAY 99
LYNNWOOD, WASHINGTON 98036
425.741.1200

ENVELOPE
BEE CONSULTING, LLC
170 W. DAYTON ST SUITE 206
EDMONDS, WA 98020
425.672.3900

LANDSCAPE ARCHITECT
AHBL, INC.
827 W 1ST AVE. SUITE 220
SPOKANE, WASHINGTON 99201
509.252.5019

GENERAL CONTRACTOR
INLAND WASHINGTON, LLC
120 W. CATALDO AVE. SUITE 100
SPOKANE, WASHINGTON 99201
509.321.3218

GENERAL NOTES

1. THE CONTRACTOR SHALL REPORT TO THIS OFFICE ANY ERROR, INCONSISTENCY, OR OMISSION HE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY MISTAKES AT THE JOBSITE TO THE SATISFACTION OF THIS OFFICE.
2. BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS ANY DIFFERENCES BETWEEN THE ACTUAL DIMENSIONS ON THE SITE AND THOSE INDICATED ON THE DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR INSTRUCTIONS AND CONSIDERATIONS BEFORE PROCEEDING WITH THE WORK.
3. EXCEPT WHERE OTHERWISE SPECIFIED THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGES. AT THE END OF DAYS WORK ALL NEW WORK LIKELY TO BE DAMAGED SHALL BE COVERED OR OTHERWISE PROTECTED AS REQUIRED.
4. THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ADEQUATE SAFETY BARRICADES AND CLEAR ACCESS IN AND OUT OF THE WORK SITE SO AS TO FACILITATE DAILY TRAFFIC, MOVEMENT, DELIVERIES, AND SAFETY.
5. CITY APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND ARE TO BE GIVEN TO THE OWNER UPON COMPLETION OF THE JOB.
6. FACILITY TO BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SUPPRESSION SYSTEM, TO MEET ALL CURRENT CODES AND REGULATIONS. EXISTING SYSTEM TO BE MODIFIED AND INSTALLED BY FIRE SUPPRESSION CONTRACTOR.
7. FACILITY TO BE PROVIDED WITH AN APPROVED FIRE ALARM SYSTEM.
8. FACILITY TO BE PROVIDED WITH A CLASS 1 STANDPIPE.
9. THE COMPLETED BUILDING SHALL BE TESTED, AND THE AIR LEAKAGE RATE OF THE BUILDING ENVELOPE SHALL NOT EXCEED 0.40 CFM/SF AT A PRESSURE DIFFERENTIAL OF 0.3 INCHES WATER GAUGE IN ACCORDANCE WITH ASTM E 779 OR AN EQUIVALENT METHOD APPROVED BY THE CODE OFFICIAL PER 2012 WSEC C402.4.1.2.3.

VICINITY MAP

SHEET INDEX - MDP

SHEET NO.	SHEET NAME	MDP SUBMITTAL 07/31/2020	MDP SUBMITTAL 10/22/2020	MDP RESUBMITTAL #2 01/11/21
GENERAL				
MDP-000	COVER SHEET	■	■	■
CIVIL				
C1.0	SITE PLAN - TYPE B (WEST)		□	■
C1.1	SITE PLAN - TYPE B (EAST)		□	■
C-1.2.	REFUSE VEHICLE EXHIBIT (WEST)		□	■
C-1.3.	REFUSE VEHICLE EXHIBIT (EAST)		□	■
C-2.0.	PRELIMINARY CLEARING AND GRADING PLAN (WEST)		□	■
C-2.1.	PRELIMINARY CLEARING AND GRADING PLAN (EAST)		□	■
CH.1	CHANNELIZATION PLAN		□	■
R-1.0 EAST	SE EASTGATE WAY FRONTAGE IMPROVEMENTS		□	■
R-1.0 WEST	SE EASTGATE WAY FRONTAGE IMPROVEMENTS		□	■
R-1.1	SE EASTGATE WAY IMPROVEMENTS		□	■
R-1.2	SE EASTGATE WAY IMPROVEMENTS		□	■
R-1.3	SE EASTGATE WAY IMPROVEMENTS		□	■
R-1.4	SE EASTGATE WAY PEDESTRIAN AND VEHICLE SIGHT TRIANGLES		□	■
R-1.5	SE EASTGATE WAY DRIVEWAY PROFILES		□	■
WATERSHED				
W1	EXISTING CONDITIONS		□	■
W2	PROPOSED IMPACTS		□	■
W3	MITIGATION PLAN		□	■
W4	SITE PREPARATION PLAN		□	■
W5	PLANTING PLAN		□	■
W6	PLANT SCHEDULES AND INSTALLATION SPECIFICATIONS		□	■
W7	MITIGATION AND SITE PREPARATION DETAILS		□	■
W8	MITIGATION PLAN NOTES		□	■
TRAFFIC CONTROL				
CH.2	CHANNELIZATION PLAN		□	■
TC.1	TRAFFIC CONTROL NOTES		□	■
TC.2	TRAFFIC CONTROL PLAN - EASTGATE WAY		□	■
TC.3	TRAFFIC CONTROL PLAN - EASTGATE WAY		□	■
TC.4	TRAFFIC CONTROL PLAN - SE 32ND ST		□	■
TC.5	TRAFFIC CONTROL PLAN - SE 32ND ST		□	■
LANDSCAPE				
L100.	SITE AMENITY PLAN		□	■
L111.	TREE REMOVAL AND PROTECTION PLAN		□	■
L112.	TREE REMOVAL AND PROTECTION PLAN		□	■
L113.	TREE REMOVAL AND PROTECTION PLAN		□	■
L120.	PLANTING PLAN-OVERALL		□	■
L121.	PLANTING PLAN-ENLARGEMENT		□	■
L122.	PLANTING PLAN-ENLARGEMENT		□	■
L123.	PLANTING PLAN-ENLARGEMENT		□	■
L124.	PLANT SCHEDULE		□	
L200.	LANDSCAPE ELEVATIONS		□	■

SHEET INDEX - MDP

SHEET NO.	SHEET NAME	MDP SUBMITTAL 07/31/2020	MDP SUBMITTAL 10/22/2020	MDP RESUBMITTAL #2 01/11/21
ARCHITECTURAL				
MDP-001	ADDRESSING SITE PLAN	■	■	■
MDP-002	MAXIMUM LOT COVERAGE	■	■	■
MDP-003	FAR DIAGRAMS	■	■	■
MDP-004	AVERAGE FINISHED GRADE	□	■	■
MDP-010	ARCHITECTURAL SITE PLAN - LOWER BENCH POLARIS	■	■	■
MDP-011	ARCHITECTURAL SITE PLAN - UPPER BENCH CFH + PSH	■	■	■
MDP-100	PHASE I POLARIS - P02 OVERALL FLOOR PLAN	■	■	■
MDP-101	PHASE I POLARIS - P01 OVERALL FLOOR PLAN	■	■	■
MDP-102	PHASE I POLARIS - L01 OVERALL FLOOR PLAN	■	■	■
MDP-103	PHASE I POLARIS - L02 OVERALL FLOOR PLAN	■	■	■
MDP-104	PHASE I POLARIS - L03 OVERALL FLOOR PLAN	■	■	■
MDP-105	PHASE I POLARIS - L04 OVERALL FLOOR PLAN	■	■	■
MDP-106	PHASE I POLARIS - L05 OVERALL FLOOR PLAN	■	■	■
MDP-107	PHASE I POLARIS - L06 OVERALL FLOOR PLAN	■	■	■
MDP-140	PHASE I POLARIS - EXTERIOR ELEVATIONS	■	■	■
MDP-141	PHASE I POLARIS - EXTERIOR ELEVATIONS	■	■	■
MDP-142	PHASE I POLARIS - 3D IMAGES	■	■	■
MDP-150	PHASE I POLARIS - P01 CANOPIES	□	■	■
MDP-160	PHASE I POLARIS - P02 LEVEL OVERALL PLAN - MECH		■	■
MDP-161	PHASE I POLARIS - P01 LEVEL OVERALL PLAN - MECH		■	■
MDP-162	PHASE I POLARIS - ROOF OVERALL PLAN - MECH	□	■	■
MDP-200	PHASE II CFH - L0 OVERALL FLOOR PLAN	■	■	■
MDP-201	PHASE II CFH - L1 OVERALL FLOOR PLAN	■	■	■
MDP-202	PHASE II CFH - L2 OVERALL FLOOR PLAN	■	■	■
MDP-203	PHASE II CFH - ROOF OVERALL PLAN	■	■	■
MDP-240	PHASE II CFH - EXTERIOR ELEVATIONS	■	■	■
MDP-241	PHASE II CFH - EXTERIOR ELEVATIONS	■	■	■
MDP-242	PHASE II CFH - 3D IMAGES	■	■	■
MDP-301	PHASE III PSH - L1 OVERALL FLOOR PLAN	■	■	■
MDP-302	PHASE III PSH - L2-L4 OVERALL FLOOR PLAN	■	■	■
MDP-303	PHASE III PSH - OVERALL ROOF PLAN			■
MDP-340	PHASE III PSH - EXTERIOR ELEVATIONS	■	■	■
MDP-341	PHASE III PSH - EXTERIOR ELEVATIONS	■	■	■
MDP-342	PHASE III PSH - 3D IMAGES	■	■	■
MDP-343	PHASE III PSH - 3D IMAGES	■	■	■
MDP-344	PHASE III PSH - 3D IMAGES	□	■	■
ELECTRICAL				
LB-E100	LOWER BENCH - SITE LIGHTING PLAN			■
LB-E101	LOWER BENCH - SITE PHOTOMETRICS			■
LB-E102	LOWER BENCH - SITE LIGHTING CUTSHEETS			■
UB-E100	UPPER BENCH - SITE LIGHTING PLAN			■
UB-E101	UPPER BENCH - SITE PHOTOMETRICS			■
UB-E102	UPPER BENCH - SITE LIGHTING CUTSHEETS			■

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

COVER SHEET

MDP-000

REFER TO SHEET C-1.1 FOR VICINITY MAP, GENERAL NOTES, LEGEND, AND PROPERTY INFORMATION

LEGEND

PROPERTY LINE	CONCRETE CURB	UNDERGROUND POWER LINE (UGP)	STORMWATER DETENTION/INFILTRATION VAULT
STANDARD ASPHALT PAVEMENT	LIMITS OF CONSTRUCTION	FIRE HYDRANT	SANITARY SEWER MANHOLE
HEAVY-DUTY ASPHALT PAVEMENT	EXISTING CONTOUR (XXX)	WATER BEND W/ THRUST BLOCK	TRANSFORMER
CONCRETE PAVEMENT	PROPOSED CONTOUR (XXX)	WATER TEE W/ THRUST BLOCK	SIGN
CONCRETE SIDEWALK PAVEMENT	RETAINING WALL	CATCH BASIN TYPE 1	ADA PATH OF TRAVEL
GRAVEL PATH	STORM DRAIN LINE (SD)	CATCH BASIN TYPE 2	
LANDSCAPED AREA	SANITARY SEWER LINE (SS)	AREA DRAIN	
FIRE LANE	WATER LINE (W)	WATER QUALITY STRUCTURE	

SE 32ND STREET

CONNECT TO EX. WATER

2" IRRIGATION METER AND DCVA (1.25'x2.5')

6" DOMESTIC WATER METER (5'x9')

12" DDCVA (6'x12')

N88°33'04"W 134.23'

N1°18'39"E 98.00'

15' WATER EASEMENT REC NO 20030819003461

EX SANITARY SEWER MAIN

FLOOD ZONE X
FLOOD ZONE AE

IRRIGATION POC

12" WATER MAIN

15' WETLAND BUILDING SETBACK

110' WETLAND BUFFER LINE

15' PRIVATE SANITARY SEWER EASEMENT TO BE PRIVATELY MAINTAINED

28' SEWER EASEMENT (NO. 20180927001107)

15' PRIVATE STORM DRAINAGE EASEMENT

CONNECT TO EX STORM DRAIN

CONNECT TO EX SANITARY SEWER

EX SANITARY SEWER MAIN

20' SEWER EASEMENT (NO. 20180927001107)

10' GAS EASEMENT (NO 20150821001163)

WATER QUALITY STRUCTURE (OLDCASTLE BIOPOD OR EQUIVALENT)

10' POWER EASEMENT (NO 20150821001162)

CONNECT TO EX POWER

EX PROPERTY LINE

N87°20'35"W 365.16'

366.17'

AREA SIGNED FOR RESIDENT PARKING (6PM-7AM) EARLY LEARNING CENTER PARKING (7AM-6PM)

WATER QUALITY STRUCTURE (OLDCASTLE BIOPOD OR EQUIVALENT)

20' SEWER EASEMENT REC NO 5545540

NATIVE GROWTH PROTECTION EASEMENT (NO 8811039001)

SITE LIGHT

FIRE HYDRANT

BIKE RACKS

12" SANITARY SEWER SERVICE

SANITARY SEWER SERVICE POINT OF CONNECTION

8" FIRE PROTECTION SERVICE

6" DOMESTIC WATER SERVICE (DCVA INSIDE BUILDING)

GARAGE VENTILATION SHAFT

DETENTION VAULT

SIGNED TEMPORARY "LOADING ZONE" FOR DELIVERIES AND MOVING VANS (12'X72')

NORTH TOWER
21,679 SF
FFE=163.00 ● L01
FFE=155.00 ● P01
FFE=140.00 ● P02

TRANSFORMER

24' SEWER EASEMENT (NO. 20180927001107)

N52°17'48"W 117.

6" WATER

TRASH/RECYCLING STAGING AREA

DETENTION/INFILTRATION SYSTEM

12" WATER MAIN (TYP)

MATCH LINE, SEE SHEET C-1.1

272.83'

69.85'

94.56'

57.33'

64.92'

79.49'

47.33'

46'

12.67'

62.67'

74.75'

N17°26'03"E 46.72'

10' STEEP SLOPE BUILDING SETBACK

TOP OF STEEP SLOPE

SPEED HUMP W/ RAISED WALKWAY

EX WATER MAIN

25' REDUCED TOP OF STEEP SLOPE BUFFER PER GEOTECHNICAL CRITICAL AREAS REPORT

50' INGRESS AND EGRESS EASEMENT (NO 6522197)

AREA SIGNED FOR EARLY LEARNING CENTER 5 MINUTE PARKING (7AM-5PM)

100' STREAM BUFFER

20' STREAM BUFFER BUILDING SETBACK

AREA SIGNED FOR RESIDENT PARKING (6PM-7AM) EARLY LEARNING CENTER PARKING (7AM-6PM)

GARAGE VENTILATION SHAFT

SOUTH TOWER
32,496 SF
FFE=163.00 ● L01
FFE=155.00 ● P01
FFE=140.00 ● P02

365.71'

266.86'

EASEMENT FOR HIGHWAY SLOPES (NO 6203759)

70' CULVERT EXTENSION EASEMENT (NO 3191894)

5' WALL MAINTENANCE EASEMENT

NATIVE GROWTH PROTECTION EASEMENT (NO 8811039001)

CONNECT TO EX STORM DRAIN

EXISTING HYDRANT

12" WATER MAIN (TYP)

FDC

6" WATER

25' REDUCED TOE OF SLOPE BUFFER PER GEOTECHNICAL REPORT

PROPOSED RETAINING WALL, MAX HEIGHT=7.5'

N85°46'25"W 531.99'

N4°13'35"E 19.00'

N85°46'25"W 350.00'

STORM DRAIN RELOCATION

EX PROPERTY LINE

SE EASTGATE WAY
(MAJOR ARTERIAL)

EXISTING SIGNAL CABINET AND BACKUP BATTERY CABINET TO BE REMOVED. POWER SERVICE CABINET TO REMAIN. CONCRETE PAD AND PEDESTAL TO BE RE-BUILT TO ACCOMMODATE SIDEWALK AND GRADING.

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

Know what's below. Call before you dig.

S:\Washington\Bellevue\NLAND\Eastgate - Polaris\2DWGS\0-MDP\BEIN111S.dwg Feb 22, 2021 - 1:18pm

No.	Date	By	Revision Description

Designed By:	Issue Date:
TAC	02/23/21
Drawn By:	2020-112403 LP
TAC	
Checked By:	**Project No.:**
SMM	10-960-001

SEAN MICHAEL MALON — STATE OF WASHINGTON — 40514 — REGISTERED PROFESSIONAL ENGINEER — 2/23/20

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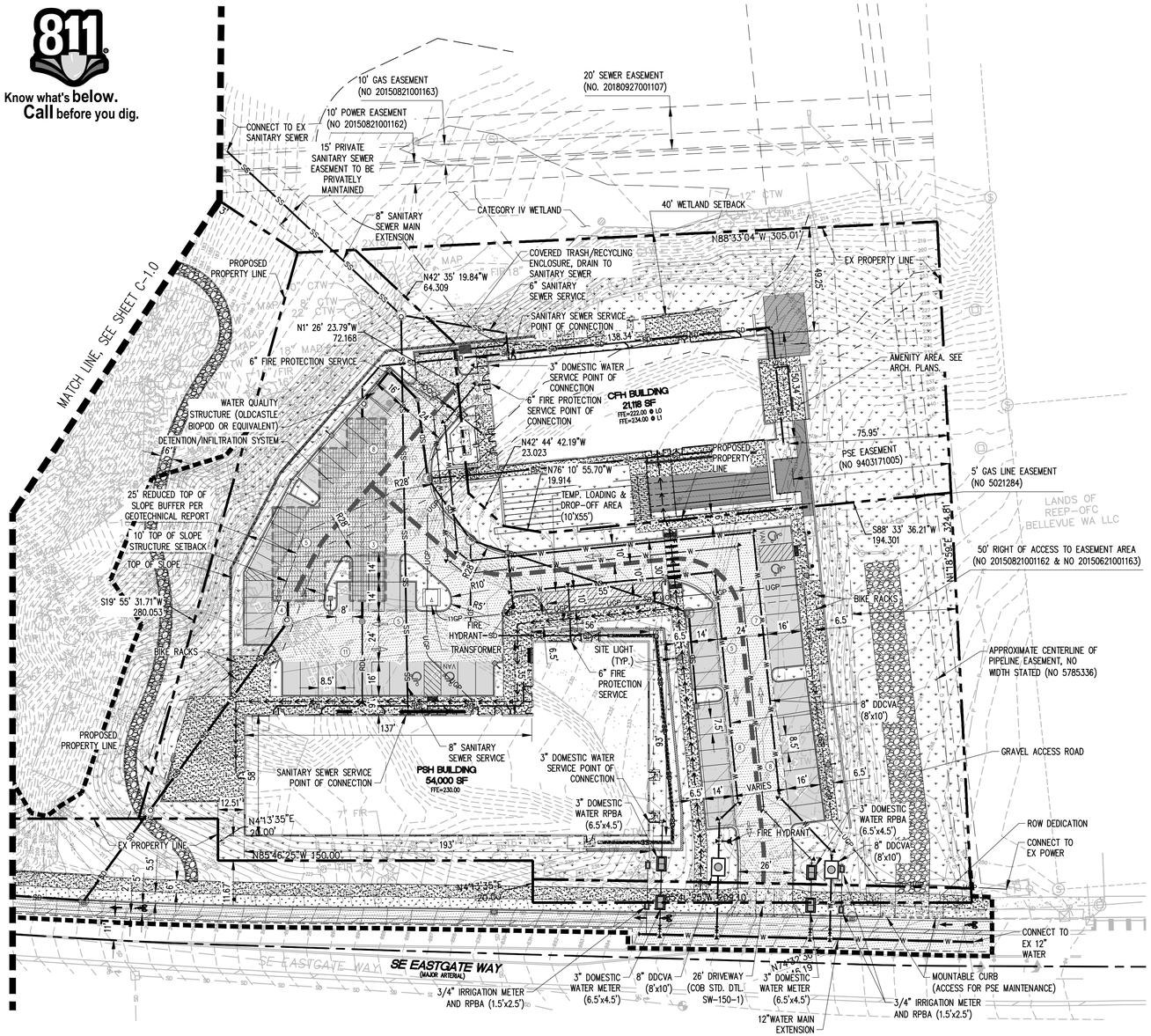
6814 Greenwood Ave. N.
Seattle, WA 98103
T (206) 522-9510
www.PacLand.com

EASTGATE HOUSING CAMPUS
13330, 13638, 13668 SE EASTGATE WAY
BELLEVUE, WA

SITE PLAN - TYPE B (WEST)

C-1.0

811 Know what's below. Call before you dig.



LEGEND

PROPERTY LINE	CONCRETE CURB	UNDERGROUND POWER LINE (UGP)	STORMWATER DETENTION/INFILTRATION VAULT
STANDARD ASPHALT PAVEMENT	LIMITS OF CONSTRUCTION	FIRE HYDRANT	SANITARY SEWER MANHOLE
HEAVY-DUTY ASPHALT PAVEMENT	EXISTING CONTOUR (XXX)	WATER BEND W/ THRUST BLOCK	TRANSFORMER
CONCRETE PAVEMENT	PROPOSED CONTOUR (XXX)	WATER TEE W/ THRUST BLOCK	SIGN
CONCRETE SIDEWALK PAVEMENT	RETAINING WALL	CATCH BASIN TYPE 1	ADA PATH OF TRAVEL
GRAVEL PATH	STORM DRAIN LINE (SD)	CATCH BASIN TYPE 2	
LANDSCAPED AREA	SANITARY SEWER LINE (SS)	AREA DRAIN	
FIRE LANE	WATER LINE (W)	WATER QUALITY STRUCTURE	

PROJECT INFORMATION

PARCEL NUMBER	1024059101
PARCEL AREA	427,143 SF (9.81 AC)
ROW DEDICATION AREA	1,918 SF
NET PARCEL AREA	425,225 SF
ZONING DESIGNATION	OLB-2 (OFFICE AND LIMITED BUSINESS DISTRICT 2)
COMPREHENSIVE PLAN DESIGNATION	OLB (RICHARDS VALLEY SUBAREA)

ZONING REQUIREMENTS PER BMC 20.20.010

SETBACKS	
FRONT	= 0'
REAR	= 0'
SIDE	= 0'
FAR (MAX)	1 (SHARED AMONG ENTIRE MASTER DEVELOPMENT)
FAR PROVIDED	0.97 (REFER TO SHEET MDP-003 FOR DETAILS)
MAXIMUM BUILDING HEIGHT	= 75'
PROPOSED BUILDING HEIGHT	= 74' (PHASE I) = 45'-5-1/2" (PHASE II) = 56'-8" (PHASE III)
MAX LOT COVERAGE	
STRUCTURES	= 35% (32.7% PROVIDED)
HARD SURFACES	= 85% (51% PROVIDED)
IMPERVIOUS	= 60% (49% PROVIDED)

GROSS FLOOR AREA - PHASE I POLARIS:	343,024 SF
GROSS FLOOR AREA - PHASE II:	18,699 SF
GROSS FLOOR AREA - PHASE III:	50,044 SF
TOTAL	411,767 SF

PROPOSED # OF DU PHASE I POLARIS 360 UNITS

PROPOSED # OF DU PHASE II 100 BEDS (OCCUPANCY LIMITS = 100 BEDS)
20.20.455.I.3.B

PROPOSED # OF DU PHASE III 95 STUDIO UNITS

PARKING SUMMARY - PHASE I POLARIS

REQUIRED PARKING 360 UNITS X .75 PARKING PER UNIT
(PER ORDINANCE #6513.) = 270 PARKING REQUIRED

P02 PARKING PROVIDED : 101 + 9 ADA =	110
P01 PARKING PROVIDED : 97 + 14 ADA =	111
SURFACE PARKING : 50 + 2 ADA =	52

273 PARKING PROVIDED (25 ADA INCLUDED)

PARKING SUMMARY - PHASE II & III

SURFACE - ADA (CFH)	2
SURFACE - ADA (HHA)	2
SURFACE - COMPACT (CFH)	21
SURFACE - COMPACT (HHA)	9
SURFACE - STANDARD (CFH)	21 (0) EV*
SURFACE - STANDARD (HHA)	9 (2) EV
TOTAL:	64

*427.1 SCOPE. THE PROVISIONS OF THIS SECTION SHALL APPLY TO THE CONSTRUCTION OF NEW BUILDINGS SERVING GROUP B, GROUP R-1 HOTEL AND MOTEL ONLY, AND GROUP R-2 OCCUPANCIES.

BIKE PARKING

PHASE I POLARIS	10 RACKS (20 BICYCLES) PROVIDED
PHASE II	10 TOTAL SPACES
PHASE III	10 TOTAL SPACES

LEGAL DESCRIPTION

PARCEL B, CITY OF BELLEVUE BOUNDARY LINE ADJUSTMENT NO. 11-114500-LW, RECORDED MARCH 23, 2012, UNDER RECORDING NUMBER 20120323900003, IN KING COUNTY, WASHINGTON.

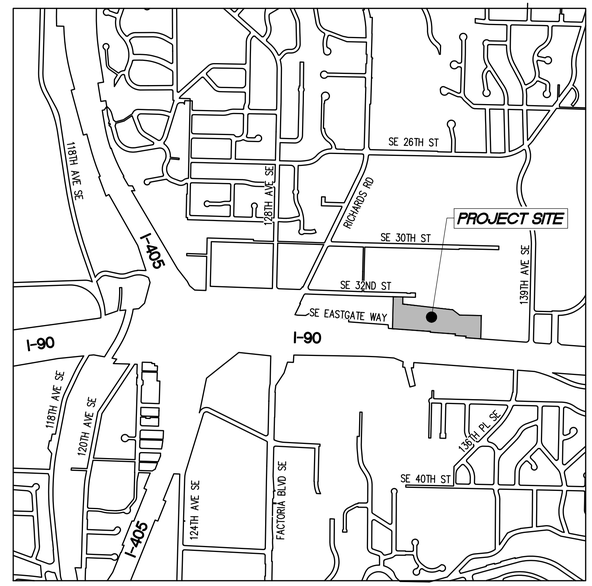
THE PROPERTY DESCRIBED AND SHOWN HEREON IS THE SAME PROPERTY AS DESCRIBED IN THE CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENT FOR TITLE INSURANCE NUMBER 193774-NCS, UPDATE SECOND COMMITMENT, DATED DECEMBER 20, 2019.

SURVEY INFORMATION

HORIZONTAL DATUM	= NAD 83/91
VERTICAL DATUM	= NAVD 88

SITE INFORMATION

TOTAL SITE AREA	= 427,143 SF (EXISTING CONDITIONS)
TOTAL SITE AREA	= 425,228 SF (LESS RIGHT-OF-WAY DEDICATION)
IMPERVIOUS AREA	= 208,547 SF
PERVIOUS AREA	= 216,681 SF
IMPERVIOUS COVERAGE	= 49%



VICINITY MAP

APPROXIMATE SCALE 1" = 1000'

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

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No.	Date	By	Revision Description

Designed By:	Issue Date:
TAC	02/23/21
Drawn By:	2020-112403 LP
TAC	
Checked By:	Project No.:
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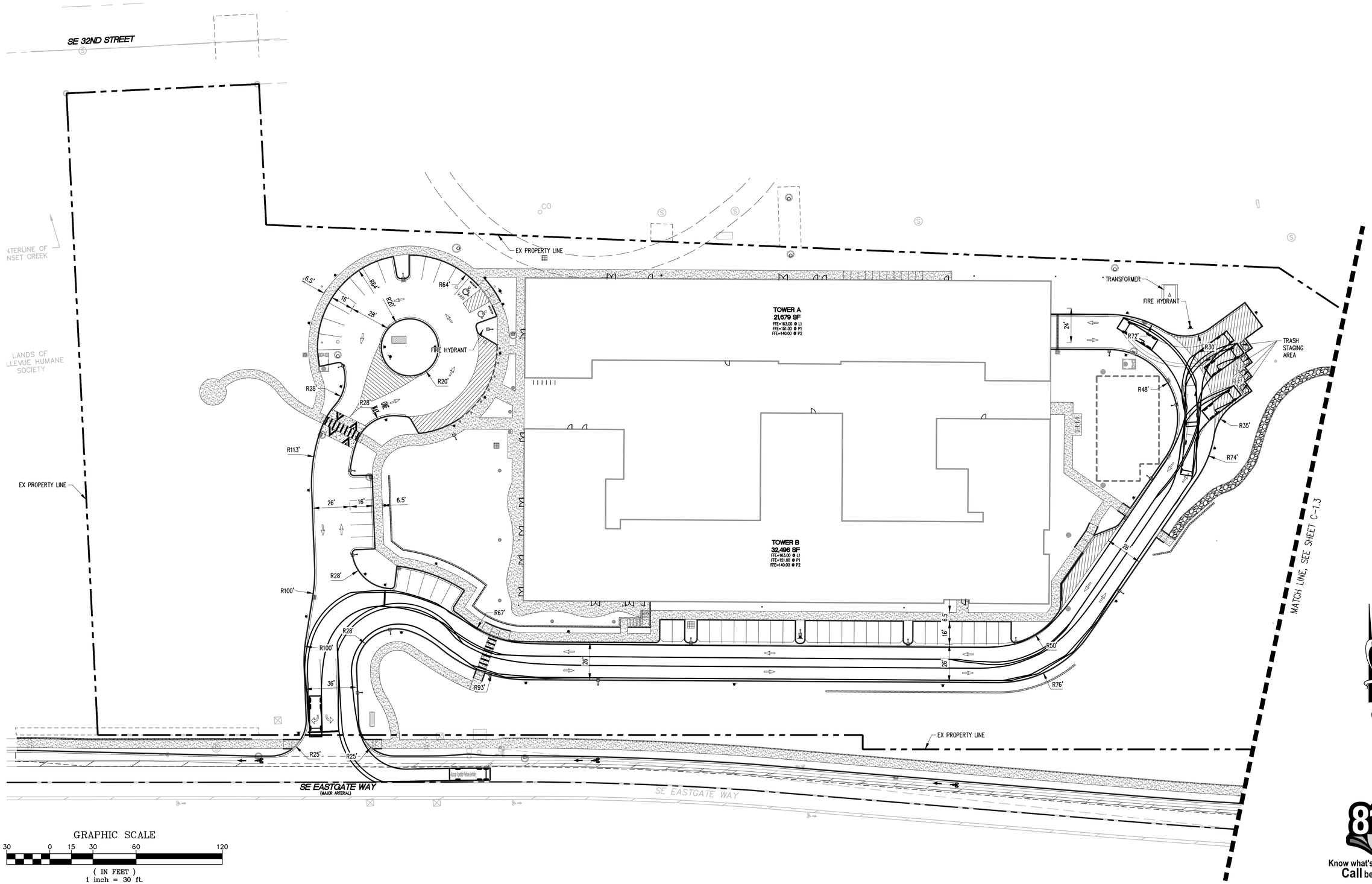
SITE PLAN - TYPE B (EAST)

C-1.1



GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
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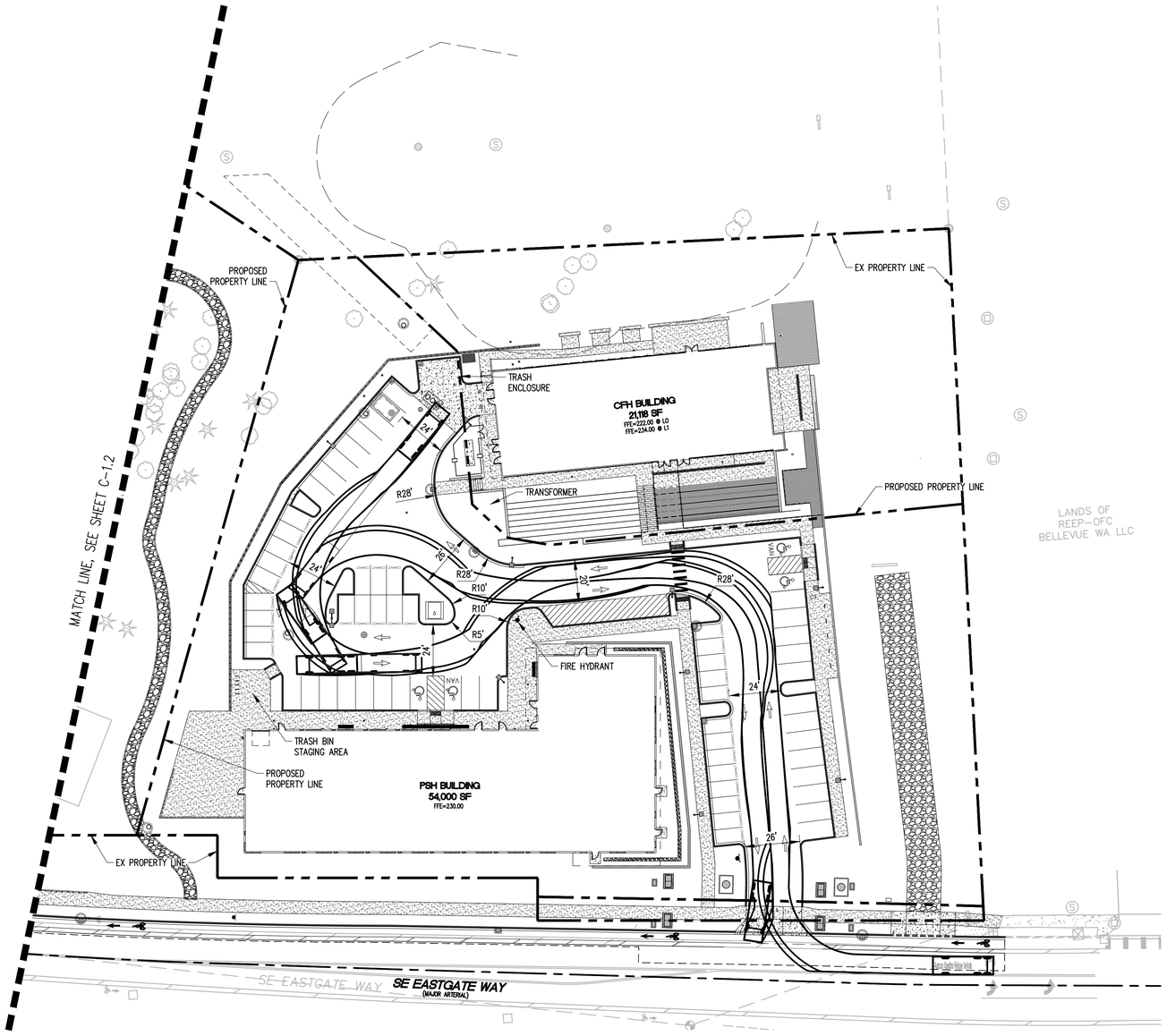
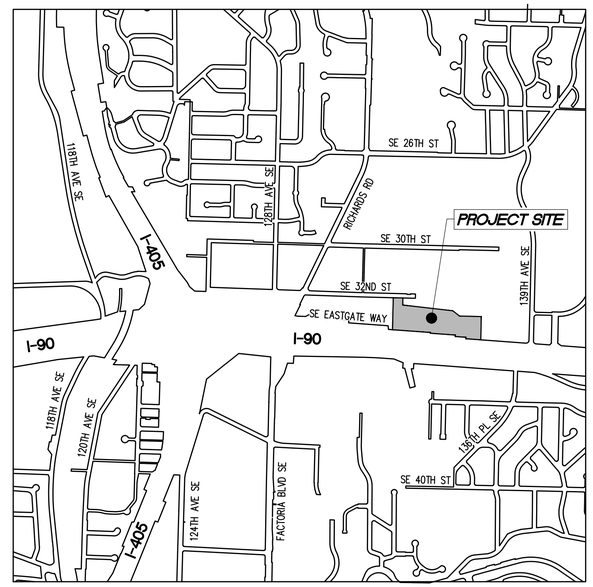
REFUSE VEHICLE EXHIBIT (WEST)

C-1.2





VICINITY MAP

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GRAPHIC SCALE

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(IN FEET)
1 inch = 30 ft.

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REFUSE VEHICLE EXHIBIT (EAST)

C-1.3

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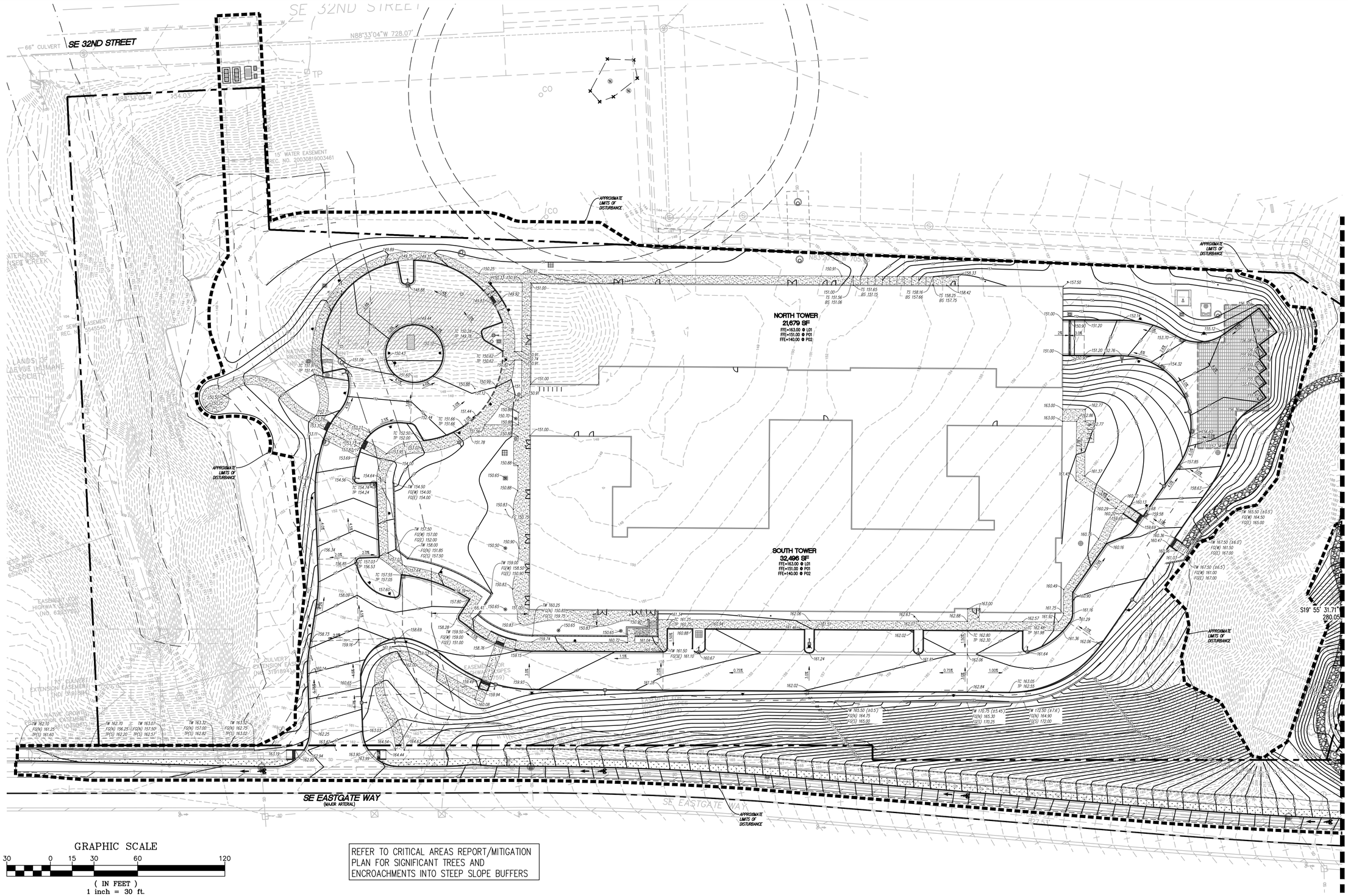

GRAPHIC SCALE

30 0 15 30 60 120

(IN FEET)
1 inch = 30 ft.

REFER TO CRITICAL AREAS REPORT/MITIGATION PLAN FOR SIGNIFICANT TREES AND ENCROACHMENTS INTO STEEP SLOPE BUFFERS

811 Know what's **below.** **Call** before you dig.

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PRELIMINARY CLEARING AND GRADING PLAN (WEST)

C-2.0

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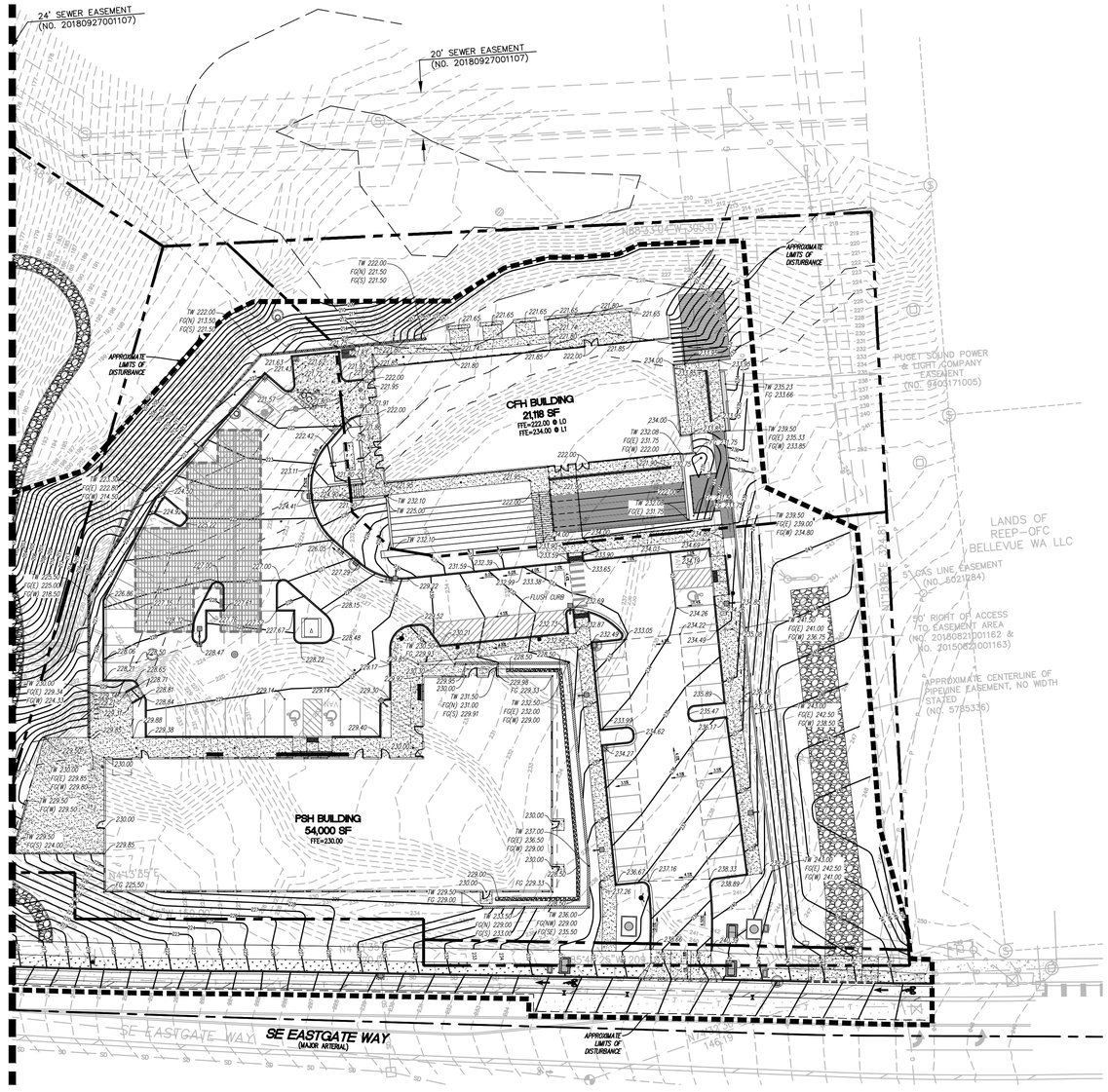

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1 inch = 30 ft.

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PRELIMINARY CLEARING AND GRADING PLAN (EAST)

C-2.1

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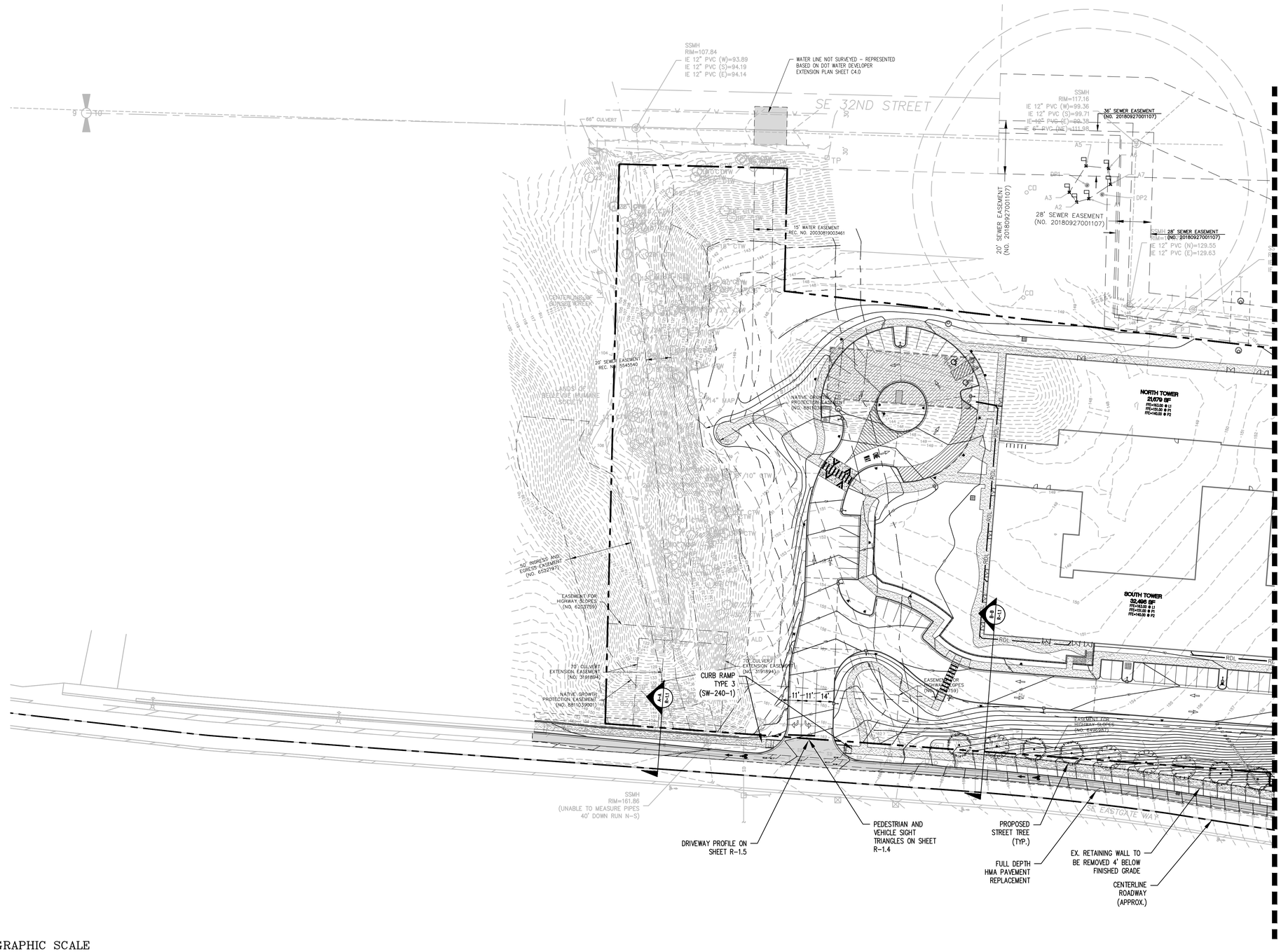

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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SE EASTGATE WAY FRONTAGE IMPROVEMENTS

R-1.0
WEST

MATCH LINE, SEE SHEET R-1.0 WEST

LANDS OF KING COUNTY

SSMH
RIM=150.59
IE 12" PVC (W)=141.84
IE 12" PVC (E)=141.94

SSMH
RIM=154.59
IE 12" PVC (W)=147.74
IE 12" PVC (E)=147.84

10' POWER EASEMENT (NO. 20150821001162)

20' SEWER EASEMENT (NO. 20180927001107)

10' GAS EASEMENT (NO. 20150821001163)

NORTH TOWER
21,679 SF
FF=153.00 @ L1
FF=159.00 @ P1
FF=140.00 @ P2

SOUTH TOWER
32,495 SF
FF=163.00 @ L1
FF=153.00 @ P1
FF=140.00 @ P2

24" SEWER EASEMENT (NO. 20180927001107)

50' POWER EASEMENT (NO. 20150821001162)

SSMH
RIM=184.43
IE 12" PVC (NW)=176.03
IE 12" PVC (E)=176.13

SSMH
RIM=204.59
IE 12" PVC (W)=197.19

20' SEWER EASEMENT (NO. 20180927001107)

SSMH
RIM=213.64
IE 12" PVC (N)=201.69
IE 12" PVC (S)=201.69

CPH BUILDING
21,119 SF
FF=222.00 @ L2
FF=234.00 @ L1

PUGET SOUND POWER & LIGHT COMPANY EASEMENT (NO. 9403171005)

SSMH
RIM=241.85
IE 12" PVC (N)=234.80
IE 6" PVC (E)=235.60
IE 12" PVC (S)=234.90

LANDS OF REEP-OFC BELLEVUE WA LLC

5' GAS LINE EASEMENT (NO. 9021284)

50' RIGHT OF ACCESS TO EASEMENT AREA (NO. 20150821001162 & NO. 20150823001163)

APPROXIMATE CENTERLINE OF PIPELINE EASEMENT, NO WIDTH STATED (NO. 5785336)

FSH BUILDING
54,000 SF
FF=330.00

SSMH
RIM=249.84
IE 12" PVC (E)=236.26
IE PIPE (N)=237.84

FUTURE RIGHT-OF-WAY DEDICATION

26'

PROPOSED STREET TREE (TYP.)

FULL DEPTH HMA PAVEMENT REPLACEMENT

EX. RIGHT-OF-WAY

CENTERLINE ROADWAY (APPROX.)

SE EASTGATE WAY

DRIVEWAY APPROACH OPTION 2 (SW-150-1)

DRIVEWAY PROFILE ON SHEET R-1.5

PEDESTRIAN AND VEHICLE SIGHT TRIANGLES ON SHEET R-1.4

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.

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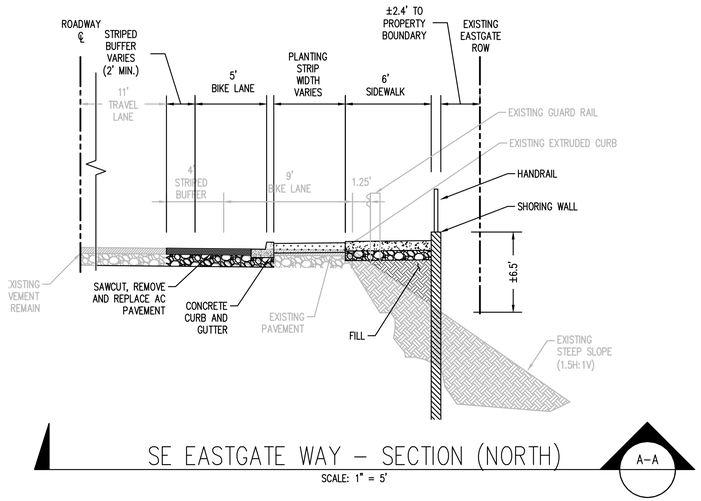
SE EASTGATE WAY FRONTAGE IMPROVEMENTS

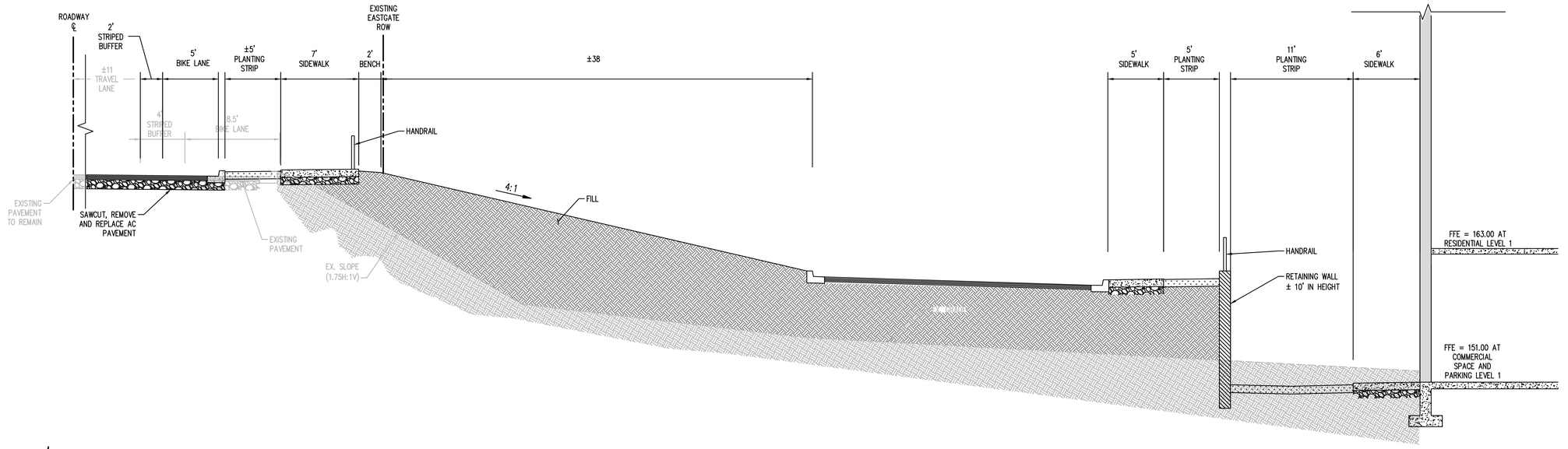
R-1.0
EAST



SE EASTGATE WAY – SECTION (NORTH)

A–A

SCALE: 1" = 5'



SE EASTGATE WAY – SECTION (NORTH)

B–B

SCALE: 1" = 5'

GRAPHIC SCALE

5 0 2.5 5 10 20

(IN FEET)

1 inch = 5 ft.

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SE EASTGATE WAY FRONTAGE IMPROVEMENTS

R-1.1

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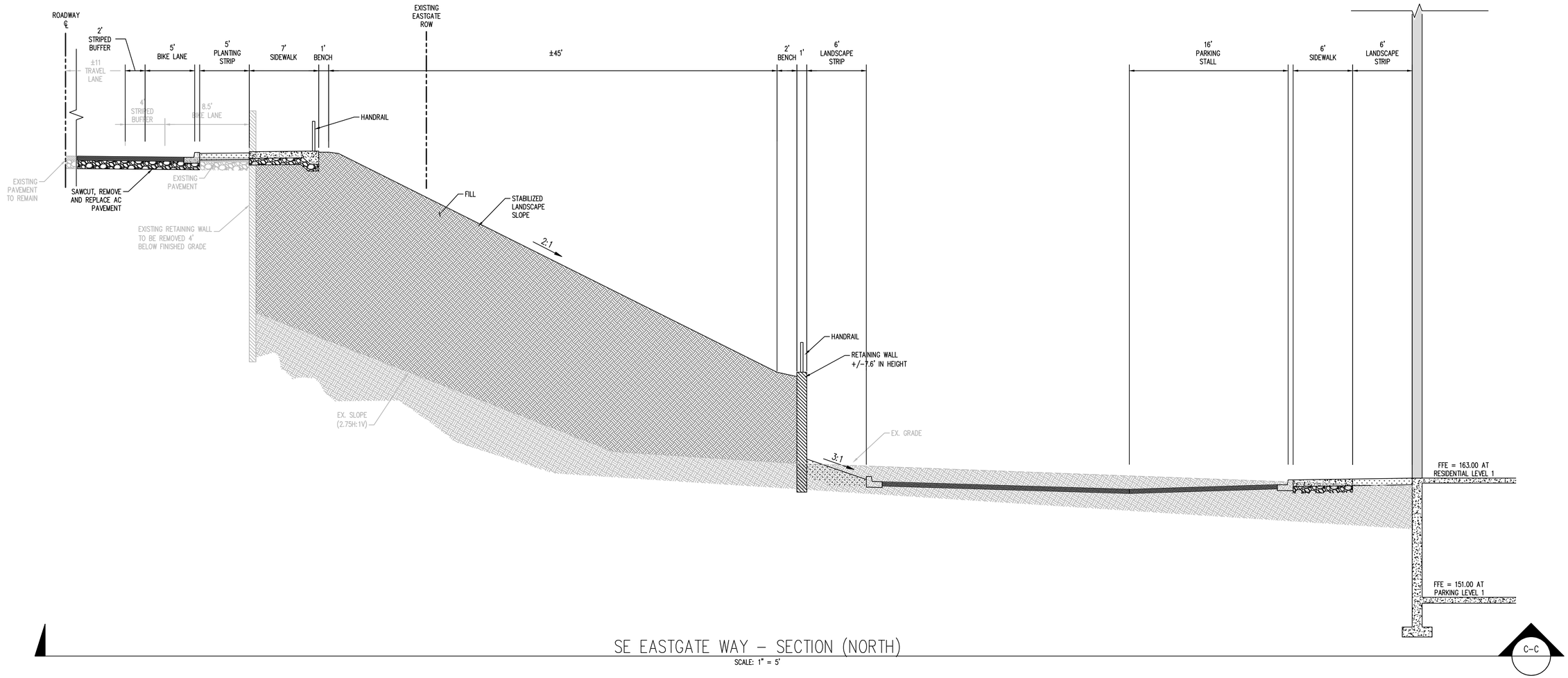

SE EASTGATE WAY – SECTION (NORTH)

SCALE: 1" = 5'

GRAPHIC SCALE

5 0 2.5 5 10 20

(IN FEET)

1 inch = 5 ft.

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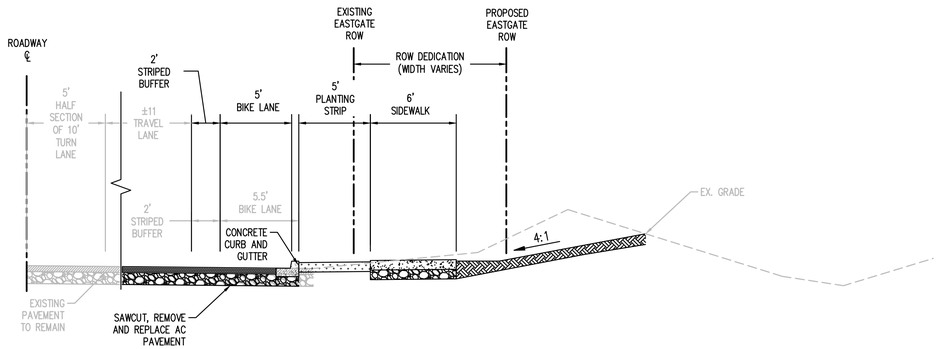
SE EASTGATE WAY FRONTAGE IMPROVEMENTS

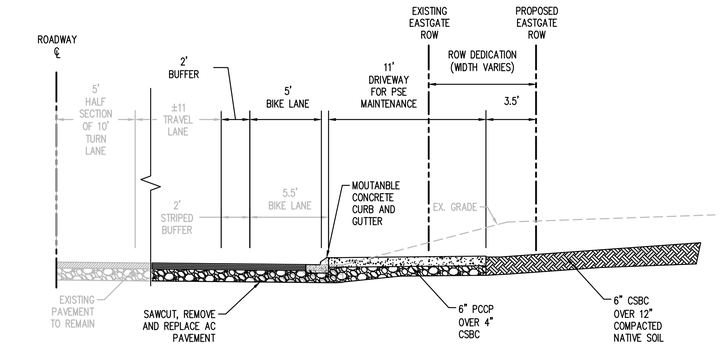
R-1.2



SE EASTGATE WAY – SECTION (NORTH)

SCALE: 1" = 5'

D–D



SE EASTGATE WAY – SECTION (NORTH)

SCALE: 1" = 5'

E–E

GRAPHIC SCALE

5 0 2.5 5 10 20

(IN FEET)

1 inch = 5 ft.

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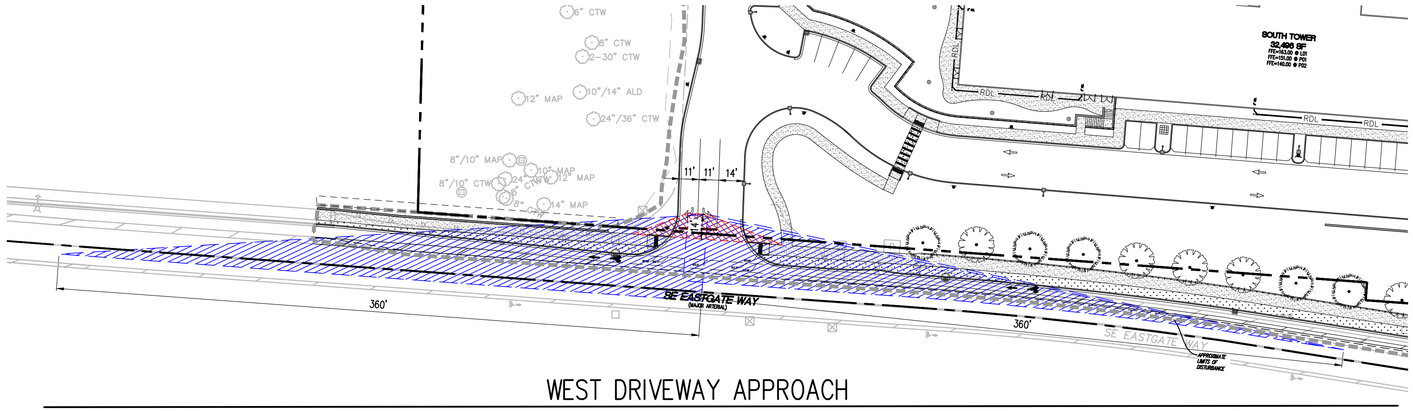
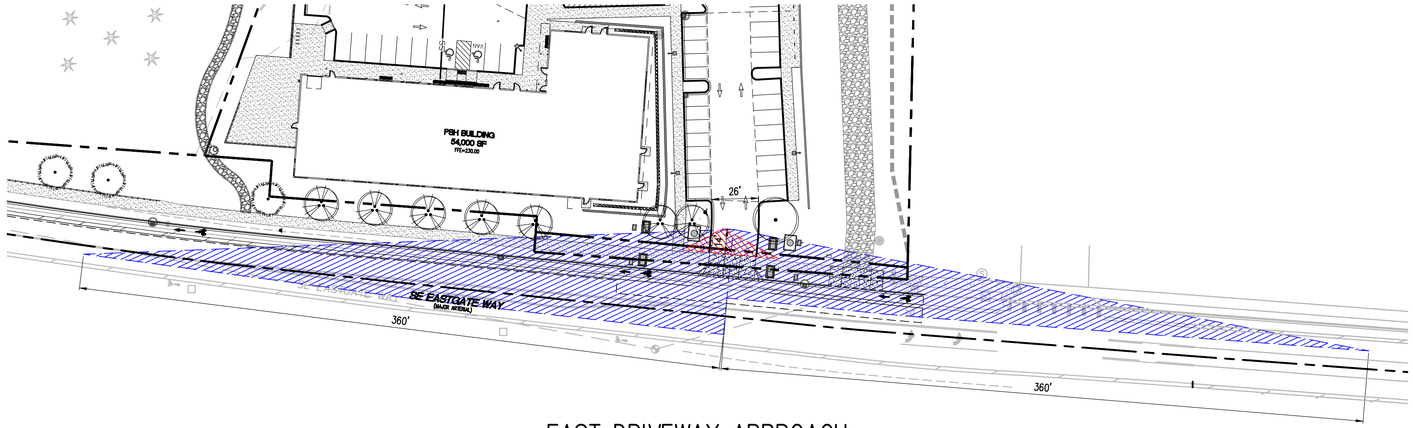
SE EASTGATE WAY FRONTAGE IMPROVEMENTS

R-1.3



WEST DRIVEWAY APPROACH

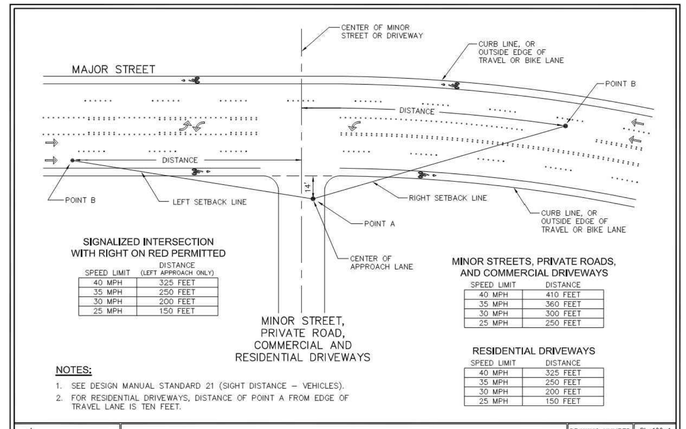


EAST DRIVEWAY APPROACH

GRAPHIC SCALE

40 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.



SIGNALIZED INTERSECTION WITH RIGHT ON RED PERMITTED

SPEED LIMIT	DISTANCE (LEFT APPROACH ONLY)
40 MPH	325 FEET
35 MPH	250 FEET
30 MPH	200 FEET
25 MPH	150 FEET

MINOR STREET, PRIVATE ROAD, COMMERCIAL AND RESIDENTIAL DRIVEWAYS

MINOR STREETS, PRIVATE ROADS, AND COMMERCIAL DRIVEWAYS

SPEED LIMIT	DISTANCE
40 MPH	410 FEET
35 MPH	360 FEET
30 MPH	300 FEET
25 MPH	250 FEET

RESIDENTIAL DRIVEWAYS

SPEED LIMIT	DISTANCE
40 MPH	325 FEET
35 MPH	250 FEET
30 MPH	200 FEET
25 MPH	150 FEET

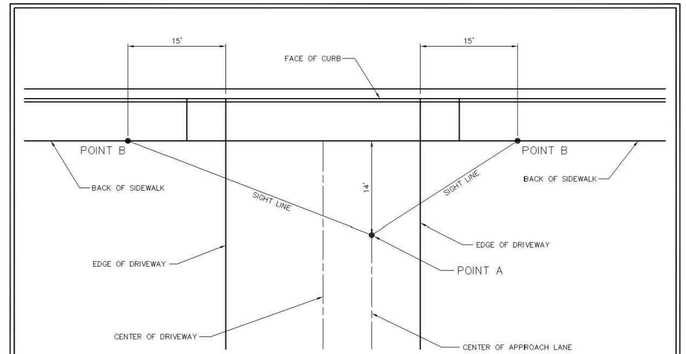
NOTES:

1. SEE DESIGN MANUAL STANDARD 21 (SIGHT DISTANCE – VEHICLES).
2. FOR RESIDENTIAL DRIVEWAYS, DISTANCE OF POINT A FROM EDGE OF TRAVEL LANE IS TEN FEET.

City of Bellevue

SIGHT DISTANCE SETBACK LINES

DRAWING NUMBER	RL-100-1
SCALE	NONE
REVISION DATE	01/2/15
DEPARTMENT	TRANS



NOTES:

1. SEE DESIGN MANUAL STANDARD 22 (SIGHT DISTANCE – PEDESTRIANS).

City of Bellevue

PEDESTRIAN SIGHT LINES

DRAWING NUMBER	RL-120-1
SCALE	NONE
REVISION DATE	12/15
DEPARTMENT	TRANS

No.	Date	By	Revision Description

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Drawn By:	2020-112403 LP
TAC	
Checked By:	**Project No.:**
SMM	10-960-001

SEAN MICHAEL MATSON — STATE OF WASHINGTON — 40514 — REGISTERED PROFESSIONAL ENGINEER — 5/12/20

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13330, 13638, 13668 SE EASTGATE WAY
BELLEVUE, WA

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PEDESTRIAN AND VEHICLE SIGHT TRIANGLES

R-1.4

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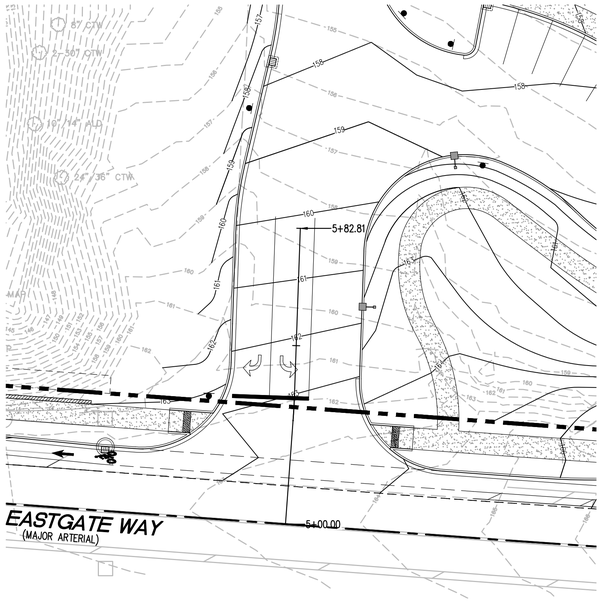
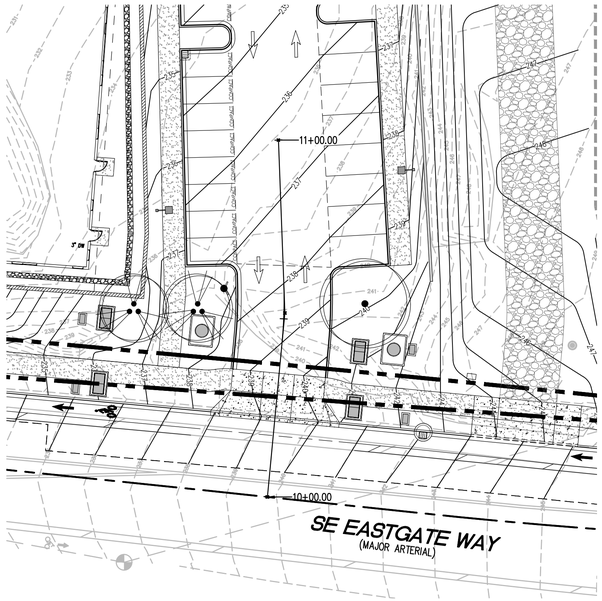
GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.



WEST DRIVEWAY APPROACH



EAST DRIVEWAY APPROACH

GRAPHIC SCALE

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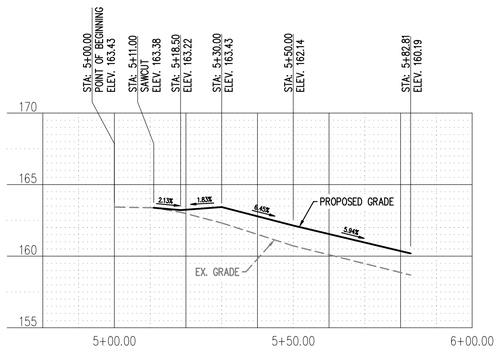
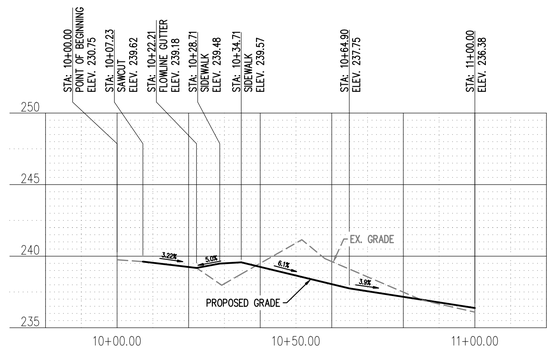
(IN FEET)
1 inch = 20 ft.



WEST DRIVEWAY PROFILE STA: 5+00.00 TO 5+82.81

SCALE: H: 1" = 20' ; V: 1" = 5'



EAST DRIVEWAY PROFILE STA: 10+00.00 TO 11+00.00

SCALE: H: 1" = 20' ; V: 1" = 5'

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No.	Date	By	Revision Description

Designed By:	Issue Date:
TAC	02/23/21
Drawn By:	2020-112403 LP
TAC	
Checked By:	**Project No.:**
SMM	10-960-001

SEAN MICHAEL MILLER
STATE OF WASHINGTON
40514
REGISTERED
PROFESSIONAL ENGINEER
2/23/20

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BELLEVUE, WA

SE EASTGATE WAY
DRIVEWAY PROFILES

R-1.5

SHEET INDEX

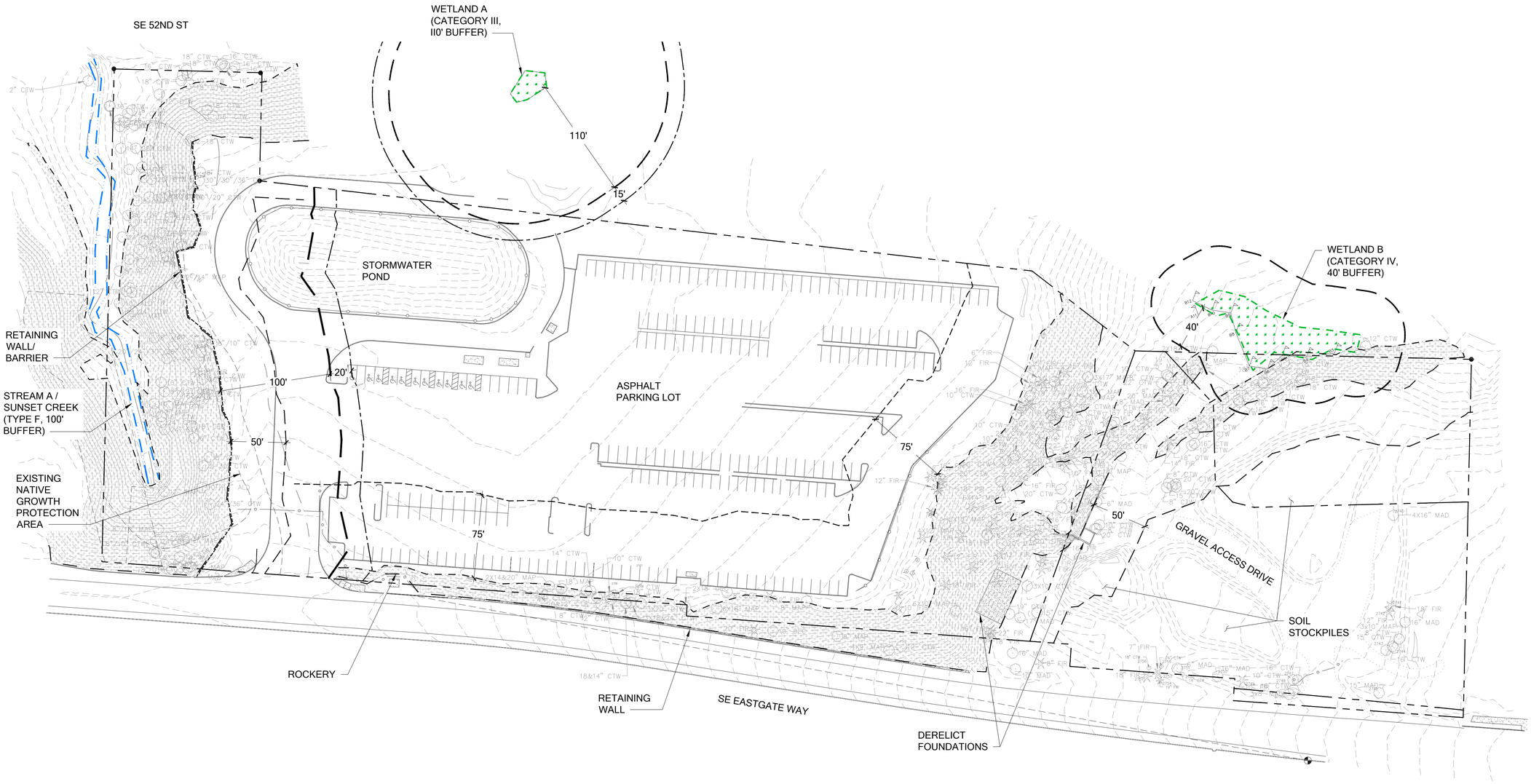
W1 EXISTING CONDITIONS
W2 PROPOSED IMPACTS
W3 MITIGATION PLAN
W4 SITE PREPARATION PLAN
W5 PLANTING PLAN
W6 PLANT SCHEDULES AND INSTALLATION SPECIFICATIONS
W7 MITIGATION AND SITE PREPARATION DETAILS
W8 MITIGATION PLAN NOTES

NOTES

1. WETLANDS AND STREAM DELINEATED BY THE WATERSHED COMPANY ON MARCH 1ST AND 4TH, 2018 (750 6TH STREET SOUTH; KIRKLAND, WA 98033; 425-9822-5242).
2. SURVEY, INCLUDING STEEP SLOPE AREAS, COMPLETED BY ENCOMPASS ENGINEERING AND SURVEYING (165 JUNIPER STREET, SUITE 201; ISSAQUAH, WA 98027; 509-674-7433).
3. TOP OF BANK IS CONCURRENT WITH TOP OF SLOPE FOR PURPOSES OF DETERMINING STREAM BUFFER AND SETBACK LOCATION ON THE SUBJECT PARCEL.

LEGEND

- SUBJECT PARCEL BOUNDARY
- DELINEATED WETLAND BOUNDARY
- STANDARD WETLAND BUFFER
- STREAM OHWM
- TOP OF BANK
- STANDARD STREAM BUFFER (100')
- STANDARD BUILDING SETBACK
- STEEP SLOPE AREA
- TOE OF SLOPE
- TOE OF SLOPE SETBACK (75')
- TOP OF SLOPE
- TOP OF SLOPE BUFFER (50')



EXISTING CONDITIONS

SCALE 1:50

0' 25' 50' 100' 200'

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p 425.822.5242
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MITIGATION PLAN
INLAND GROUP
13620 SE EASTGATE WAY
PARCEL # 1024059101
BELLEVUE, WA 98005

SUBMITTALS & REVISIONS

NO.	DATE	DESCRIPTION	BY
1	5-29-2020	CONCEPTUAL MITIGATION PLAN	RH
2	7-31-2020	PERMIT SET	RH
3	10-22-2020	REVISED PERMIT SET	RH
4	2-26-2021	REVISED PERMIT SET	

SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: JKB
DESIGNED: RH
DRAFTED: RH
CHECKED: LV, AP
JOB NUMBER:
190218
SHEET NUMBER:
W1 OF 8

FILENAME
PRINTED BY
DATE

NOTES

1. SITE PLAN PROVIDED ON JANUARY 6, 2021 BY PACLAND (6814 GREENWOOD AVE N; SEATTLE, WA 98103; 206-522-9510).

LEGEND

EXISTING CONDITIONS

- SUBJECT PARCEL BOUNDARY
- DELINEATED WETLAND BOUNDARY
- STANDARD WETLAND BUFFER
- STREAM OHWM
- TOP OF BANK
- STANDARD STREAM BUFFER (100')
- BUILDING SETBACK
- STEEP SLOPE AREA
- TOE OF SLOPE
- TOE OF SLOPE SETBACK (75')
- TOP OF SLOPE
- TOP OF SLOPE BUFFER (50')

PROPOSED CONDITIONS

- CLEARING / GRADING LIMITS
- REDUCED COMBINED CRITICAL AREA BUFFER / SETBACK

PERMANENT IMPACTS (85,950 SF TOTAL)

- STEEP SLOPE IMPACT (2,165 SF)
- BUFFER / SETBACK IMPACT (83,785 SF)

TEMPORARY IMPACTS (51,875 SF TOTAL)

- STEEP SLOPE IMPACT (15,870 SF)
- BUFFER / SETBACK IMPACT (36,005 SF)

PROPOSED IMPACTS

SCALE 1:50

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SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: JKB
DESIGNED: RH
DRAFTED: RH
CHECKED: LV, AP
JOB NUMBER:
190218
SHEET NUMBER:
W2 OF 8

FILENAME
PRINTED BY
DATE

NOTES

1. SEE SHEET W4 FOR SITE PREPARATION PLAN; SEE SHEET W7 FOR MITIGATION AND SITE PREPARATION DETAILS
2. SEE SHEET W5 FOR PLANTING PLAN; SEE SHEET W6 FOR PLANT SCHEDULES AND PLANT INSTALLATION SPECIFICATIONS.
3. SPLIT RAIL FENCE IS SHOWN OFFSET FROM CRITICAL AREA BUFFER FOR VISUAL CLARITY.

LEGEND

EXISTING CONDITIONS

- SUBJECT PARCEL BOUNDARY
- DELINEATED WETLAND BOUNDARY
- STANDARD WETLAND BUFFER
- STREAM OHWM
- TOP OF BANK
- STEEP SLOPE AREA
- TOE OF SLOPE
- TOP OF SLOPE

PROPOSED CONDITIONS

- CLEARING / GRADING LIMITS
- REDUCED COMBINED CRITICAL AREA BUFFER / SETBACK
- MITIGATION AREA (85,950 SF)
- TEMPORARY IMPACT TO BE RESTORED IN PLACE IN PLACE WITH NATIVE VEGETATION (50,720 SF)
- SPLIT RAIL FENCE (A / W7)
- CRITICAL AREA SIGN ON FENCE (3) (B / W7)
- COIR LOG (C / W7)

MITIGATION PLAN

SCALE 1:50

0' 25' 50' 100' 200'

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SUBMITTALS & REVISIONS

NO.	DATE	DESCRIPTION	BY
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2	7-31-2020	PERMIT SET	RH
3	10-22-2020	REVISED PERMIT SET	RH
4	2-26-2021	REVISED PERMIT SET	RH

SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: JKB
DESIGNED: RH
DRAFTED: RH
CHECKED: LV, AP
JOB NUMBER: 190218
SHEET NUMBER: W3 OF 8

FILENAME
PRINTED BY
DATE

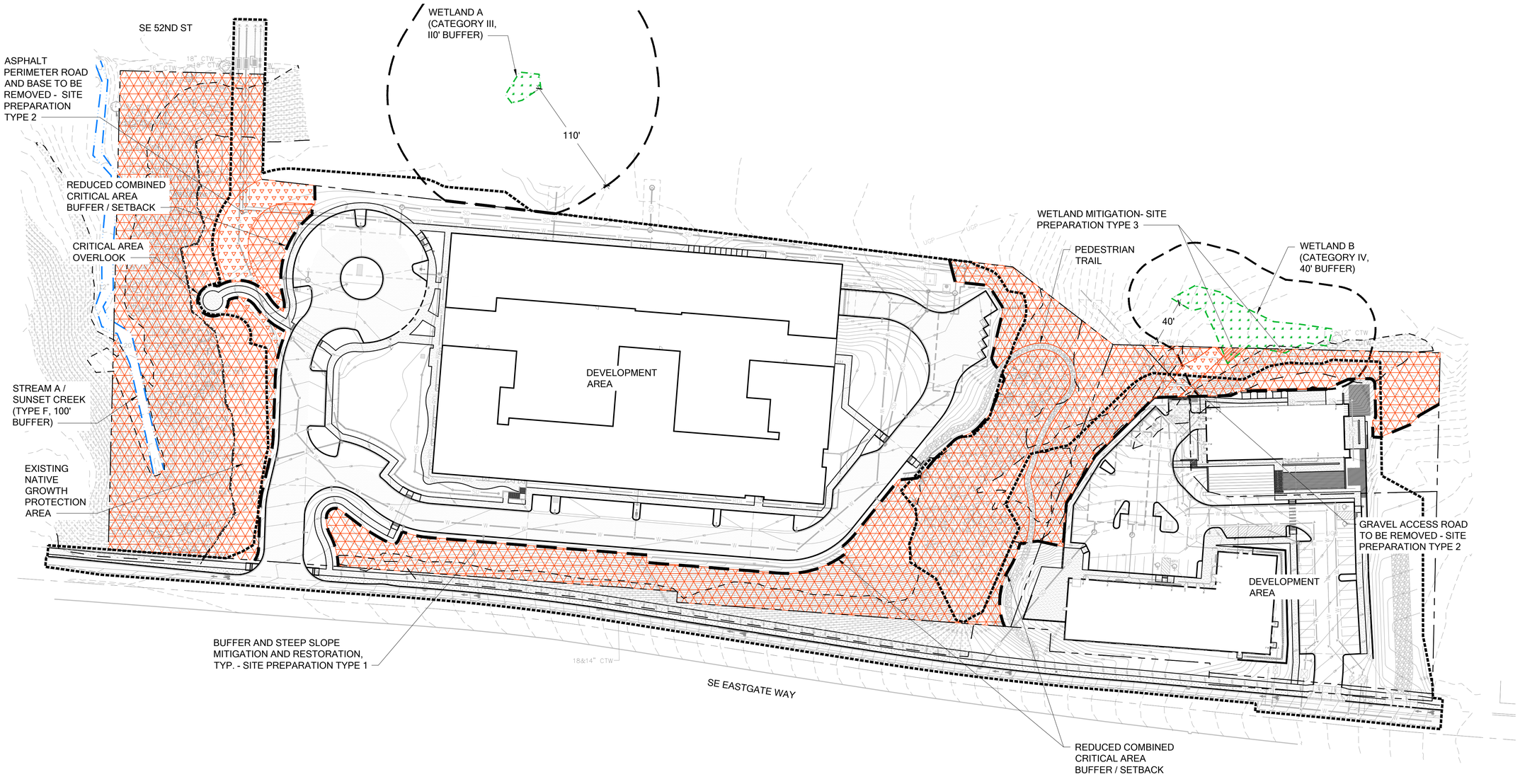
LEGEND

EXISTING CONDITIONS

- SUBJECT PARCEL BOUNDARY
- DELINEATED WETLAND BOUNDARY
- STANDARD WETLAND BUFFER
- STREAM OHWM
- TOP OF BANK
- STEEP SLOPE AREA
- TOE OF SLOPE
- TOP OF SLOPE

PROPOSED CONDITIONS

- CLEARING / GRADING LIMITS
- REDUCED COMBINED CRITICAL AREA BUFFER / SETBACK
- SITE PREPARATION AREA - TYPE 1 (131,070 SF) — E / W7
- SITE PREPARATION AREA - TYPE 2 (5,380 SF) — F / W7
- SITE PREPARATION AREA - TYPE 3 (220 SF) — G / W7



SITE PREPARATION PLAN

SCALE 1:50

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3	10-22-2020	REVISED PERMIT SET	RH
4	2-26-2021	REVISED PERMIT SET	RH

SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: JKB
DESIGNED: RH
DRAFTED: RH
CHECKED: LV, AP
JOB NUMBER:
190218
SHEET NUMBER:
W4 OF 8

FILENAME
PRINTED BY
DATE

NOTES

1. SEE SHEET W6 FOR PLANT SCHEDULES AND INSTALLATION SPECIFICATIONS.
2. PLANT LAYOUT TO BE CONDUCTED WITH CONSULTATION OF RESTORATION PROFESSIONAL.

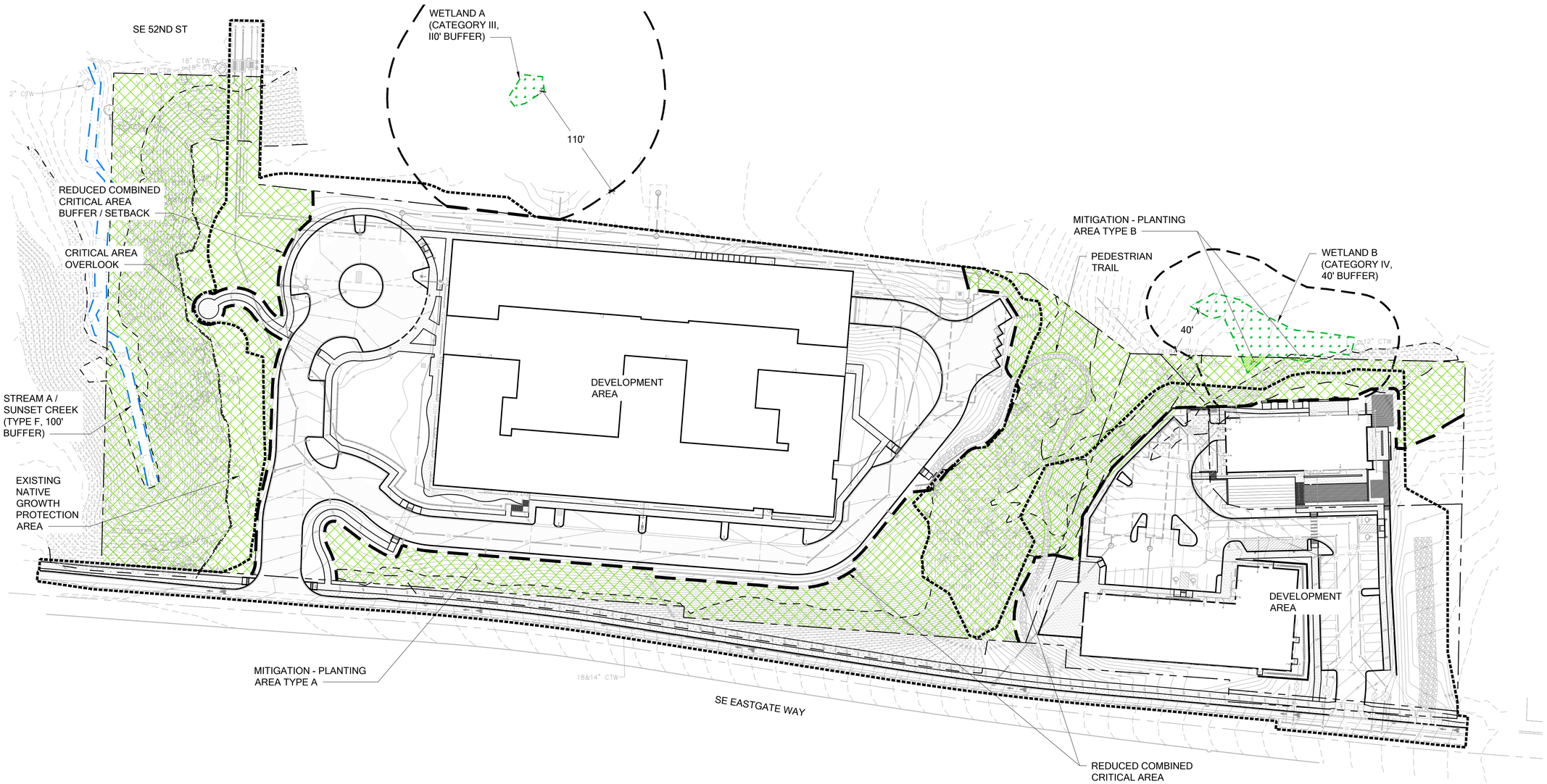
LEGEND

EXISTING CONDITIONS

- SUBJECT PARCEL BOUNDARY
- DELINEATED WETLAND BOUNDARY
- STANDARD WETLAND BUFFER
- STREAM OHWNM
- TOP OF BANK
- STEEP SLOPE AREA
- TOE OF SLOPE
- TOP OF SLOPE

PROPOSED CONDITIONS

- CLEARING / GRADING LIMITS
- REDUCED COMBINED CRITICAL AREA BUFFER / SETBACK
- PLANTING AREA - TYPE A (136,450 SF)
- PLANTING AREA - TYPE B (220 SF)



PLANTING PLAN

SCALE 1:50

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SUBMITTALS & REVISIONS

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SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: JKB
DESIGNED: RH
DRAFTED: RH
CHECKED: LV, AP
JOB NUMBER: 190218
SHEET NUMBER: W5 OF 8

FILENAME
PRINTED BY
DATE

PLANT INSTALLATION SPECIFICATIONS

GENERAL NOTES

QUALITY ASSURANCE
1. PLANTS SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
2. PLANTS SHALL BE HEALTHY, VIGOROUS, AND WELL-FORMED, WITH WELL DEVELOPED, FIBROUS ROOT SYSTEMS, FREE FROM DEAD BRANCHES OR ROOTS. PLANTS SHALL BE FREE FROM DAMAGE CAUSED BY TEMPERATURE EXTREMES, LACK OR EXCESS OF MOISTURE, INSECTS, DISEASE, AND MECHANICAL INJURY. PLANTS IN LEAF SHALL BE WELL FOLIATED AND OF GOOD COLOR. PLANTS SHALL BE HABITUATED TO THE OUTDOOR ENVIRONMENTAL CONDITIONS INTO WHICH THEY WILL BE PLANTED (HARDENED-OFF).
3. TREES WITH DAMAGED, CROOKED, MULTIPLE OR BROKEN LEADERS WILL BE REJECTED. WOODY PLANTS WITH ABRASIONS OF THE BARK OR SUN SCALD WILL BE REJECTED.
4. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO FLORA OF THE PACIFIC NORTHWEST BY HITCHCOCK AND CRONQUIST, UNIVERSITY OF WASHINGTON PRESS, 1973 AND/OR TO A FIELD GUIDE TO THE COMMON WETLAND PLANTS OF WESTERN WASHINGTON & NORTHWESTERN OREGON, ED. SARAH SPEAR COOKE, SEATTLE AUDUBON SOCIETY, 1997.

DEFINITIONS
1. PLANTS/PLANT MATERIALS. PLANTS AND PLANT MATERIALS SHALL INCLUDE ANY LIVE PLANT MATERIAL USED ON THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CONTAINER GROWN, B&B OR BAREROOT PLANTS; LIVE STAKES AND FASCINES (WATTLES); TUBERS, CORMS, BULBS, ETC..; SPRIGS, PLUGS, AND LINERS.
2. CONTAINER GROWN. CONTAINER GROWN PLANTS ARE THOSE WHOSE ROOTBALLS ARE ENCLOSED IN A POT OR BAG IN WHICH THAT PLANT GREW.

SUBSTITUTIONS
1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SPECIFIED MATERIALS IN ADVANCE IF SPECIAL GROWING, MARKETING OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED MATERIALS.
2. SUBSTITUTION OF PLANT MATERIALS NOT ON THE PROJECT LIST WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE RESTORATION CONSULTANT.
3. IF PROOF IS SUBMITTED THAT ANY PLANT MATERIAL SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR ALTERNATIVE SPECIES, WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
4. SUCH PROOF WILL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION.

INSPECTION
1. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE RESTORATION CONSULTANT FOR CONFORMANCE TO SPECIFICATIONS, EITHER AT TIME OF DELIVERY ON-SITE OR AT THE GROWER'S NURSERY. APPROVAL OF PLANT MATERIALS AT ANY TIME SHALL NOT IMPAIR THE SUBSEQUENT RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.
2. PLANTS INSPECTED ON SITE AND REJECTED FOR NOT MEETING SPECIFICATIONS MUST BE REMOVED IMMEDIATELY FROM SITE OR RED-TAGGED AND REMOVED AS SOON AS POSSIBLE.
3. THE RESTORATION CONSULTANT MAY ELECT TO INSPECT PLANT MATERIALS AT THE PLACE OF GROWTH. AFTER INSPECTION AND ACCEPTANCE, THE RESTORATION CONSULTANT MAY REQUIRE THE INSPECTED PLANTS BE LABELED AND RESERVED FOR PROJECT. SUBSTITUTION OF THESE PLANTS WITH OTHER INDIVIDUALS, EVEN OF THE SAME SPECIES AND SIZE, IS UNACCEPTABLE.

MEASUREMENT OF PLANTS
1. PLANTS SHALL CONFORM TO SIZES SPECIFIED UNLESS SUBSTITUTIONS ARE MADE AS OUTLINED IN THIS CONTRACT.
2. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO MAIN BODY OF PLANT AND NOT BRANCH OR ROOT TIP TO TIP. PLANT DIMENSIONS SHALL BE MEASURED WHEN THEIR BRANCHES OR ROOTS ARE IN THEIR NORMAL POSITION.
3. WHERE A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND AT LEAST 50% OF THE PLANTS SHALL BE AS LARGE AS THE MEDIAN OF THE SIZE RANGE. (EXAMPLE: IF THE SIZE RANGE IS 12" TO 18", AT LEAST 50% OF PLANTS MUST BE 15" TALL.).

SUBMITTALS

PROPOSED PLANT SOURCES
1. WITHIN 45 DAYS AFTER AWARD OF THE CONTRACT, SUBMIT A COMPLETE LIST OF PLANT MATERIALS PROPOSED TO BE PROVIDED DEMONSTRATING CONFORMANCE WITH THE REQUIREMENTS SPECIFIED. INCLUDE THE NAMES AND ADDRESSES OF ALL GROWERS AND NURSERIES.

PRODUCT CERTIFICATES
1. PLANT MATERIALS LIST - SUBMIT DOCUMENTATION TO CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION THAT PLANT MATERIALS HAVE BEEN ORDERED. ARRANGE PROCEDURE FOR INSPECTION OF PLANT MATERIAL WITH CONSULTANT AT TIME OF SUBMISSION.
2. HAVE COPIES OF VENDOR'S OR GROWERS' INVOICES OR PACKING SLIPS FOR ALL PLANTS ON SITE DURING INSTALLATION. INVOICE OR PACKING SLIP SHOULD LIST SPECIES BY SCIENTIFIC NAME, QUANTITY, AND DATE DELIVERED (AND GENETIC ORIGIN IF THAT INFORMATION WAS PREVIOUSLY REQUESTED).

DELIVERY, HANDLING, & STORAGE

NOTIFICATION
CONTRACTOR MUST NOTIFY CONSULTANT 48 HOURS OR MORE IN ADVANCE OF DELIVERIES SO THAT CONSULTANT MAY ARRANGE FOR INSPECTION.

PLANT MATERIALS
1. TRANSPORTATION - DURING SHIPPING, PLANTS SHALL BE PACKED TO PROVIDE PROTECTION AGAINST CLIMATE EXTREMES, BREAKAGE AND DRYING. PROPER VENTILATION AND PREVENTION OF DAMAGE TO BARK, BRANCHES, AND ROOT SYSTEMS MUST BE ENSURED.
2. SCHEDULING AND STORAGE - PLANTS SHALL BE DELIVERED AS CLOSE TO PLANTING AS POSSIBLE. PLANTS IN STORAGE MUST BE PROTECTED AGAINST ANY CONDITION THAT IS DETRIMENTAL TO THEIR CONTINUED HEALTH AND VIGOR.
3. HANDLING - PLANT MATERIALS SHALL NOT BE HANDLED BY THE TRUNK, LIMBS, OR FOLIAGE BUT ONLY BY THE CONTAINER, BALL, BOX, OR OTHER PROTECTIVE STRUCTURE, EXCEPT BAREROOT PLANTS SHALL BE KEPT IN BUNDLES UNTIL PLANTING AND THEN HANDLED CAREFULLY BY THE TRUNK OR STEM.
4. LABELS - PLANTS SHALL HAVE DURABLE, LEGIBLE LABELS STATING CORRECT SCIENTIFIC NAME AND SIZE. TEN PERCENT OF CONTAINER GROWN PLANTS IN INDIVIDUAL POTS SHALL BE LABELED. PLANTS SUPPLIED IN FLATS, RACKS, BOXES, BAGS, OR BUNDLES SHALL HAVE ONE LABEL PER GROUP.

WARRANTY

PLANT WARRANTY
PLANTS MUST BE GUARANTEED TO BE TRUE TO SCIENTIFIC NAME AND SPECIFIED SIZE, AND TO BE HEALTHY AND CAPABLE OF VIGOROUS GROWTH.

REPLACEMENT
1. PLANTS NOT FOUND MEETING ALL OF THE REQUIRED CONDITIONS AT THE CONSULTANT'S DISCRETION MUST BE REMOVED FROM SITE AND REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
2. PLANTS NOT SURVIVING AFTER ONE YEAR TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.

PLANT MATERIAL

GENERAL
1. PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO OR MORE SEVERE THAN THOSE OF THE PROJECT SITE.
2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY OR SUBSPECIES. NO CULTIVARS OR NAMED VARIETIES SHALL BE USED UNLESS SPECIFIED AS SUCH.

QUANTITIES
SEE PLANT LIST ON ACCOMPANYING PLANS AND PLANT SCHEDULES.

ROOT TREATMENT
1. CONTAINER GROWN PLANTS (INCLUDES PLUGS): PLANT ROOT BALLS MUST HOLD TOGETHER WHEN THE PLANT IS REMOVED FROM THE POT, EXCEPT THAT A SMALL AMOUNT OF LOOSE SOIL MAY BE ON THE TOP OF THE ROOTBALL.
2. PLANTS MUST NOT BE ROOT-BOUND; THERE MUST BE NO CIRCLING ROOTS PRESENT IN ANY PLANT INSPECTED.
3. ROOTBALLS THAT HAVE CRACKED OR BROKEN WHEN REMOVED FROM THE CONTAINER SHALL BE REJECTED.

NOTES
1. SEE SHEET W 7 FOR PLANT PLANTING PLAN.
2. ALL PLANTS TO BE GROUPED BY SPECIES IN GROUPS OF 9-15 AND SPACED TRIANGULARLY.
3. ALL TREES TO BE PLACED A MINIMUM OF 9 FEET, SHRUBS A MINIMUM OF 5 FEET, AND GROUNDCOVERS A MINIMUM OF 18 INCHES FROM ALL IMPERVIOUS SURFACES.

TYPE A PLANT SCHEDULE - BUFFER AND STEEP SLOPE MITIGATION AND RESTORATION AREAS (136,450 SF)

BOTANICAL NAME / COMMON NAME	QTY.	SIZE	SPACING
TREES			
ACER MACROPHYLLUM / BIGLEAF MAPLE	85	1 GAL.	9' O.C.
ALNUS RUBRA / RED ALDER	85	1 GAL.	9' O.C.
CORNUS NUTTALLII / WESTERN FLOWERING DOGWOOD	85	1 GAL.	9' O.C.
PINUS MONTICOLA / WESTERN WHITE PINE	200	1 GAL.	9' O.C.
PRUNUS EMARGINATA / BITTER CHERRY	85	1 GAL.	9' O.C.
PSEUDOTSUGA MENZIESII / DOUGLAS-FIR	200	1 GAL.	9' O.C.
RHAMNUS PURSHIANA / CASCARA	85	1 GAL.	9' O.C.
SALIX SCOULERIANA / SCOULER'S WILLOW	85	1 GAL.	9' O.C.
THUJA PLICATA / WESTERN RED CEDAR	200	1 GAL.	9' O.C.
TSUGA HETEROPHYLLA / WESTERN HEMLOCK	200	1 GAL.	9' O.C.
TREE QUANTITY:	1,310		
SHRUBS			
ACER CIRCINATUM / VINE MAPLE	500	1 GAL.	5' O.C.
AMELANCHIER ALNIFOLIA / SERVICEBERRY	500	1 GAL.	5' O.C.
CORYLUS CORNUTA / BEAKED HAZELNUT	500	1 GAL.	5' O.C.
OEMLERIA CERASIFORMIS / OSO BERRY	500	1 GAL.	5' O.C.
RIBES SANGUINEUM / FLOWERING RED CURRANT	500	1 GAL.	5' O.C.
ROSA NUTKANA / NOOTKA ROSE	500	1 GAL.	5' O.C.
RUBUS PARVIFLORUS / THIMBLEBERRY	500	1 GAL.	5' O.C.
RUBUS SPECTABILIS / SALMONBERRY	500	1 GAL.	5' O.C.
SAMBUCUS RACEMOSA / RED ELDERBERRY	500	1 GAL.	5' O.C.
SYMPHORICARPOS ALBUS / SNOWBERRY	500	1 GAL.	5' O.C.
SHRUB QUANTITY:	5,000		
GROUNDCOVERS			
GAULTHERIA SHALLON / SALAL	3,700	1 GAL.	3' O.C.
MAHONIA NERVOSA / DULL OREGON GRAPE	3,700	1 GAL.	3' O.C.
POLYSTICHUM MUNITUM / WESTERN SWORDFERN	3,700	1 GAL.	3' O.C.
GROUNDCOVER QUANTITY:	11,100		
TOTAL PLANT QUANTITY:	17,410		

TYPE B PLANT SCHEDULE - WETLAND MITIGATION AREA (220 SF)

BOTANICAL NAME / COMMON NAME	QTY.	SIZE	SPACING
SHRUBS			
CORNUS SERICEA / RED-OSIER DOGWOOD	5	1 GAL.	5' O.C.
PHYSOCARPUS CAPITATUS / PACIFIC NINEBARK	5	1 GAL.	5' O.C.
SHRUB QUANTITY:	10		
GROUNDCOVERS			
CAREX OBNUPTA / SLOUGH SEDGE	15	1 GAL.	3' O.C.
GROUNDCOVER QUANTITY:	15		
TOTAL PLANT QUANTITY:	25		

PLANT SCHEDULES AND INSTALLATION SPECIFICATIONS

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THE WATERSHED COMPANY
750 Sixth Street South
Kirkland WA 98033
p 425.822.5242
www.watershedco.com
Science & Design

EASTGATE HOUSING CAMPUS
MITIGATION PLAN
INLAND GROUP
13620 SE EASTGATE WAY
PARCEL # 1024059101
BELLEVUE, WA 98005

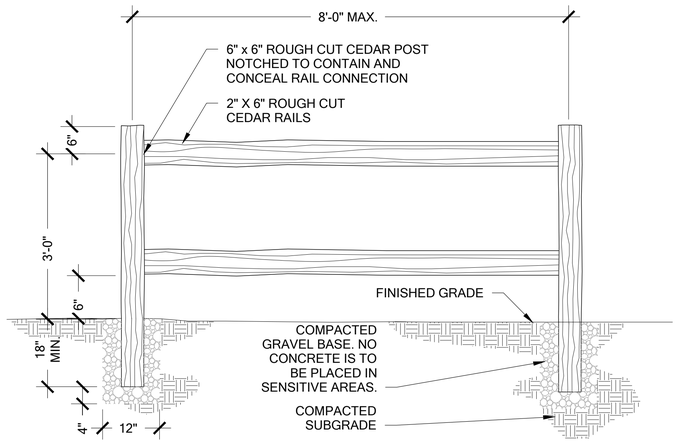
SUBMITTALS & REVISIONS

NO.	DATE	DESCRIPTION	BY
1	5-29-2020	CONCEPTUAL MITIGATION PLAN	RH
2	7-31-2020	PERMIT SET	RH
3	10-22-2020	REVISED PERMIT SET	RH
4	2-26-2021	REVISED PERMIT SET	

SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: JKB
DESIGNED: RH
DRAFTED: RH
CHECKED: LV, AP
JOB NUMBER:
190218
SHEET NUMBER:
W6 OF 8

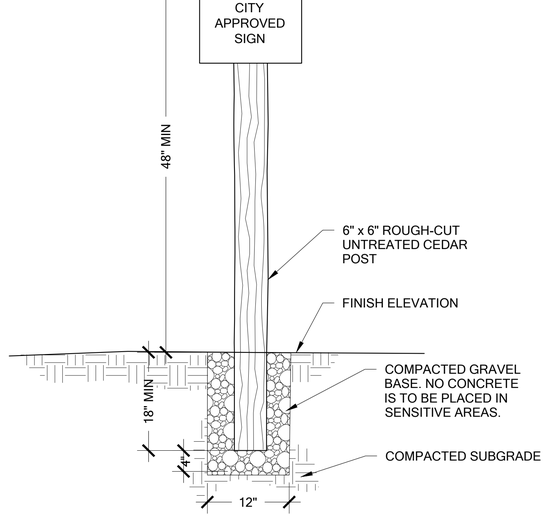
FILENAME
PRINTED BY
DATE



A SPLIT RAIL FENCE

Scale: NTS

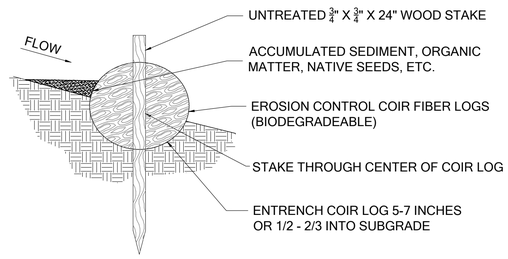
NOTE:
SIGN TO BE POST MOUNTED AS SHOWN, OR FENCE MOUNTED (NOT SHOWN).



B CRITICAL AREA SIGN ON POST

Scale: NTS

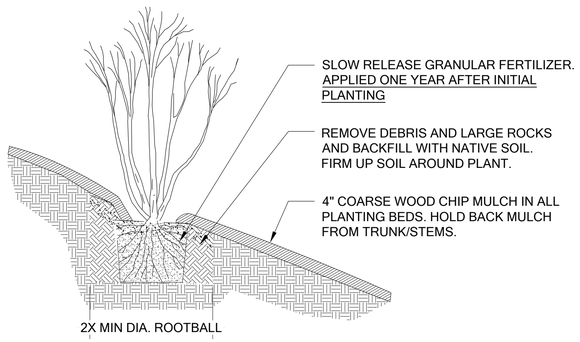
NOTE: INSTALL COIR LOGS PARALLEL TO SLOPE CONTOUR PER SURFACE WATER DESIGN MANUAL



C COIR LOG

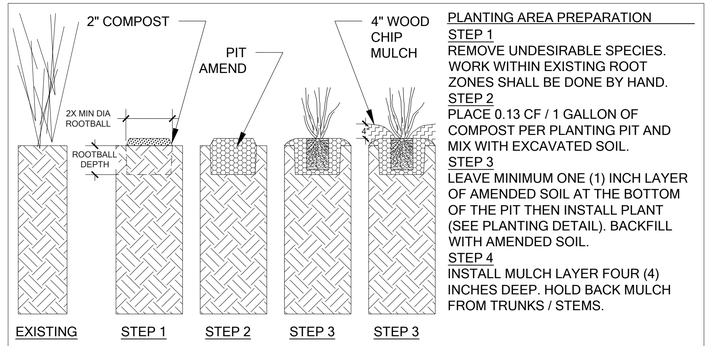
Scale: NTS

NOTES:
1. PLANTING PIT SHALL NOT BE LESS THAN (2) TIMES THE WIDTH OF THE ROOT BALL DIA.
2. LOOSEN SIDES AND BOTTOM OF PLANT PIT
3. REMOVE FROM POT & ROUGH-UP ROOT BALL BEFORE INSTALLING. IF PLANT IS EXCEPTIONALLY ROOT-BOUND OR CONTAINS CIRCLING ROOTS, DO NOT PLANT AND RETURN TO NURSERY FOR AN ACCEPTABLE ALTERNATIVE. IF B&B STOCK, REMOVE ALL TWINE/WIRE, & REMOVE BURLAP FROM TOP 1/3RD OF ROOTBALL PRIOR TO PLANTING (NOTE: CONTAINER STOCK PREFERRED)
4. SOAK PLANTING PIT AFTER PLANTING



D CONTAINER PLANTING

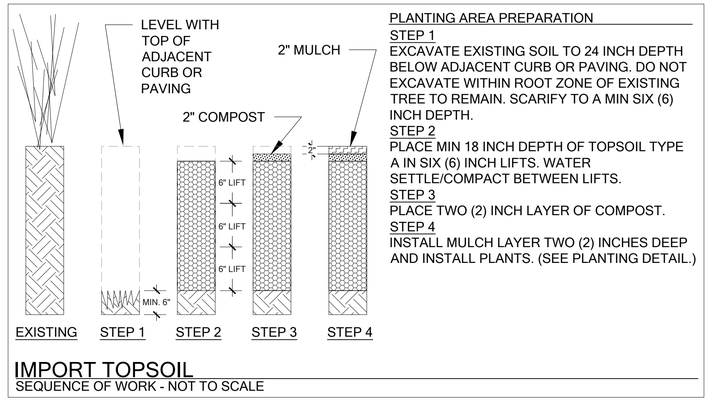
Scale: NTS



PIT AMEND EXISTING SOILS
SEQUENCE OF WORK - NOT TO SCALE

E SITE PREPARATION - TYPE 1

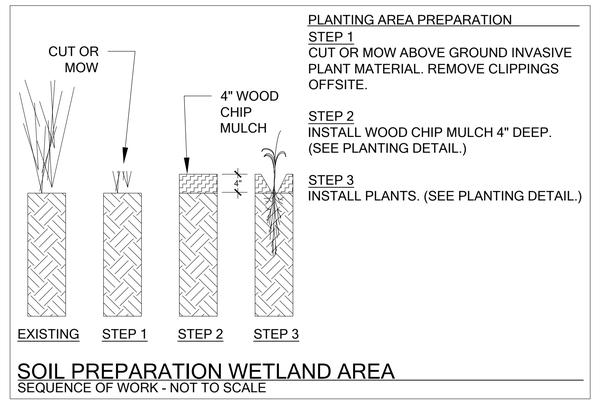
Scale: NTS



IMPORT TOPSOIL
SEQUENCE OF WORK - NOT TO SCALE

F SITE PREPARATION - TYPE 2

Scale: NTS



SOIL PREPARATION WETLAND AREA
SEQUENCE OF WORK - NOT TO SCALE

G SITE PREP TYPE C

Scale: NTS

MITIGATION AND SITE PREPARATION DETAILS

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CHECKED: LV, AP
JOB NUMBER: 190218
SHEET NUMBER: W7 OF 8

FILENAME
PRINTED BY
DATE

MITIGATION NOTES

MITIGATION PLAN

THIS PLAN HAS BEEN PREPARED AS MITIGATION FOR IMPACTS TO ON-SITE CRITICAL AREAS AND FULFILLS THE REQUIREMENTS OF LUC 20.25H.220(B). THE PLAN SEEKS TO ENHANCE A SUBSTANTIAL PORTION OF ON-SITE STREAM, WETLAND, AND STEEP SLOPE BUFFERS/SETBACKS AND STEEP SLOPE CRITICAL AREAS. A SMALL PORTION OF AN ON-SITE WETLAND WILL ALSO BE ENHANCED. MOST AREAS SUBJECT TO THE PROVISIONS OF THIS MITIGATION PLAN ARE DOMINATED BY NON-NATIVE UNDERSTORY PLANT SPECIES INCLUDING ENGLISH IVY AND HIMALAYAN BLACKBERRY. THE TREE CANOPY IS DOMINATED BY DECIDUOUS TREE SPECIES, INCLUDING BLACK COTTONWOOD, WITH CONIFER TREES MIXED IN. MITIGATION PLANTINGS ARE ALSO PROPOSED IN SOME AREAS WHICH ARE CURRENTLY UNVEGETATED.

TO OFFSET PERMANENT PROJECT IMPACTS AND RESTORE TEMPORARY IMPACTS, THE PLAN CALLS FOR RESTORATION OF 136,670 SQUARE FEET OF THE SITE THROUGH THE PLANTING OF NATIVE TREES, SHRUBS AND GROUNDCOVER. TREE SPECIES PROPOSED INCLUDE WESTERN RED CEDAR, BIGLEAF MAPLE, WESTERN WHITE PINE, BITTER CHERRY, DOUGLAS-FIR, RED ALDER, WESTERN FLOWERING DOGWOOD, CASCARA, SCOULER'S WILLOW, AND WESTERN HEMLOCK. SHRUBS INCLUDE VINE MAPLE, SERVICEBERRY, BEAKED HAZELNUT, OSOBERRY, FLOWERING RED CURRANT, NOOTKA ROSE, THIMBLEBERRY, SALMONBERRY, RED ELDERBERRY, AND SNOWBERRY. PROPOSED GROUNDCOVERS INCLUDE SALAL, DULL OREGON GRAPE, AND WESTERN SWORDFERN. PROPOSED WETLAND PLANTING SPECIES INCLUDE RED OSIER DOGWOOD, PACIFIC NINEBARK, AND SLOUGH SEDGE.

MAINTENANCE AND MONITORING PLAN

THE SITE SHALL BE MAINTAINED AND MONITORED FOR FIVE YEARS FOLLOWING SUCCESSFUL INSTALLATION. COMPONENTS OF THE 5-YEAR MAINTENANCE AND MONITORING PLAN ARE DETAILED BELOW.

GOALS

1. ESTABLISH DENSE NATIVE VEGETATION THAT IS APPROPRIATE TO THE ECO-REGION AND SITE.
2. LIMIT INVASIVE AND/OR NOXIOUS WEED COVER ON-SITE.
3. INCREASE HABITAT COVER AND REFUGE FOR URBAN WILDLIFE SPECIES. PROVIDE PERCHING, NESTING AND FORAGING HABITAT FOR NATIVE BIRDS.

PERFORMANCE STANDARDS

THE STANDARDS LISTED BELOW WILL BE USED TO JUDGE THE SUCCESS OF THE INSTALLATION OVER TIME. IF PERFORMANCE STANDARDS ARE MET AT THE END OF YEAR 5, THE SITE WILL THEN BE DEEMED SUCCESSFUL AND THE PERFORMANCE SECURITY BOND WILL BE ELIGIBLE FOR RELEASE BY THE CITY OF BELLEVUE.

1. SURVIVAL: THIS STANDARD CAN BE MET THROUGH PLANT ESTABLISHMENT OR THROUGH REPLANTING IN THE FOLLOWING DORMANT SEASON AS NECESSARY TO ACHIEVE THE REQUIRED NUMBERS.
   A. ACHIEVE 100% SURVIVAL OF ALL INSTALLED PLANTS BY THE END OF YEAR 1 (FROM DATE OF PLANT INSTALLATION).
   B. ACHIEVE 90% SURVIVAL OF ALL INSTALLED PLANTS BY THE END OF YEAR 2 (FROM DATE OF PLANT INSTALLATION).
   C. ACHIEVE 85% SURVIVAL OF ALL INSTALLED PLANTS BY THE END OF YEAR 3, 4, AND 5 (FROM DATE OF PLANT INSTALLATION).
2. NATIVE PLANT COVER:
   A. ACHIEVE 40% UNDERSTORY COVER OF NATIVE SAPLING TREES, SHRUBS AND GROUNDCOVER BY YEAR 2. RETAINED VEGETATION AND NATIVE VOLUNTEER SPECIES MAY COUNT TOWARDS THIS COVER STANDARD.
   B. ACHIEVE 60% UNDERSTORY COVER OF NATIVE SAPLING TREES, SHRUBS AND GROUNDCOVER BY YEAR 3. RETAINED VEGETATION AND NATIVE VOLUNTEER SPECIES MAY COUNT TOWARDS THIS COVER STANDARD.
   C. ACHIEVE 80% UNDERSTORY COVER OF NATIVE SAPLING TREES, SHRUBS AND GROUNDCOVER BY YEAR 5. RETAINED VEGETATION AND NATIVE VOLUNTEER SPECIES MAY COUNT TOWARDS THIS COVER STANDARD.
3. SPECIES DIVERSITY: ESTABLISH AT LEAST SEVEN NATIVE TREE, NINE NATIVE SHRUB, AND TWO NATIVE GROUNDCOVER SPECIES BY YEAR 3 AND MAINTAIN THIS DIVERSITY THROUGH YEAR 5. NATIVE VOLUNTEER SPECIES MAY COUNT TOWARDS THIS STANDARD.
4. INVASIVE COVER: AREAL COVER FOR ALL NON-NATIVE, INVASIVE AND NOXIOUS WEEDS WILL NOT EXCEED 10% AT ANY YEAR DURING THE MONITORING PERIOD. INVASIVE PLANTS INCLUDE BUT ARE NOT LIMITED TO HIMALAYAN BLACKBERRY (RUBUS ARMENIACUS), CUT LEAF BLACKBERRY (RUBUS LACINIATUS), KNOTWEEDS (POLYGONUM CUSPIDATUM AND OTHERS), REED CANARYGRASS (PHALARIS ARUNDINACEA), CHERRY LAUREL (PRUNUS LAUROCERASUS), ENGLISH HOLLY (ILEX AQUIFOLIUM), AND IVY SPECIES (HEDERA SPP.).

MONITORING METHODS

THIS MONITORING PROGRAM IS DESIGNED TO TRACK THE SUCCESS OF THE MITIGATION SITE OVER TIME AND TO MEASURE THE DEGREE TO WHICH THE SITE IS MEETING THE PERFORMANCE STANDARDS OUTLINED IN THE PRECEDING SECTION.

AN AS-BUILT PLAN WILL BE PREPARED BY THE RESTORATION PROFESSIONAL PRIOR TO THE BEGINNING OF THE MONITORING PERIOD. THE AS-BUILT PLAN WILL BE A MARK-UP OF THE PLANTING PLANS INCLUDED IN THIS PLAN SET. THE AS-BUILT PLAN WILL DOCUMENT ANY DEPARTURES IN PLANT PLACEMENT OR OTHER COMPONENTS FROM THE PROPOSED PLAN.

MONITORING WILL TAKE PLACE ONCE ANNUALLY IN THE FALL FOR FIVE YEARS. YEAR-1 MONITORING WILL COMMENCE IN THE FIRST FALL SUBSEQUENT TO INSTALLATION.

THE FORMAL MONITORING VISIT SHALL RECORD AND REPORT THE FOLLOWING IN AN ANNUAL REPORT SUBMITTED TO THE CITY OF BELLEVUE:

1. VISUAL ASSESSMENT OF THE OVERALL MITIGATION AREA.
2. YEAR-1 COUNTS OF LIVE AND DEAD PLANTS BY SPECIES. YEAR-2 THROUGH YEAR-5 COUNTS OF ESTABLISHED NATIVE TREES AND SHRUBS BY SPECIES, TO THE EXTENT FEASIBLE.
3. COUNTS OF DEAD PLANTS WHERE MORTALITY IS SIGNIFICANT IN ANY MONITORING YEAR.
4. ESTIMATE OF NATIVE COVER IN THE MITIGATION AREA.
5. ESTIMATE OF NON-NATIVE, INVASIVE WEED COVER IN THE MITIGATION AREA.
6. TABULATION OF ESTABLISHED NATIVE SPECIES, INCLUDING BOTH PLANTED AND VOLUNTEER SPECIES.
7. PHOTOGRAPHIC DOCUMENTATION FROM AT LEAST THREE FIXED REFERENCE POINTS.
8. ANY INTRUSIONS INTO OR CLEARING OF THE PLANTING AREAS, VANDALISM, OR OTHER ACTIONS THAT IMPAIR THE INTENDED FUNCTIONS OF THE MITIGATION AREA.
9. RECOMMENDATIONS FOR MAINTENANCE OR REPAIR OF ANY PORTION OF THE MITIGATION AREA.

MAINTENANCE

THE SITE WILL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING INSTRUCTIONS FOR AT LEAST FIVE YEARS FOLLOWING COMPLETION OF CONSTRUCTION:

1. FOLLOW THE RECOMMENDATIONS NOTED IN THE PREVIOUS MONITORING SITE VISIT.
2. GENERAL WEEDING FOR ALL PLANTED AREAS:
   A. AT LEAST TWICE YEARLY, REMOVE ALL COMPETING WEEDS AND WEED ROOTS FROM BENEATH EACH INSTALLED PLANT AND ANY DESIRABLE VOLUNTEER VEGETATION TO A DISTANCE OF 18 INCHES FROM THE MAIN PLANT STEM. WEEDING SHOULD OCCUR AT LEAST TWICE DURING THE SPRING AND SUMMER. FREQUENT WEEDING WILL RESULT IN LOWER MORTALITY, LOWER PLANT REPLACEMENT COSTS, AND INCREASED LIKELIHOOD THAT THE PLAN MEETS PERFORMANCE STANDARDS BY YEAR 5.
   B. MORE FREQUENT WEEDING MAY BE NECESSARY DEPENDING ON WEED CONDITIONS THAT DEVELOP AFTER PLAN INSTALLATION.
   C. DO NOT WEED THE AREA NEAR THE PLANT BASES WITH STRING TRIMMER (WEED WHACKER/WEED EATER). NATIVE PLANTS ARE EASILY DAMAGED OR KILLED, AND WEEDS EASILY RECOVER AFTER TRIMMING.
   D. SELECTIVE APPLICATIONS OF HERBICIDE MAY BE NEEDED TO CONTROL INVASIVE WEEDS, ESPECIALLY WHEN INTERMIXED WITH NATIVE SPECIES. HERBICIDE APPLICATION, WHEN NECESSARY, SHALL BE CONDUCTED ONLY BY A STATE-LICENSED APPLICATOR.
3. APPLY SLOW-RELEASE, GRANULAR FERTILIZER TO EACH INSTALLED PLANT ANNUALLY IN THE SPRING (BY JUNE 1) OF YEARS 2 THROUGH 5.
4. REPLACE MULCH AS NECESSARY TO MAINTAIN A 4-INCH-THICK LAYER, RETAIN SOIL MOISTURE, AND LIMIT WEEDS.
5. REPLACE EACH PLANT FOUND DEAD IN THE SUMMER MONITORING VISITS DURING THE UPCOMING DORMANT SEASON (OCTOBER 15 TO MARCH 1), FOR BEST SURVIVAL.
6. THE PROPERTY OWNER WILL ENSURE THAT WATER IS PROVIDED FOR THE ENTIRE PLANTED AREA WITH A MINIMUM OF 1 INCH OF WATER PER WEEK FROM JUNE 1 THROUGH SEPTEMBER 30 FOR THE FIRST TWO YEARS FOLLOWING INSTALLATION, THROUGH THE OPERATION OF A TEMPORARY IRRIGATION SYSTEM. LESS WATER IS NEEDED DURING MARCH, APRIL, MAY AND OCTOBER.

CONSTRUCTION NOTES AND SPECIFICATIONS

THE RESTORATION PROFESSIONAL WILL MONITOR:

1. ALL SITE PREPARATION.
   A. COIR LOG/STRAW WATTLE INSTALLATION.
   B. WEED REMOVAL.
   C. SOIL PREPARATION.
   D. MULCH PLACEMENT.
2. MITIGATION PLANTING ACTIVITES.
   A. PLANT MATERIAL DELIVERY INSPECTION.
   B. 100% PLANT INSTALLATION INSPECTION.

GENERAL WORK SEQUENCE

SITE PREPARATION

1. INSTALL COIR LOG OR STRAW WATTLE PER PLANS.
2. MANUALLY CLEAR INVASIVE AND ORNAMENTAL VEGETATION FROM MITIGATION AREA DURING SPRING AND/OR SUMMER MONTHS (I.E., AVOID CREATING EXPOSED SOIL CONDITIONS DURING THE WINTER STORM SEASON).
   A. REMOVE INVASIVE SPECIES (I.E., HIMALAYAN BLACKBERRY, ENGLISH IVY), IN ACCORDANCE WITH KING COUNTY NOXIOUS WEED BEST MANAGEMENT PRACTICES. FOR MORE INFORMATION: HTTPS://WWW.KINGCOUNTY.GOV/SERVICES/ENVIRONMENT/ANIMALS-AND-PLANTS/NOXIOUS-WEEDS.ASPX.
   B. CUT UNDESIRABLE VEGETATION. LEAVE ROOTS INTACT TO MINIMIZE POTENTIAL IMPACTS TO SLOPES ON ADJACENT PROPERTIES.
   C. FLUSH-CUT ORNAMENTAL WOODY VEGETATION (E.G. ENGLISH HOLLY, NON-NATIVE APPLE OR PLUM) THROUGHOUT MITIGATION AREA AND IMMEDIATELY TREAT STEM (DAUBING OR PAINTING) WITH APPROPRIATE HERBICIDE. PERSON APPLYING HERBICIDE SHALL BE STATE-LICENSED. DO NOT REMOVE SUBSURFACE ROOTS.
   D. AVOID AND MINIMIZE DISTURBANCE AND/OR COMPACTION TO ROOTS OF ESTABLISHED NATIVE TREES TO BE RETAINED WHEN REMOVING VEGETATION FROM WITHIN TREE DRIPLINES.
3. BLANKET-MULCH CLEARED AREAS WITH WOOD MULCH, FOUR INCHES THICK.
   A. ENSURE MULCH DOES NOT TOUCH STEMS OF EXISTING (OR INSTALLED) VEGETATION. SEE PLANTING DETAIL ON SHEET W5.

MITIGATION PLANTING AND IRRIGATION

1. INSTALL MITIGATION PLANTS DURING THE DORMANT SEASON (OCTOBER 15 - MARCH 1).
   A. PREPARE A PLANTING PIT FOR EACH PLANT THROUGH BLANKET WOOD MULCH AND INSTALL PER THE PLANTING DETAILS.
2. INSTALL A TEMPORARY, ABOVE GROUND IRRIGATION SYSTEM TO PROVIDE FULL COVERAGE TO ALL INSTALLED PLANTS WITHIN THE RESTORATION AREA.

MATERIAL SPECIFICATIONS AND DEFINITIONS

1. FERTILIZER (FOR NEAR AQUATIC ENVIRONMENTS): SLOW-RELEASE, PHOSPHOROUS-FREE GRANULAR FERTILIZER. LABEL MUST INDICATE THAT PRODUCT IS SAFE FOR AQUATIC ENVIRONMENTS. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR USE. KEEP FERTILIZER IN WEATHER-TIGHT CONTAINER WHILE ON-SITE. FERTILIZER IS ONLY TO BE APPLIED IN YEARS 2 AND 3, NOT IN YEAR ONE.
2. IRRIGATION SYSTEM: AUTOMATED SYSTEM CAPABLE OF DELIVERING AT LEAST ONE INCH OF WATER PER WEEK FROM JUNE 1 THROUGH SEPTEMBER 30 FOR THE FIRST TWO YEARS FOLLOWING INSTALLATION.
3. RESTORATION PROFESSIONAL: WATERSHED COMPANY [(425) 822-5242] PERSONNEL, OR OTHER PERSONS QUALIFIED TO EVALUATE ENVIRONMENTAL RESTORATION PROJECTS.
4. WOODCHIP MULCH: "ARBORIST CHIPS" (CHIPPED WOODY MATERIAL) APPROXIMATELY ONE TO THREE INCHES IN MAXIMUM DIMENSION (NOT SAWDUST). THIS MATERIAL IS COMMONLY AVAILABLE IN LARGE QUANTITIES FROM ARBORISTS OR TREE-PRUNING COMPANIES. MULCH SHALL NOT CONTAIN APPRECIABLE QUANTITIES OF GARBAGE, PLASTIC, METAL, SOIL, AND DIMENSIONAL LUMBER OR CONSTRUCTION/DEMOLITION DEBRIS.
5. TOPSOIL: TOPSOIL SHALL BE A 3-WAY MIXTURE OF APPROXIMATELY 33-50% COMPOST AND 50-65% SAND OR SANDY LOAM. ALL COMPONENTS SHALL BE FREE OF PHYTO-TOXIC MATERIALS AND VIABLE SEEDS, RHIZOMES, OR ROOTS OF STATE-LISTED NOXIOUS WEEDS.
6. COMPOST: COMPOST SHALL MEET WSDOT STANDARDS SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION, 9-14.4(8) FOR FINE COMPOST.

CONTINGENCIES

IF THERE IS A SIGNIFICANT PROBLEM WITH THE RESTORATION AREAS MEETING PERFORMANCE STANDARDS, A CONTINGENCY PLAN WILL BE DEVELOPED AND IMPLEMENTED. CONTINGENCY PLANS CAN INCLUDE, BUT ARE NOT LIMITED TO: SOIL AMENDMENT, ADDITIONAL PLANT INSTALLATION, AND PLANT SUBSTITUTIONS OF TYPE, SIZE, QUANTITY, AND LOCATION.

MITIGATION PLAN NOTES

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ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: JKB
DESIGNED: RH
DRAFTED: RH
CHECKED: LV, AP
JOB NUMBER:
190218
SHEET NUMBER:
W8 OF 8

FILENAME
PRINTED BY
DATE

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF BELLEVUE AND WSDOT STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL REMOVE EXISTING CHANNELIZATION IN CONFLICT WITH PROPOSED CHANNELIZATION, WITHIN PROJECT LIMITS, AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE PROJECT ENGINEER. EXISTING CHANNELIZATION OR SIGNAGE TO REMAIN THAT IS DAMAGED OR OTHERWISE ALTERED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED AS DIRECTED BY THE ENGINEER.
3. STATIONING FOR ALL SYMBOLS AND LETTERING IS MEASURED TO THE CENTER OF THE SYMBOL. ALL SYMBOLS AND LETTERING SHALL BE PERPENDICULAR TO THE ADJACENT LANE STRIPING AND CENTERED IN THE TRAVEL LANE, UNLESS OTHERWISE NOTED.

CONSTRUCTION NOTES

(1) INSTALL 6IN WHITE PAINTED EDGE LINE PER CITY OF BELLEVUE STANDARD PLAN CH-240-1.

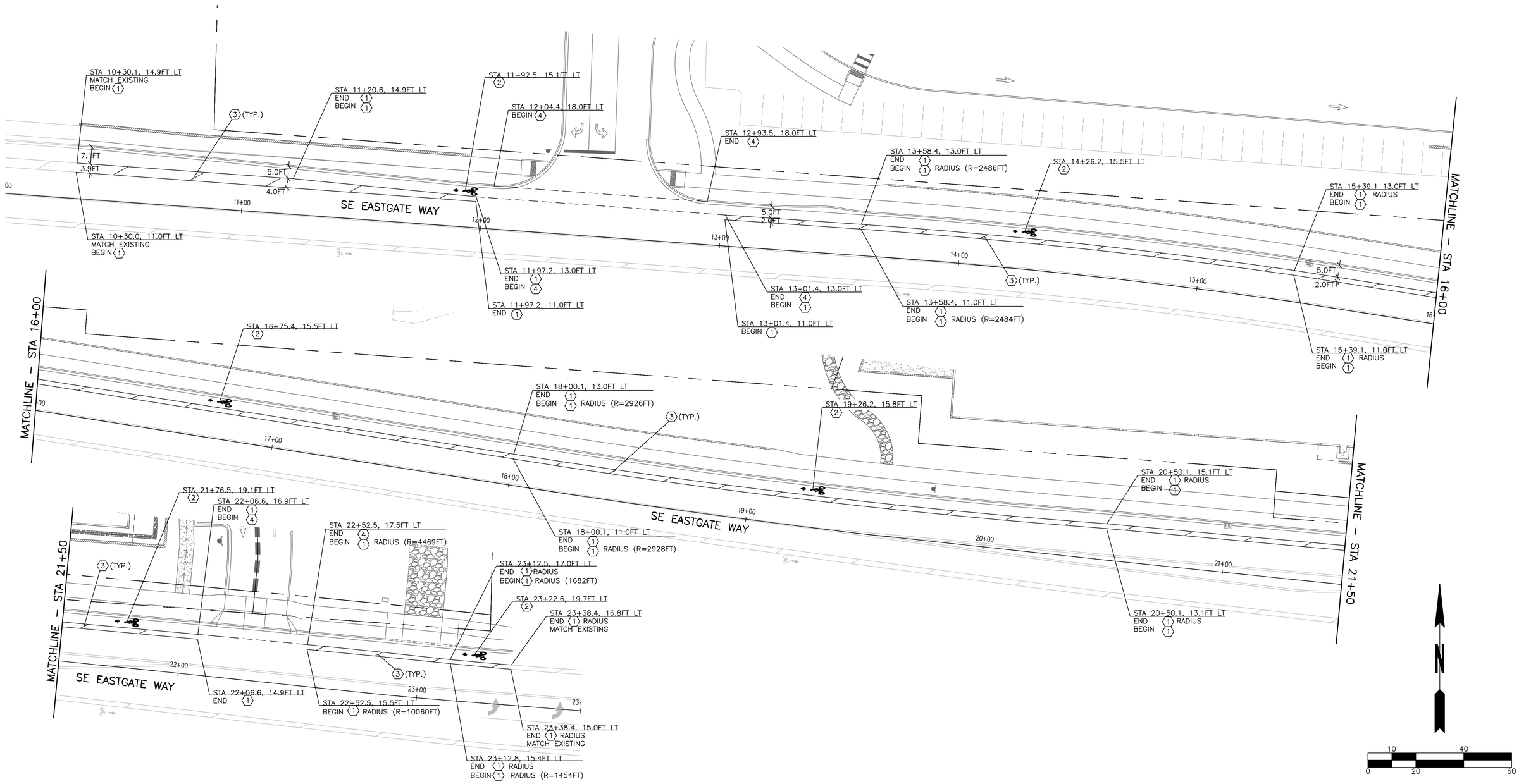
(2) INSTALL WHITE THERMOPLASTIC BICYCLE LANE SYMBOL PER CITY OF BELLEVUE STANDARD PLAN CH-270-1.

(3) INSTALL 6IN PLASTIC GORE STRIPE PER CITY OF BELLEVUE STANDARD PLAN CH-240-1.

(4) INSTALL 6IN WHITE PAINTED DASHED LINE (THROUGH INTERSECTION) PER CITY OF BELLEVUE STANDARD PLAN CH-110-1.

LEGEND

DESCRIPTION	EXISTING	PROPOSED
RIGHT-OF-WAY	———	— — —
CONSTRUCTION NOTE		(#)
CHANNELIZATION LINE	———	———



		DATE	REVISION	BY	DATE
DESIGNED BY	MHA	01/13/2021			
DRAWN BY	MHA	01/13/2021			
REVIEWED BY	BMK	01/13/2021			

transpogroup
WHAT TRANSPORTATION CAN BE.
12131 113TH AVENUE NE, SUITE 203
KIRKLAND, WASHINGTON 98034
(TEL) 425 821-3665
(FAX) 425 825-8434

BRYCE M. KITNER — STATE OF WASHINGTON — 54283 — REGISTERED PROFESSIONAL ENGINEER — 01/13/21

POLARIS
AT EASTGATE
BELLEVUE, WA

JANUARY 2021

CHANNELIZATION PLAN

CH.1

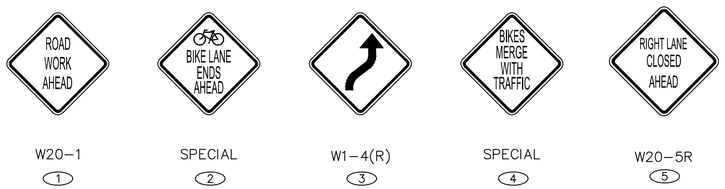
SHEET 7 OF 8 SHEETS

\\prv-dfs-we\Projects\19\18316.00 - Eastgate Residential\Engineering\CAD\Sheets\Channelization Plan.dwg<Ch1> Jared La 1/13/2021 10:10 AM

TEMPORARY TRAFFIC CONTROL GENERAL NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PART 6, WSDOT STANDARD SPECIFICATIONS, CITY OF BELLEVUE STANDARDS AND THE CONTRACT, UNLESS OTHERWISE NOTED. A COPY OF THESE DOCUMENTS SHALL BE ON SITE DURING CONSTRUCTION.
2. A COPY OF THE APPROVED PLAN(S) SHALL BE ON SITE DURING CONSTRUCTION.
3. ALL PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT OF WAY MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
4. NOTIFY THE FOLLOWING AGENCIES A MINIMUM OF 10 CALENDAR DAYS IN ADVANCE OF ANY ROAD CLOSURES OR DETOURS:
   - CITY OF BELLEVUE PUBLIC WORKS – (425) 452–6856
   - BELLEVUE FIRE DEPARTMENT – (425) 452–6892
   - BELLEVUE POLICE DEPARTMENT – (425) 452–6917
5. MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES, UNLESS OTHER NOTED IN THESE PLANS OR APPROVED BY THE ENGINEER.
6. THE LOCATION OF EXISTING FEATURES AND UTILITIES SHOWN WITHIN THESE PLANS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CLASS A SIGNING WORK. NOT ALL EXISTING FEATURES AND UTILITIES MAY BE SHOWN.
7. ALL WORK SHALL BE CONSISTENT WITH UTILITY AGENCY REQUIREMENTS. THE CONTRACTOR SHALL CONTACT UTILITY AGENCIES 48 HOURS PRIOR TO COMMENCING WORK AND SHALL COORDINATE WITH ALL AFFECTED UTILITY AGENCIES THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY AGENCY IMMEDIATELY UPON DAMAGE AND SHALL BE RESPONSIBLE FOR REPLACING DAMAGED EQUIPMENT TO THE SATISFACTION OF THE AFFECTED UTILITY AGENCY.
8. FLAGGING STATIONS SHALL BE ILLUMINATED DURING HOURS OF DARKNESS AS APPROVED BY THE ENGINEER. FLAGGERS SHOULD BE VISIBLE AND DISCERNABLE AS A FLAGGER FROM A MINIMUM DISTANCE OF 1,000'.
9. MAINTAIN EXISTING LANE WIDTHS AT ALL TIMES UNLESS OTHERWISE NOTED. DEVICES SHALL BE OFFSET FROM LANE/EDGE LINES BY A MINIMUM OF 2'. THE TRAFFIC CONTROL SUPERVISOR MAY FIELD–ADJUST DEVICES UP TO THE LANE/EDGE LINE IF NEEDED, BUT DEVICES SHALL NOT ENCROACH INTO THE OPEN LANE. WHERE EXISTING LANE WIDTHS CANNOT FEASIBLY BE MAINTAINED, LANE WIDTHS SHALL BE 10FT MINIMUM AT ALL TIMES, UNLESS OTHERWISE NOTED IN THESE PLANS.
10. TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE CRASHWORTHY AND COMPLY WITH MUTCD PART 6.
11. CHANNELIZATION DEVICES USING DURING HOURS OF DARKNESS SHALL HAVE RETROREFLECTIVE BANDS.
12. EXISTING SIGNAGE IN CONFLICT WITH TEMPORARY TRAFFIC CONTROL SIGNAGE SHALL BE REMOVED OR SECURELY COVERED BY A METHOD APPROVED BY THE ENGINEER.
13. TEMPORARY TRAFFIC CONTROL SIGNS IN PLACE AT ONE LOCATION CONTINUOUSLY FOR LONGER THAN THREE DAYS SHALL BE CLASS A.
14. CLASS A CONSTRUCTION SIGNING SHALL BE INSTALLED AS SHOWN IN THESE PLANS AND PER WSDOT STANDARD PLANS K–80.10 AND G–22.10.
15. THE CONTRACTOR SHALL FIELD STAKE AND VERIFY FINAL LOCATIONS OF PROPOSED CLASS A SIGNS WITH THE ENGINEER PRIOR TO INSTALLATION.
16. SIGNS SHALL BE BLACK LEGEND ON ORANGE BACKGROUND, UNLESS OTHERWISE NOTED IN THESE PLANS.
17. DIAMOND SHAPED WARNING SIGNS SHALL BE 36"X36", UNLESS OTHERWISE NOTED IN THESE PLANS.
18. TYPE 3 BARRICADES SHALL BE INSTALLED PER WSDOT STANDARD PLAN K–80.20.

SIGN LEGEND:



W20–1 (1) | SPECIAL (2) | W1–4(R) (3) | SPECIAL (4) | W20–5R (5)

W20–4 (6) | W20–7A (7) | W1–4(L) (8) | SPECIAL (R) 12.75" X 10.5" (9) | W1–6(R) (10)

SIGN SPACING = X (1)		
RURAL HIGHWAYS	60 / 65 MPH	800' ±
RURAL ROADS	45 / 55 MPH	500' ±
RURAL ROADS & URBAN ARTERIALS	35 / 40 MPH	350' ±
RURAL ROADS, URBAN ARTERIALS, RESIDENTIAL & BUSINESS DISTRICTS	25 / 30 MPH	200' ±
URBAN STREETS	25 MPH OR LESS	100' ±

BUFFER DATA										
LONGITUDINAL BUFFER SPACE = B										
SPEED (MPH)	25	30	35	40	45	50	55	60	65	70
LENGTH (FT)	155	200	250	305	360	425	495	570	645	730

TRANSPORTABLE ATTENUATOR ROLL AHEAD DISTANCE = R					
HOST VEHICLE WEIGHT 9,900 TO 22,000 LBS			HOST VEHICLE WEIGHT > 22,000 LBS		
< 45 MPH	45–55 MPH	> 55 MPH	< 45 MPH	45–55 MPH	> 55 MPH
100'	123'	172'	74'	100'	150'

PROTECTIVE VEHICLE (WORK VEHICLE) = R
NO SPECIFIED DISTANCE REQUIRED

MINIMUM LANE CLOSURE TAPER LENGTH = L (FT)										
LANE WIDTH (FT)	POSTED SPEED (MPH)									
	20	30	35	40	45	50	55	60	65	70
10	105	150	205	270	450	500	550	–	–	–
11	115	165	225	295	495	550	605	660	–	–
12	125	180	245	320	540	600	660	720	780	840

MINIMUM SHOULDER TAPER LENGTH = L/3 (FT)										
SHOULDER WIDTH (FT)	POSTED SPEED (MPH)									
	25	30	35	40	45	50	55	60	65	70
8	40	40	60	90	120	130	150	160	170	190
10	40	60	90	90	150	170	190	200	220	240
USE A MINIMUM 3 DEVICES TAPER FOR SHOULDER LESS THAN 8'.										

CHANNELIZATION DEVICE SPACING (FT)		
MPH	TAPER	TANGENT
50 / 65	40	80
35 / 45	30	60
25 / 30	20	40

LEGEND:

- TEMPORARY SIGN ON CRASHWORTHY SUPPORT
- CHANNELIZING DEVICE
- FLAGGER
- TYPE III BARRICADE
- TRAFFIC DIRECTION
- SIGN NOTE
- WORK AREA
- PROPERTY LINE (APPROXIMATE)
- PROTECTIVE VEHICLE

INDEX OF DRAWINGS		
SHEET NO.	SHEET LABEL	DESCRIPTION
1	TC.1	COVER SHEET
2–3	TC.2–TC.3	TRAFFIC CONTROL PLAN – EASTGATE WAY
4–5	TC.4–TC.5	TRAFFIC CONTROL PLAN – 32ND ST

CONTRACTOR INFORMATION:

NAME: INLAND WASHINGTON LLC
ADDRESS: 120 W. CATALDO SUITE 100 SPOKANE WA 99201
PHONE NUMBER: 206–353–7974
24–HOUR PROJECT CONTACT: YAN DENSMORE

P.T.O.E. CERTIFICATION NUMBER: 4370

		DATE	REVISION	BY	DATE
DESIGNED BY	RDM	01/08/2021			
DRAWN BY	RDM	01/08/2021			
REVIEWED BY	BMK	01/08/2021			

transpogroup
WHAT TRANSPORTATION CAN BE.
12131 113TH AVENUE NE, SUITE 203
KIRKLAND, WASHINGTON 98034
(TEL) 425 821-3665
(FAX) 425 825-8434

JENNIFER LAITOONEN BAKER — STATE OF WASHINGTON — 51440 — REGISTERED PROFESSIONAL ENGINEER
01/08/2021

POLARIS
AT EASTGATE
BELLEVUE, WA

BELLEVUE, WA JANUARY 2021

TRAFFIC CONTROL NOTES

TC.1

SHEET 1 OF 5 SHEETS

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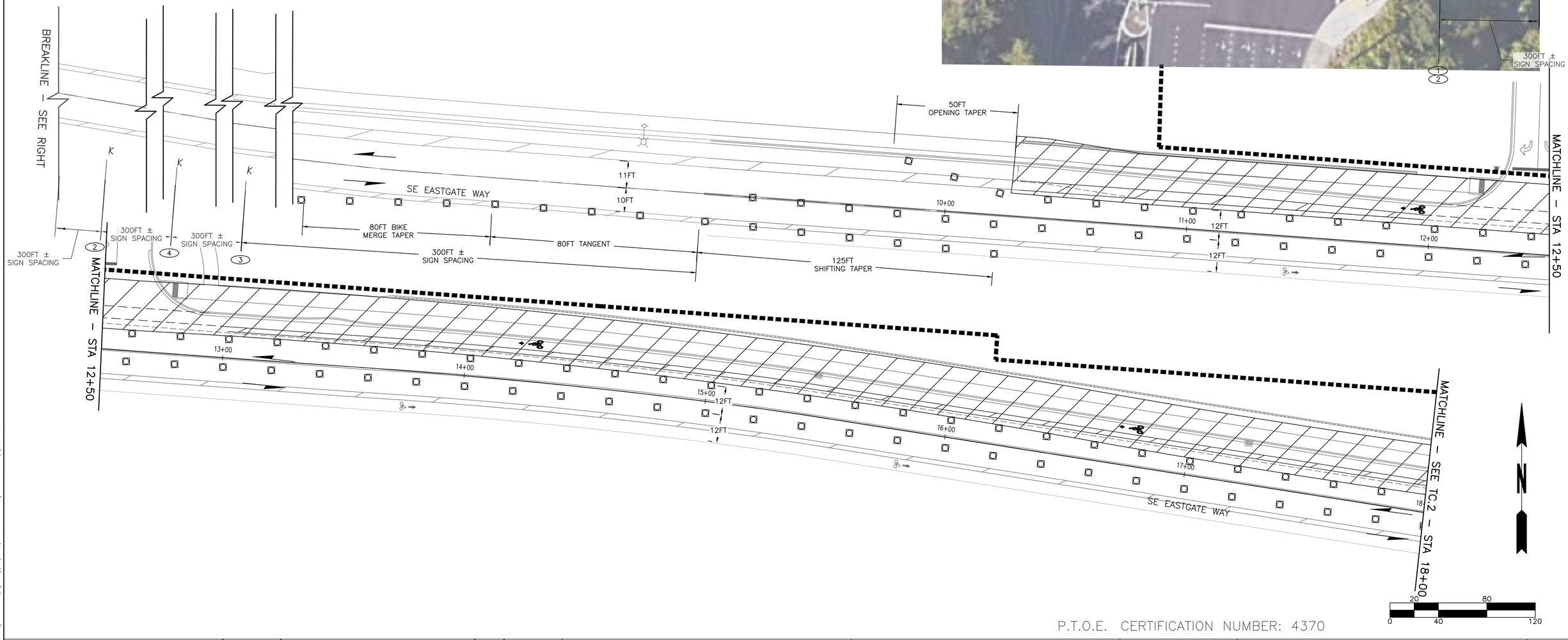
SIGN LEGEND:

W20-1	SPECIAL	W1-4(R)	SPECIAL
(1)	(2)	(3)	(4)



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JENNIFER ZAITOON KRAMER
51440
STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER
01/08/2021

POLARIS
AT EASTGATE
BELLEVUE, WA

BELLEVUE, WA JANUARY 2021

TRAFFIC CONTROL PLAN – EASTGATE WAY

TC.2

SHEET 2 OF 5 SHEETS

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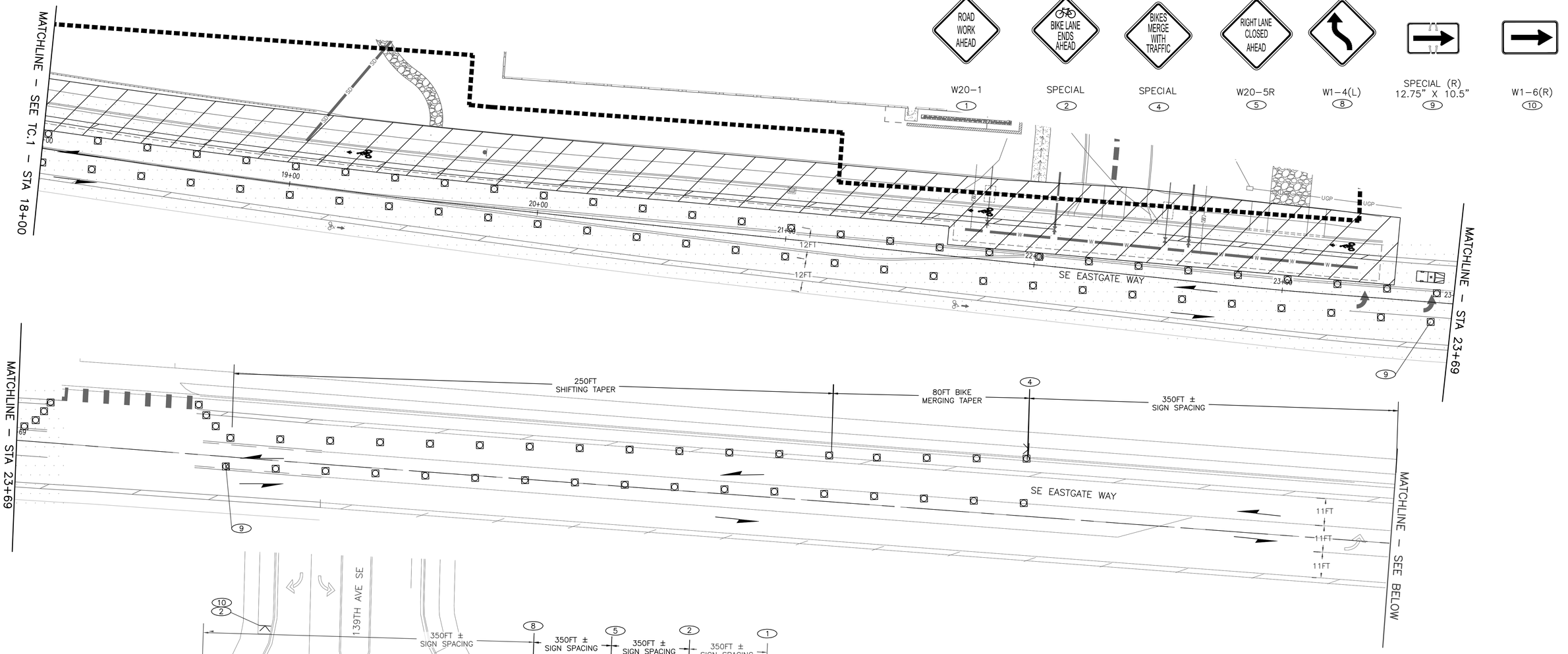
NOTES:

1. SEE TC.1 FOR NOTES, LEGENDS, AND CONTRACTOR INFORMATION.

SIGN LEGEND:

W20-1 (1) | SPECIAL (2) | SPECIAL (4) | W20-5R (5) | W1-4(L) (8) | SPECIAL (R) 12.75" X 10.5" (9) | W1-6(R) (10)



P.T.O.E. CERTIFICATION NUMBER: 4370

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DRAWN BY	RDM	01/08/2021			
REVIEWED BY	BMK	01/08/2021			

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JENNIFER ZAITOON KRAMER — STATE OF WASHINGTON — 51440 — REGISTERED PROFESSIONAL ENGINEER
01/08/2021

POLARIS
AT EASTGATE
BELLEVUE, WA

BELLEVUE, WA — JANUARY 2021

TRAFFIC CONTROL PLAN – EASTGATE WAY

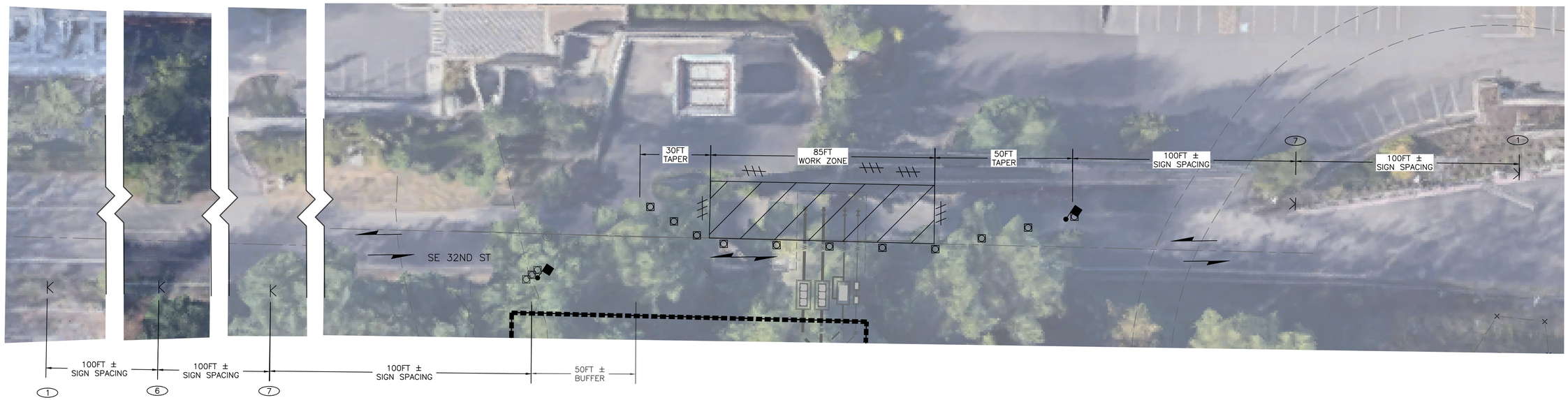
TC.3

SHEET 3 OF 5 SHEETS

\\srv-dfs-wa\Projects\19\1.19316.00 - Eastgate Residential\Engineering\CAD\Sheets\Traffic Control Plans.dwg<TCP-2>,Daniel Lo 1/8/2021 5:02 PM

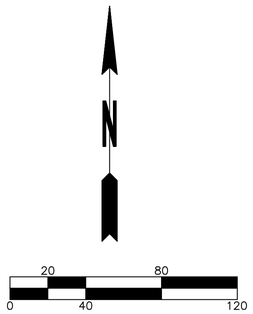
NOTES:

1. SEE TC.1 FOR NOTES, LEGENDS, AND CONTRACTOR INFORMATION.
2. CONTRACTOR SHALL ASSIST LARGE VEHICLES THROUGH THE WORK AREA AS NEEDED.



SIGN LEGEND:

W20–1 (1) | W20–4 (6) | W20–7A (7)



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DRAWN BY	RDM	01/08/2021			
REVIEWED BY	BMK	01/08/2021			

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JENNIFER LAITOONEN BAKER — STATE OF WASHINGTON — 51440 — REGISTERED PROFESSIONAL ENGINEER
01/08/2021

POLARIS
AT EASTGATE
BELLEVUE, WA

BELLEVUE, WA — JANUARY 2021

TRAFFIC CONTROL PLAN – SE 32ND ST

TC.4

SHEET 4 OF 5 SHEETS

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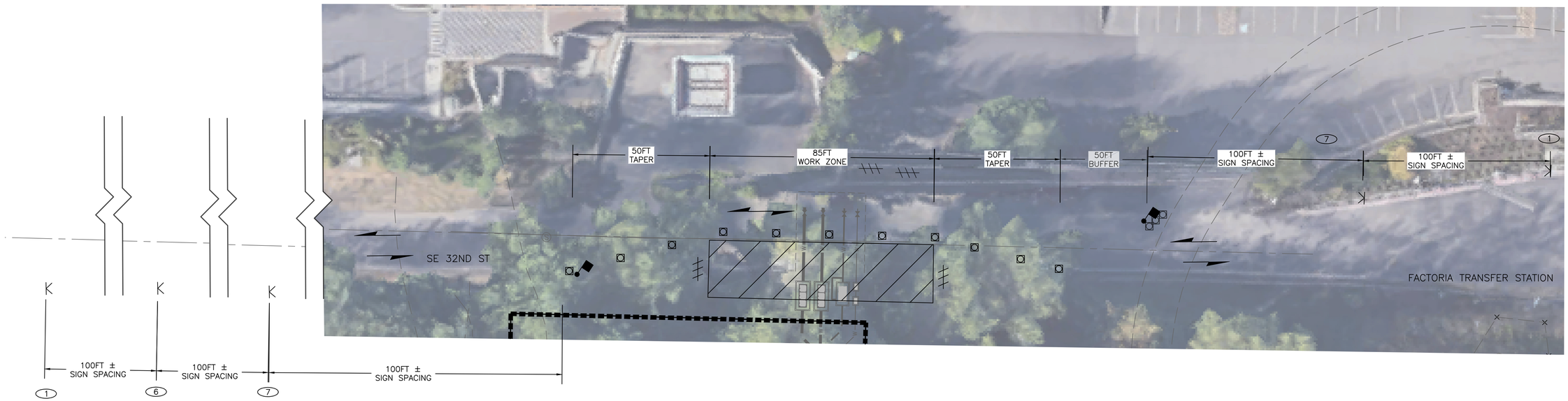
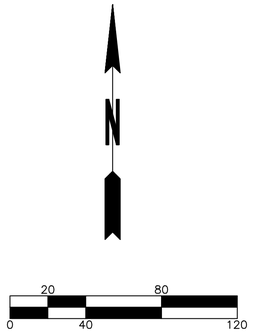
NOTES:

1. SEE TC.1 FOR NOTES, LEGENDS, AND CONTRACTOR INFORMATION.
2. CONTRACTOR SHALL ASSIST LARGE VEHICLES THROUGH THE WORK AREA AS NEEDED.





SIGN LEGEND:

W20–1 (1) | W20–4 (6) | W20–7A (7)

P.T.O.E. CERTIFICATION NUMBER: 4370

		DATE	REVISION	BY	DATE
DESIGNED BY	RDM	01/08/2021			
DRAWN BY	RDM	01/08/2021			
REVIEWED BY	BMK	01/08/2021			

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JENNIFER TAITOONO BAKER — STATE OF WASHINGTON — 51440 — REGISTERED PROFESSIONAL ENGINEER
01/08/2021

POLARIS
AT EASTGATE
BELLEVUE, WA

BELLEVUE, WA — JANUARY 2021

TRAFFIC CONTROL PLAN – SE 32ND ST

TC.5

SHEET 5 OF 5 SHEETS

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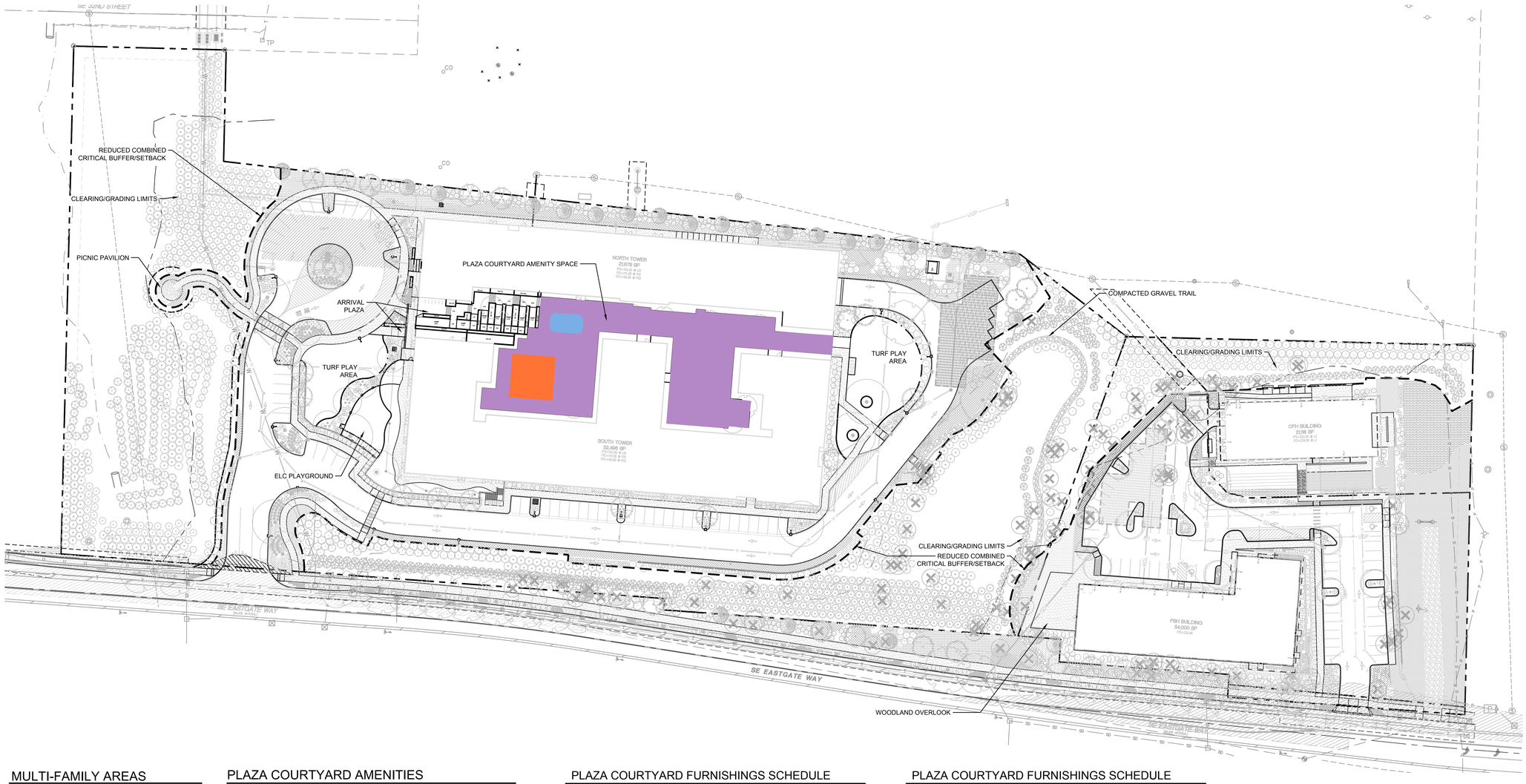


MULTI-FAMILY AREAS

DESCRIPTION	AREA (SF)
POLARIS	
IN-BUILDING:	
FITNESS ROOM:	1,162
MOVIE ROOM:	872
GAME / MULTIPURPOSE ROOM:	583
INTERNET CAFE	506
POLARIS	
SITE:	
MULTI-FAMILY PLAY TURF AND/OR SOFT SURFACE AREAS	11,158
PAVILION	-
ARRIVAL PLAZA	3,500
• PLAZA COURTYARD AREA, INCLD.	*15,493
• BBQ AREA	
• SMALL GATHERINGS	
• LARGE GATHERINGS	
• TABLE TENNIS	
• OUTDOOR MOVIE THEATER	
• TWO COVERED SEATING AREAS	
• PLAY AREA	
	30,151

*1547 SOFT SURFACE PLAY AREA SUBTRACTED FROM PLAZA COURTYARD AREA, SF INCLUDED IN MULTI-FAMILY TURF/SOFT SURFACE AREAS

GRAVEL TRAIL 1,200 LINEAL FEET

PLAZA COURTYARD AMENITIES

SYMBOL	NOTES
	POTENTIAL RECREATIONAL AMENITIES PATIO DINING TABLE AND CHAIRS HAMMOCKS LANDSCAPE PLANTER WOOD AND STEEL BENCH OUTDOOR SOFAS LANDSCAPE PLANTERS TRASH RECEPTACLES PING PONG TABLES CORNHOLE SEE PLAZA COURTYARD FURNISHING SCHEDULE
	OUTDOOR KITCHEN OUTDOOR GRILLS AND COUNTERTOPS UNDER COVERED AREA. DESIGN TBD WITH BUILDING PERMIT.
	ENTERTAINMENT OUTDOOR MOVIE THEATER
	CIRCULATION

PLAZA COURTYARD FURNISHINGS SCHEDULE

PATIO DINING TABLE AND CHAIRS
'AMBER COLLECTION' BY BABMAR (OR APPROVED SUBSTITUTE)
BABMAR.COM, 877.271.8008
COLOR: TBD

PING-PONG TABLE
'CONCRETE AND STEEL PING-PONG TABLE' BY DOTY AND SONS CONCRETE PRODUCTS (OR APPROVED SUBSTITUTE)
DOTYCONCRETE.COM, 800.233.3907
FRAME COLOR: TBD

LANDSCAPE PLANTER
96" L x 96" W x 24" H
'FUSE PLANTING SYSTEM' BY ORE DESIGNS, INC. (OR APPROVED SUBSTITUTE) ORE.DESIGN, 801.936.0499
COLOR: TBD

WOOD AND STEEL BENCH
96" L x 24" W x 18" H (8 UNITS), 72" L x 24" W x 18" H (1 UNIT)
'PIXEL COLLECTION' BY MAGLIN (OR APPROVED SUBSTITUTE)
MAGLIN.COM, 800.716.5506
COLOR: TBD

OUTDOOR SOFA
'AMBER COLLECTION' BY BABMAR (OR APPROVED SUBSTITUTE)
BABMAR.COM, 877.271.8008
COLORS: TBD

PLAZA COURTYARD FURNISHINGS SCHEDULE

FIRE PIT
82" L x 23" W x 18.5" H
'COMET OF FIRE' BY FLAME CREATION (OR APPROVED SUBSTITUTE)
FLAMECREATION.COM, 770.963.7999

LANDSCAPE PLANTER
60" L x 20" W x 24" H
'HIGH RECTANGLE' BY ORE DESIGNS, INC. (OR APPROVED SUBSTITUTE)
ORE.DESIGN, 801.936.0499
COLOR: TBD

CONCRETE BAG TOSS GAME
'B.Y.O. BAGS TOSS GAME / CORNHOLE' BY DOTY AND SONS CONCRETE PRODUCTS (OR APPROVED SUBSTITUTE) DOTYCONCRETE.COM, 800.233.3907

SIDE TABLE
'AMBER COLLECTION' BY BABMAR (OR APPROVED SUBSTITUTE)
BABMAR.COM, 877.271.8008
COLOR: TBD

T TRASH RECEPTACLE
'LEXICON COLLECTION' W/ RAIN SHIELD BY MAGLIN (OR APPROVED SUBSTITUTE)
MAGLIN.COM, 800.716.5506
COLOR: TBD

N

GRAPHIC SCALE
0 20 40 80 FEET
1" = 40 FEET

NOTES

1. SEE ELECTRICAL PLANS FOR SITE LIGHTING.

02/25/2021

AHBL SPOKANE
827 West First Avenue, Suite 220 Spokane, WA 99201-5018
509.232.3019 TEL

#	DESCRIPTION	DATE

OLSON PROJECTS
32707 N GRAND, STE C SPOKANE, WA 99205

EASTGATE HOUSING CAMPUS

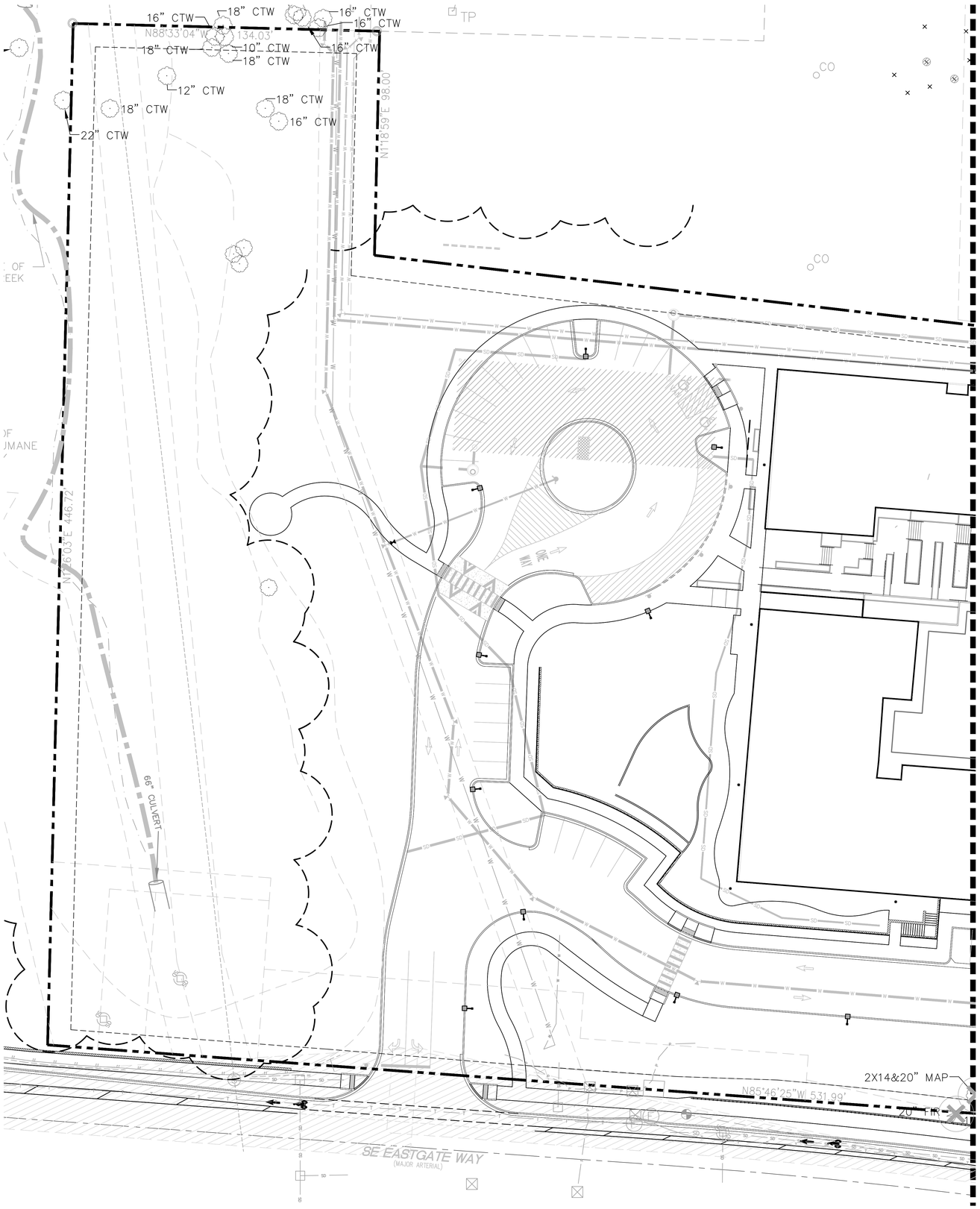
SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

SITE AMENITY PLAN

L100



SYMBOL LEGEND

SYMBOL	DESCRIPTION
PLANTING	
	TREE TO BE PROTECTED
	APPROXIMATE LIMITS OF DRIPLINE, OBTAINED FROM AERIAL IMAGERY. FIELD VERIFY
	TREE TO BE REMOVED

Landscaping	LUC Requirement	Provided
Perimeter Buffers		
North	10	13'
South	10	40'
East	10	32'
West	10	70'
Parking Lot Landscaping	4,340 sf (35 sq. ft. per stall)	5,841 sf
Tree Preservation Interior	15% minimum of existing diameter tree inches = 89 diameter inches (See *WFC arborist report pg. 8)	177.5 diameter inches proposed for retention, 30% remaining (See *WFC arborist report pg. 8)
Tree Preservation Perimeter	100% = 84 diameter inches (see *WFC Arborist Report pg.7, Table 5)	100%= 84 diameter inches

**Washington Forest Consultants, Inc.*

TREE PRESERVATION PLAN

DESIGNATION OF TREES ON THE TREE PRESERVATION PLAN ESTABLISHES A COVENANT BY THE OWNER TO LEAVE UNDISTURBED ALL TREES AS SHOWN ON THE TREE PRESERVATION PLAN. THIS COVENANT SHALL RUN WITH THE LAND AND SHALL BE BINDING UPON ALL FUTURE OWNERS. NO TREE TOPPING, TREE CUTTING OR TREE REMOVAL SHALL OCCUR UNLESS REQUIRED OR APPROVED BY THE CITY. EXCEPT FOR ORDINARY LANDSCAPE MAINTENANCE, NO CONSTRUCTION, CLEARING OR LAND ALTERATION ACTIVITIES SHALL OCCUR WITHIN THE DRIP-LINE OF TREES SHOWN ON THE TREE PRESERVATION PLAN, UNLESS REQUIRED OR APPROVED BY THE CITY. ACTIVITIES IN VIOLATION OF THIS COVENANT ARE SUBJECT TO PENALTY, INCLUDING WITHOUT LIMITATION, FINES AND MITIGATION REQUIREMENTS. THE CITY OF BELLEVUE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENFORCE THE REQUIREMENTS, TERMS AND CONDITIONS OF THIS COVENANT BY AN METHOD AVAILABLE UNDER LAW. IT IS THE OBLIGATION OF THE OWNER TO COMPLY WITH THE TERMS OF THE TREE PRESERVATION PLAN AND HIS COVENANT.

GRAPHIC SCALE

0 10 20 40 FEET

1" = 20 FEET

AHBL SPOKANE
807 West First Avenue, Suite 201 Spokane, WA 99201-1018
509.252.5019 TEL

#	DESCRIPTION	DATE
c		
b		
a		

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

EASTGATE HOUSING CAMPUS

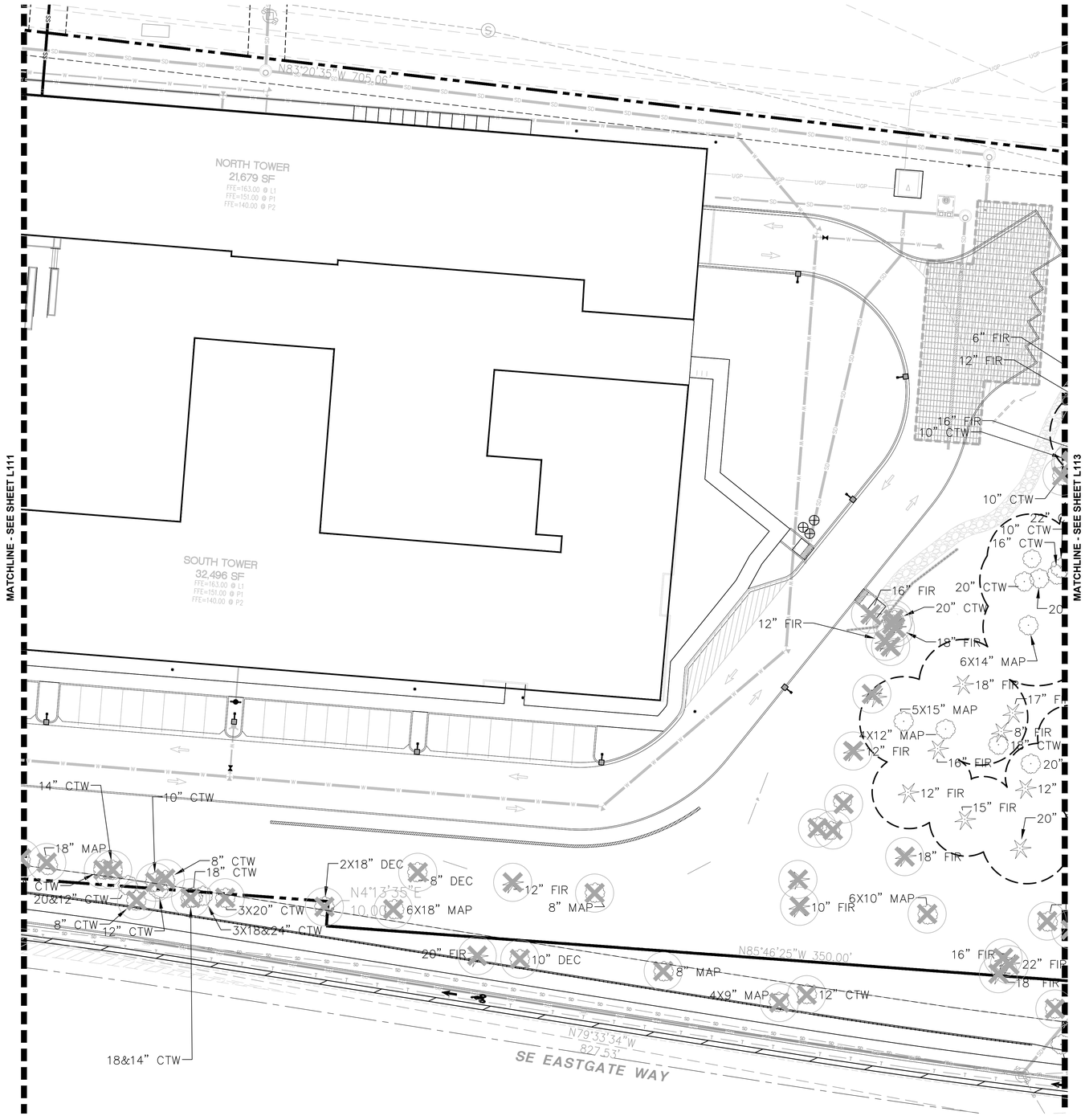
SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

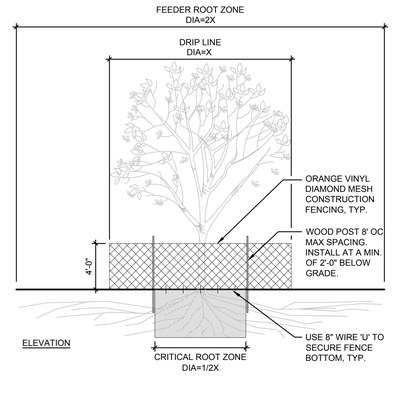
SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

TREE REMOVAL AND PROTECTION PLAN

L111





FENCING/ROOT PROTECTION

1. FENCING TO BE PROVIDED AND MAINTAINED AT CANOPY DRIP LINE.
2. TREE PROTECTION FENCE SHOULD BE MAINTAINED THROUGHOUT GRADING AND CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL FINAL ACCEPTANCE.
3. ALL BRUSH CLEANUP WITHIN DRIP LINE SHOULD BE COMPLETED BY HAND TO PREVENT DISTURBANCE OF NATIVE GROUND COVERS.
4. NO WIRES, CABLES, OR OTHER DEVICES SHALL BE ATTACHED TO PROTECTED TREES DURING CONSTRUCTION.
5. CONTRACTOR SHALL REFER TO PLANS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

TRENCHING/EXCAVATION

CRITICAL ROOT ZONE

1. NO DISTURBANCE ALLOWED WITHOUT SITE-SPECIFIC INSPECTION AND APPROVAL OF METHODS TO MINIMIZE ROOT DAMAGE.

DRIP LINE

1. LANDSCAPE ARCHITECT'S APPROVAL REQUIRED FOR USE/ACCESS WITHIN DRIP LINE.
2. NO SOIL DISTURBANCE OR ACTIVITY ALLOWED WITHIN FENCED AREAS, SUCH AS MATERIAL STORAGE/STOCKPILING, PARKING, EXCAVATION, DUMPING OR WASHING.
3. ANY TRENCHING SUBJECT TO FIELD INSPECTION AND APPROVAL BY LANDSCAPE ARCHITECT.

FEEDER ROOT ZONE

1. OPERATION OF HEAVY EQUIPMENT AND/OR STOCKPILING OF MATERIALS SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL.
2. MINIMIZE TRENCH WIDTH WHEN USING HEAVY EQUIPMENT. SURFACE PROTECTION* MEASURES MAY BE REQUIRED.
3. LIMIT ANY DISTURBANCE TO MAXIMUM 1/3 OF FEEDER ROOT ZONE.
4. IF ROOTS GREATER THAN 2 INCH FOUND OUTSIDE OF FENCING, PROTECT BY HAND EXCAVATION AND, IF NECESSARY, CUT CLEANLY AND KEEP MOIST.
5. USE 3 INCHES OR DEEPER WOOD CHIP MULCH OUTSIDE FENCED AREAS TO PROTECT FEEDER ROOTS.

*SURFACE PROTECTION MEASURES
6-8" MULCH LAYER, 3/4"PLYWOOD, OR STEEL PLATES

1 TREE PROTECTION DETAIL

3/16" = 1'-0" DETAIL-FILE

GRAPHIC SCALE
0 10 20 40 FEET
1" = 20 FEET

01/08/2021

AHBL
STAMP
807 West First Avenue, Suite 220 Spokane, WA 99201-5018
509.252.5010 TEL

#	DESCRIPTION	DATE
c		
b		
a		

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

EASTGATE HOUSING CAMPUS

SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

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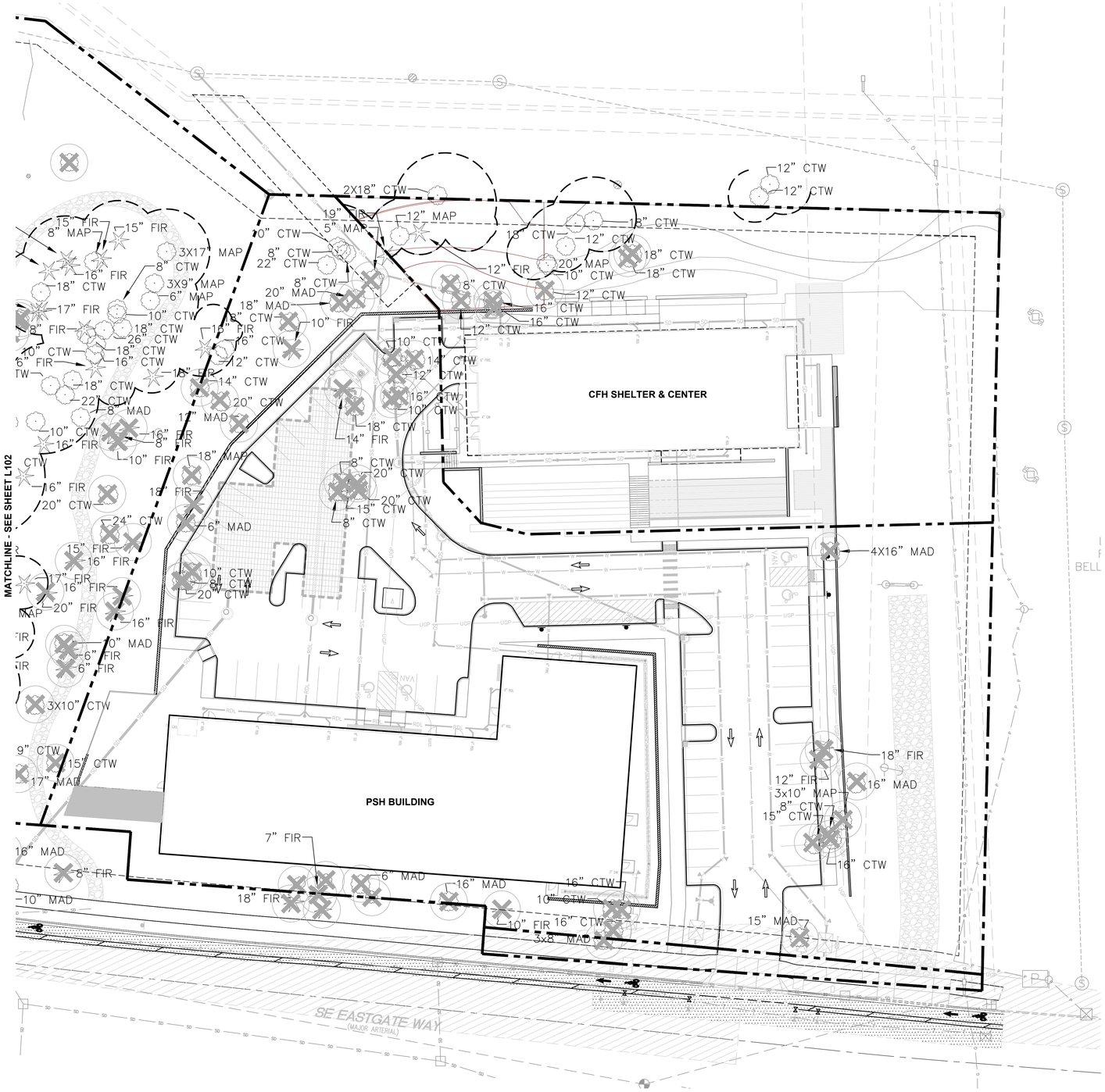
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

TREE REMOVAL AND PROTECTION PLAN

L112



GRAPHIC SCALE

0 10 20 40 FEET

1" = 20 FEET

02/25/2021

AHBL SPOKANE
807 West First Avenue, Suite 220 Spokane, WA 99201-0918
509.232.8016 TEL

#	DESCRIPTION	DATE
c		
b		
a		

OLSON PROJECTS
3707 N GRAND, STE C SPOKANE, WA 99205

EASTGATE HOUSING CAMPUS

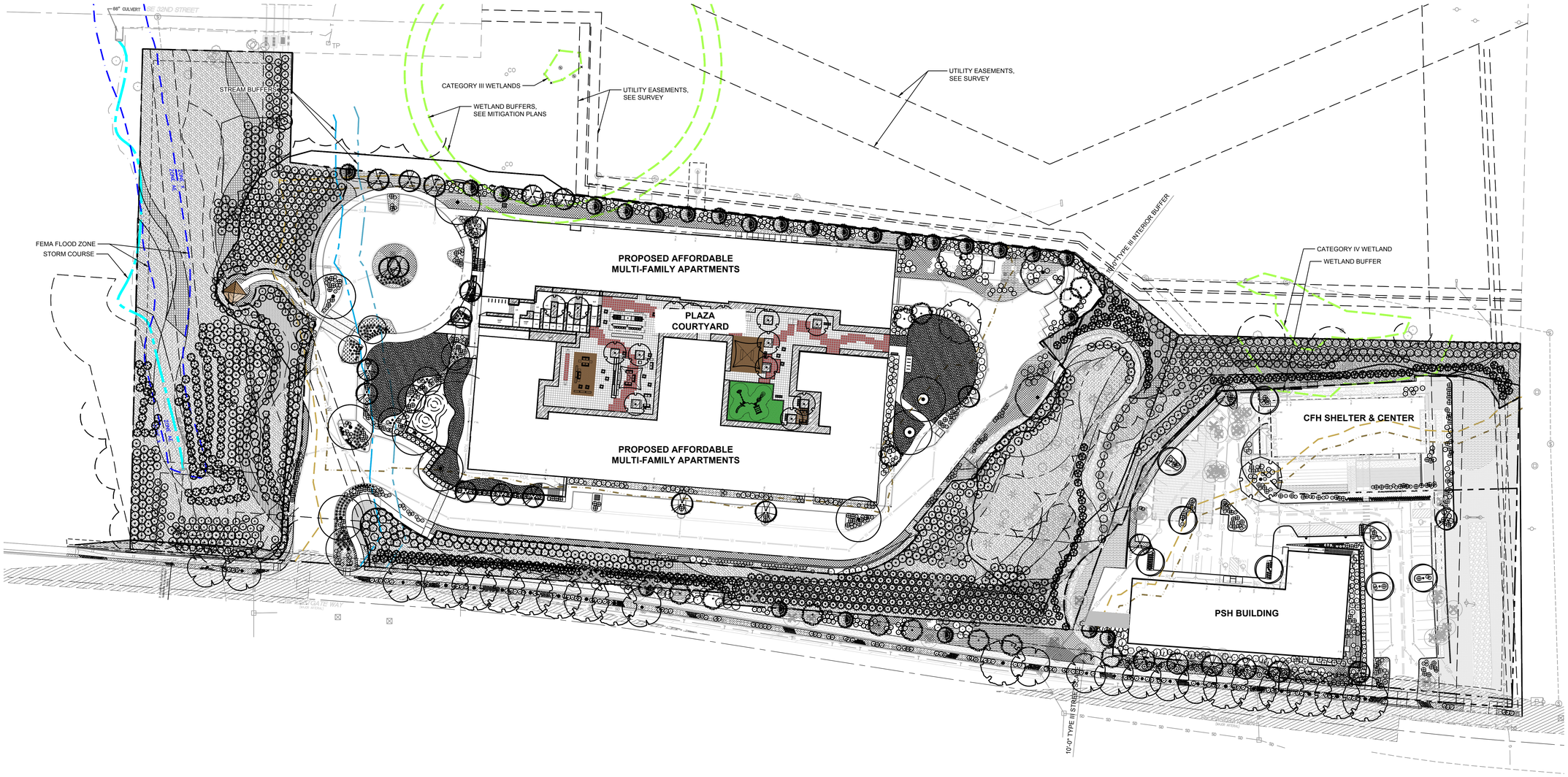
SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

TREE REMOVAL AND PROTECTION PLAN

L113



EVERGREEN SUSTAINABLE DEVELOPMENT STANDARD

50% OR MORE OF THIS LANDSCAPE PLAN INCORPORATES NATIVE AND/OR ADAPTIVE PLANT SPECIES.

GRAPHIC SCALE

0 20 40 80 FEET

1" = 40 FEET

02/26/2021

AHBL SPOKANE
827 West First Avenue, Suite 210 Spokane, WA 99201-0918
509.252.5019 TEL

#	DESCRIPTION	DATE

OLSON PROJECTS
3707 B GRAND, STE C SPOKANE, WA 99205

EASTGATE HOUSING CAMPUS

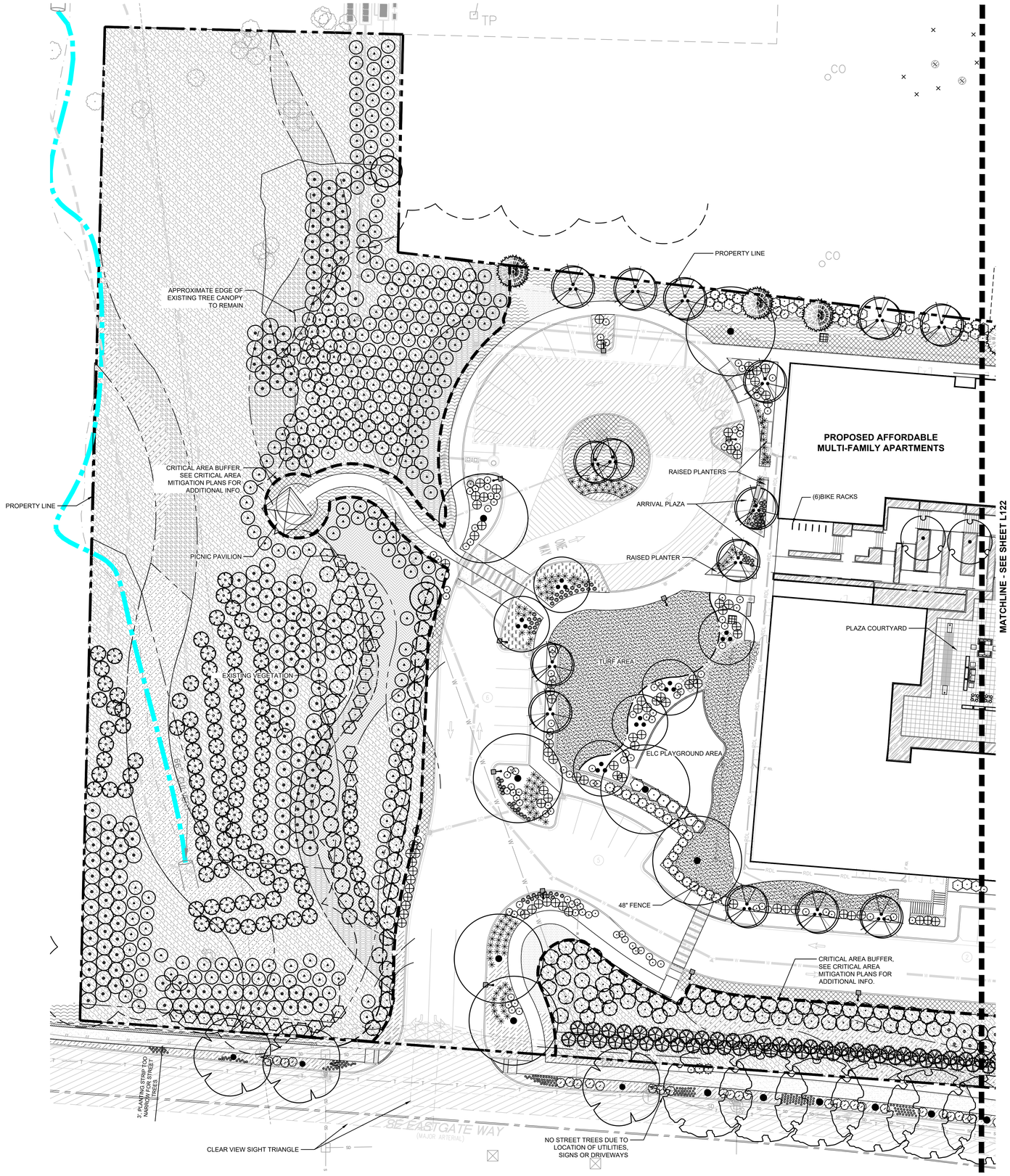
SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

PLANITNG PLAN - OVERALL

L120



GRAPHIC SCALE

0 10 20 40 FEET

1" = 20 FEET

AHBL SPOKANE
827 West First Avenue, Suite 210 Spokane, WA 99201-0918
509.252.5019 TEL

#	DESCRIPTION	DATE

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

EASTGATE HOUSING CAMPUS

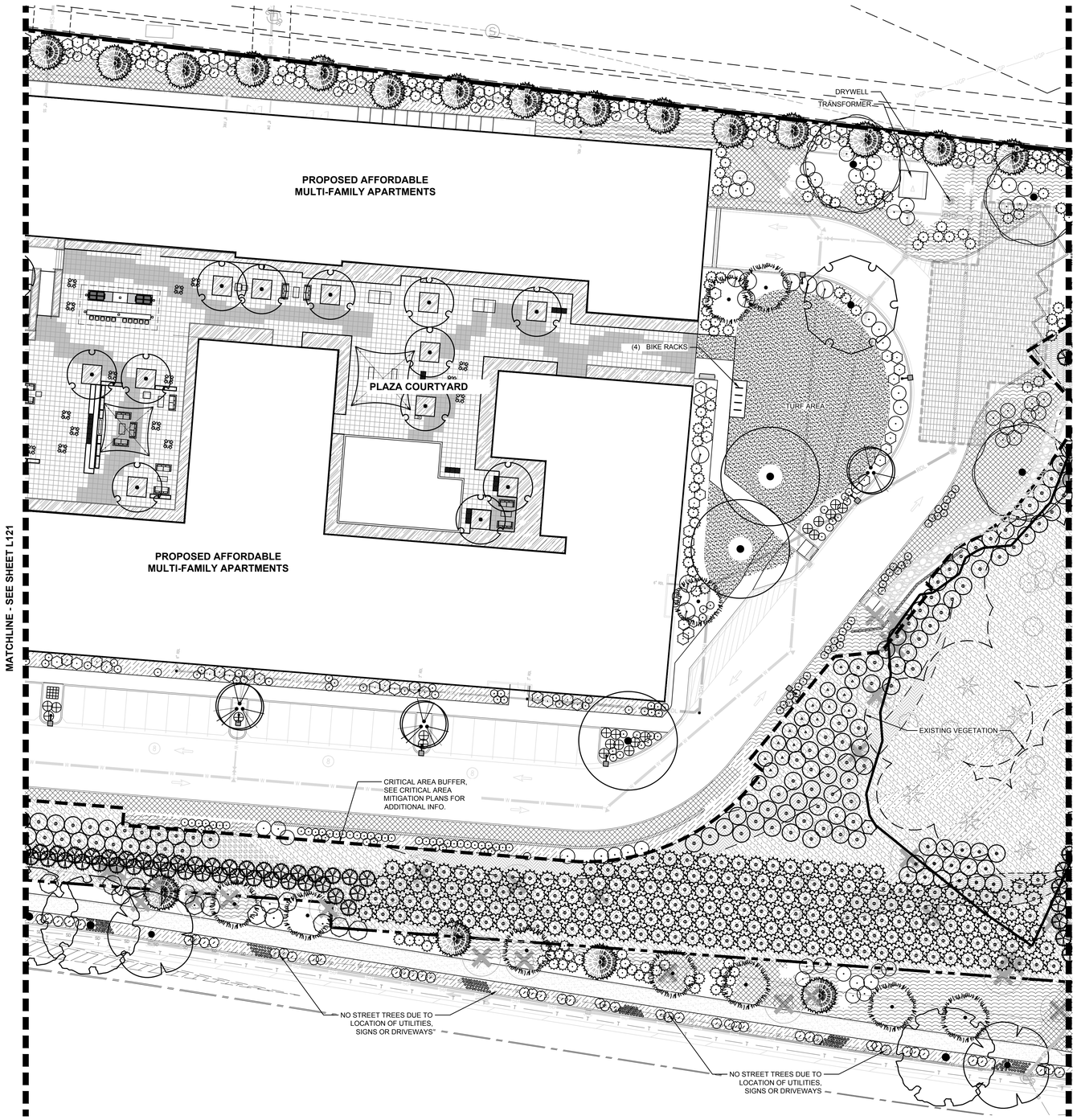
SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

ENLARGEMENT

L121



GRAPHIC SCALE

0 10 20 40 FEET

1" = 20 FEET

LANDSCAPE DATA TABLE

THE FOLLOWING TABLE IS PROVIDED FOR LANDSCAPE CALCULATIONS INDICATED IN THE CITY OF BELLEVUE LAND USE CODE 20.20.520.

ZONING: OFFICE, LIMITED BUSINESS - 2 (OLB-2)
OVERLAY DISTRICT: RICHARDS VALLEY SUBAREA

ADJACENT ZONING:
NORTH - LIGHT INDUSTRIAL
SOUTH - N/A
EAST - OFFICE, LIMITED BUSINESS
WEST - LIGHT INDUSTRIAL

SURFACE PARKING AREA LANDSCAPING

REQUIRED LANDSCAPE TYPE = V

POLARIS:
PARKING STALLS = 50
REQ'D PARKING LSCP AREA = 875 SF
LANDSCAPE PROVIDED = 2,630 SF
REQUIRED TREES @ 1 PER ISLAND = 9
PROVIDED TREES = 9

PSH:
PARKING STALLS = 35
REQ'D PARKING LSCP AREA = 613 SF
LANDSCAPE PROVIDED = 751 SF
REQUIRED TREES @ 1 PER ISLAND = 6
PROVIDED TREES = 6

CFM:
PARKING STALLS = 29
REQ'D PARKING LSCP AREA = 508 SF
LANDSCAPE PROVIDED =1,830 SF
REQUIRED TREES @ 1 PER ISLAND = 6
PROVIDED TREES = 6

MULTI-FAMILY PLAY AREA (POLARIS ONLY)
AREA REQUIRED: 10,000 SF
TOTAL AREA PROVIDED: 10,057 SF
(TURF/SOFT SURFACE AREAS): 11,158 SF

GENERAL LANDSCAPE NOTES

1. PLANTING SHALL CONFORM TO ALL CITY OF BELLEVUE CODE REQUIREMENTS.
2. CONTRACTOR SHALL VERIFY ON-SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR READING THE PLANS AND NOTES.
4. CONTRACTOR SHALL VERIFY ALL PLANT MATERIAL QUANTITIES PRIOR TO INSTALLATION. ANY PLANT MATERIAL QUANTITIES LISTED ARE FOR THE CONVENIENCE OF THE CONTRACTOR. ACTUAL NUMBER OF SYMBOLS SHALL HAVE PRIORITY OVER QUANTITY DESIGNATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COUNTING THE TOTAL NUMBER OF PLANTS INDICATED ON THE PLANS AND ESTIMATING GROUNDCOVER QUANTITIES.
5. CONTRACTOR SHALL FURNISH AND PAY FOR ALL CONTAINER OR FIELD GROWN TREES, SHRUBS AND GROUNDCOVERS, INCLUDING SEEDED AND SODDED TURF, HYDRO-MULCHES AND FLATTED GROUNDCOVERS. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE AND PAY FOR: PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS; THE STAKING AND GUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE.
6. ALL PLANTING AREAS SHALL BE STRIPPED AND CLEARED OF ALL EXISTING ROOTS, WEEDS, ROCKS AND DEBRIS OR CONTAMINATED SOIL.
7. ALL PLANTING AREAS TO RECEIVE 3" OF MULCH, EXCEPT FOR PLANTERS AND GREEN ROOF PLANTING AREAS.
8. ALL PLANTING CONTAINERS TO HAVE A MINIMUM SOIL DEPTH OF 24 INCHES.
9. INSTALL AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IN ALL NEW AND RENOVATED LANDSCAPE AREAS.

AHBL
SPOKANE
827 West First Avenue, Suite 210 Spokane, WA 99201-5018
509.232.0010 TEL

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

#	DESCRIPTION	DATE

EASTGATE HOUSING CAMPUS

SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

PLANTING PLAN- ENLARGEMENT

L122

02/25/2021

AHBL SPOKANE
827 West First Avenue, Suite 237 Spokane, WA 99201-0918
509.252.5019 TEL

#	DESCRIPTION	DATE

OLSON PROJECTS
3707 D GRAND, STE C SPOKANE, WA 99205

EASTGATE HOUSING CAMPUS

SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

PLANTING PLAN- ENLARGEMENT

L123

MDP PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	AC	27	ACER CIRCINATUM	VINE MAPLE	8` HT MULTI-TRUNK	
	AM2	115	ACER MACROPHYLLUM	BIG LEAF MAPLE	1 GAL	MITIGATION
	AM	3	ACER MACROPHYLLUM	BIG LEAF MAPLE	1.5" CAL	
	AA2	8	ACER RUBRUM `ARMSTRONG`	ARMSTRONG RED MAPLE	3" CAL	
	AR2	115	ALNUS RUBRA	RED ALDER	1 GAL	MITIGATION
	BN	6	BETULA NIGRA `HERITAGE`	HERITAGE RIVER BIRCH	B&B	
	CB	16	CARPINUS BETULUS	EUROPEAN HORNBEAM	3" CAL	
	CF2	14	CARPINUS BETULUS `FASTIGIATA`	PYRAMIDAL EUROPEAN HORNBEAN	3" CAL	
	CN	115	CORNUS NUTTALLII	PACIFIC DOGWOOD	1 GAL	MITIGATION
	CI	11	CRATAEGUS CRUS-GALLI `INERMIS`	THORNLESS COCKSPUR HAWTHORN	3" CAL	
	P3	200	PINUS MONTICOLA	WESTERN WHITE PINE	1 GAL	MITIGATION
	PE	115	PRUNUS EMARGINATA	BITTER CHERRY	1 GAL	MITIGATION
	PD3	200	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	1 GAL	MITIGATION
	PD	13	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	B&B	8` MIN.
	QG	2	QUERCUS GARRYANA	OREGON OAK	1.5" CAL	
	QR	10	QUERCUS RUBRA	RED OAK	3" CAL	
	RP	115	RHAMNUS PURSHIANA	CASCARA	1 GAL	MITIGATION
	SS	115	SALIX SCOULERIANA	SCOULER`S WILLOW	1 GAL	MITIGATION
	TP3	200	THUJA PLICATA	WESTERN RED CEDAR	1 GAL	MITIGATION
	TP	26	THUJA PLICATA	WESTERN RED CEDAR	8` HT. MIN.	
	TH3	200	TSUGA HETEROPHYLLA	WESTERN HEMLOCK	1 GAL	MITIGATION

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	BR	6	BERBERIS THUNBERGII `ROSE GLOW`	ROSY GLOW BARBERRY	1 GAL
	CT	14	CHOISYA TERNATA	MEXICAN ORANGE	3 GAL
	CF	156	CORNUS SERICEA `FLAVIRAMEA`	YELLOW TWIG DOGWOOD	1 GAL
	CK	189	CORNUS STOLONIFERA `KELSEYI`	KELSEY DOGWOOD	2 GAL
	CP2	3	CORYLOPSIS PAUCIFLORA	WINTER HAZEL	2 GAL
	GS	17	GAULTHERIA SHALLON	SALAL	2 GAL
	HO2	137	HEMEROCALLIS X `HYPERION`	YELLOW DAYLILY	1 GAL
	HD	14	HOLODISCUS DISCOLOR	OCEAN-SPRAY	2 GAL
	MC2	225	MAHONIA AQUIFOLIUM	OREGON GRAPE	1 GAL
	MC3	12	MAHONIA AQUIFOLIUM `COMPACTA`	COMPACT OREGON GRAPE	2 GAL
	MR	149	MAHONIA REPENS	CREEPING MAHONIA	2 GAL
	MC	24	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	2 GAL
	MD	26	MYRICA CERIFERA `DON`S DWARF`	DON`S DWARF WAX MYRTLE	2 GAL
	LP	339	PAXISTIMA MYRSINITES	OREGON BOXWOOD	1 GAL
	PH	215	PENNISETUM ALOPECUROIDES `HAMELN`	HAMELN FOUNTAIN GRASS	1 GAL
	PB	630	PENNISETUM ALOPECUROIDES `LITTLE BUNNY`	LITTLE BUNNY FOUNTAIN GRASS	2 GAL
	PC2	54	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	1 GAL
	PL	54	PYRACANTHA COCCINEA `LOWBOY`	LOWBOY SCARLET FIRETHORN	2 GAL

MDP PLANT SCHEDULE

GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	REMARKS
	AE	2,638	ARCTOSTAPHYLOS UVA-URSI `EMERALD CARPET`	EMERALD CARPET MANZANITA	1 GAL	18" o.c.
	DE	138	DRYOPTERIS ERYTHROSORA	AUTUMN FERN	1 GAL	18" o.c.
	GS2	1,275	GAULTHERIA SHALLON	SALAL	1 GAL	36" o.c.
	MR2	2,526	MAHONIA REPENS	CREEPING MAHONIA	1 GAL	24" o.c.
	PM	46	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	36" o.c.
	TS	9,255 SF	TURF SOD	DROUGHT TOLERANT FESCUE BLEND	SOD	

*SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
		8,034 SF	TYPE A- MIX 1				
	AC2	440	ACER CIRCINATUM	VINE MAPLE	1 GAL	50% @ 37" o.c.	MITIGATION
	RS	440	RUBUS SPECTABILIS	SALMONBERRY	1 GAL	50% @ 37" o.c.	
		8,536 SF	TYPE A- MIX 2				
	AS	440	AMELANCHIER ALNIFOLIA	SERVICEBERRY	1 GAL	50% @ 38" o.c.	
	MN2	440	MAHONIA NERVOSA	OREGON GRAPE	1 GAL	50% @ 38" o.c.	MITIGATION
		7,950 SF	TYPE A- MIX 3				
	OC	440	OEMLERIA CERASIFORMIS	INDIAN PLUM	1 GAL	50% @ 37" o.c.	MITIGATION
	SR	440	SAMBUCUS RACEMOSA	RED ELDERBERRY	1 GAL	50% @ 37" o.c.	
		8,423 SF	TYPE A- MIX 4				
	RT	440	RUBUS PARVIFLORUS	THIMBLEBERRY	1 GAL	50% @ 38" o.c.	MITIGATION
	SA	440	SYMPHORICARPOS ALBUS	COMMON WHITE SNOWBERRY	1 GAL	50% @ 38" o.c.	
		230 SF	TYPE B-WETLAND				
	CO	15	CAREX OBNUPTA	SLOUGH SEDGE	1 GAL	40% @ 30" o.c.	MITIGATION
	CR2	5	CORNUS SERICEA	RED TWIG DOGWOOD	1 GAL	30% @ 46" o.c.	
	PC	5	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK	1 GAL	30% @ 46" o.c.	
		7,949 SF	TYPE A- MIX 5				
	RS2	440	RIBES SANGUINEUM	RED FLOWERING CURRANT	1 GAL	50% @ 37" o.c.	MITIGATION
	RN	440	ROSA NUTKANA	NOOTKA ROSE	1 GAL	50% @ 37" o.c.	
		92,648 SF	TYPE A GROUNDCOVER				
	GS3	3,460	GAULTHERIA SHALLON	SALAL	1 GAL	33% @ 37" o.c.	MITIGATION
	MN2	3,460	MAHONIA NERVOSA	OREGON GRAPE	1 GAL	33% @ 37" o.c.	
	PM2	3,460	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	33% @ 37" o.c.	

*SEE THE WATERSHED COMPANY'S EASTGATE HOUSING CAMPUS MITIGATION PLAN FOR MORE INFORMATION

AHBL SPOKANE
627 West First Avenue, Suite 220 Spokane, WA 99201-0918
509.252.5019 TEL

#	DESCRIPTION	DATE

OLSON PROJECTS
3707 E GRACE, STE C SPOKANE, WA 99202

EASTGATE HOUSING CAMPUS
SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005
SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

PLANT SCHEDULE
L124

PEDESTRIAN VIEWPOINTS- N

PEDESTRIAN VIEWPOINTS- SE

AHBL SPOKANE
827 West First Avenue, Suite 220 Spokane, WA 99201-5018
509.232.3918 TEL

#	DESCRIPTION	DATE

OLSON PROJECTS
3707 N GRAND, STE C SPOKANE, WA 99205

EASTGATE HOUSING CAMPUS

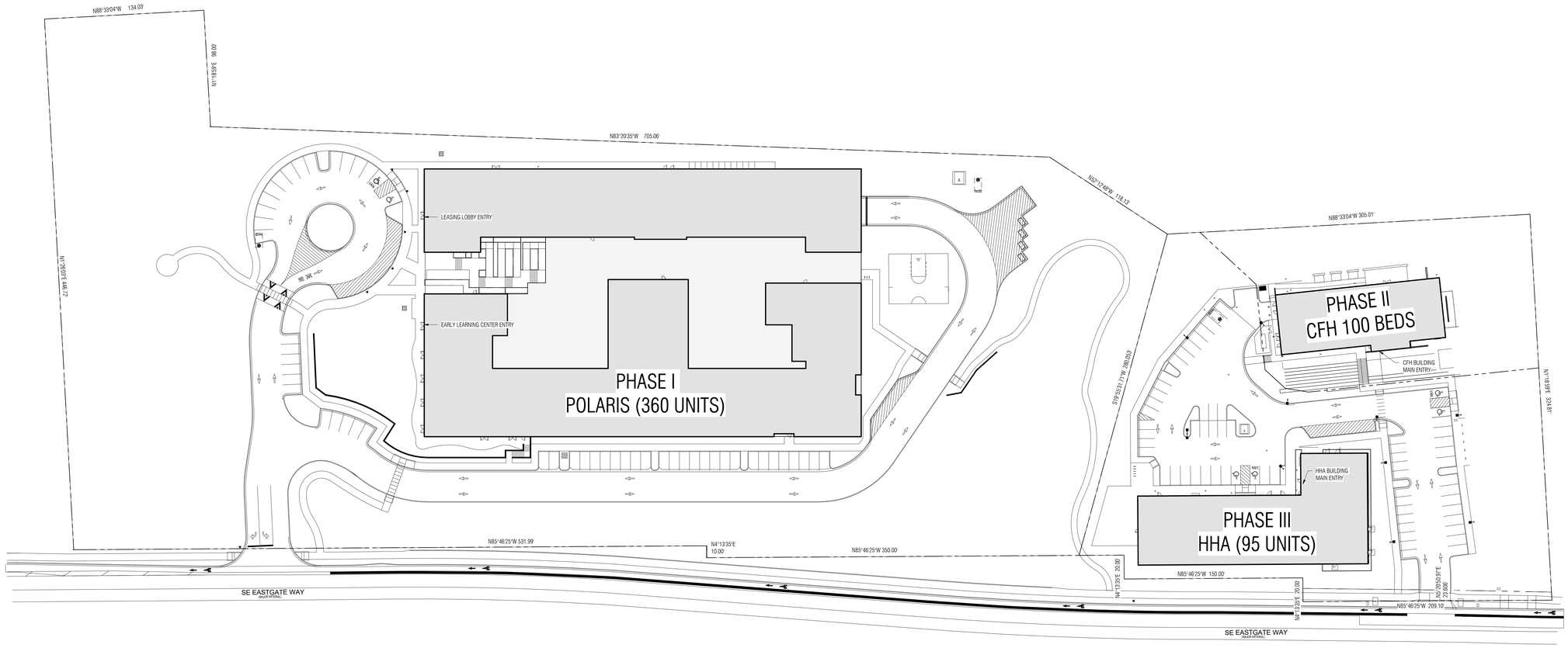
SE EASTGATE WAY, BELLEVUE, WASHINGTON 98005

SDCI No: 3033410-LU

PROJ. #:	2200395
DRAWN:	CDA
CHECKED:	CDA
DATE:	01.08.21

LANDSCAPE ELEVATIONS

L200



ADDRESSING SITE PLAN

SCALE: 1" = 40'-0"

POLARIS UNIT MATRIX - MDP	
UNIT TYPE	QTY
UNIT - 1 BEDROOM	
UNIT A1	101
UNIT A1 TYPE A	6
UNIT A1.1	1
UNIT A1.2	12
UNIT A5	12
UNIT A6	1
133	
UNIT - 2 BEDROOM	
UNIT B1	37
UNIT B1.1	5
UNIT B2	57
UNIT B2 TYPE A	6
UNIT B2.1	6
UNIT B2.2	1
UNIT B2.3	1
UNIT B6	5
UNIT B6.1	1
UNIT B7	1
120	
UNIT - 3 BEDROOM	
UNIT C1	11
UNIT C1.2	1
UNIT C2	32
UNIT C2 TYPE A	6
UNIT C2.1	1
UNIT C2.2	1
UNIT C2.3	1
UNIT C3	11
UNIT C3.1	1
UNIT C5	10
UNIT C5.1	2
77	
UNIT - STUDIO	
UNIT S1	28
UNIT S1.1	2
30	
TOTAL: 360	

CFH UNIT MATRIX	
UNIT TYPE	QTY
UNIT (BEDS)	100

HHA UNIT MATRIX	
UNIT TYPE	QTY
UNIT (STUDIO)	95

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

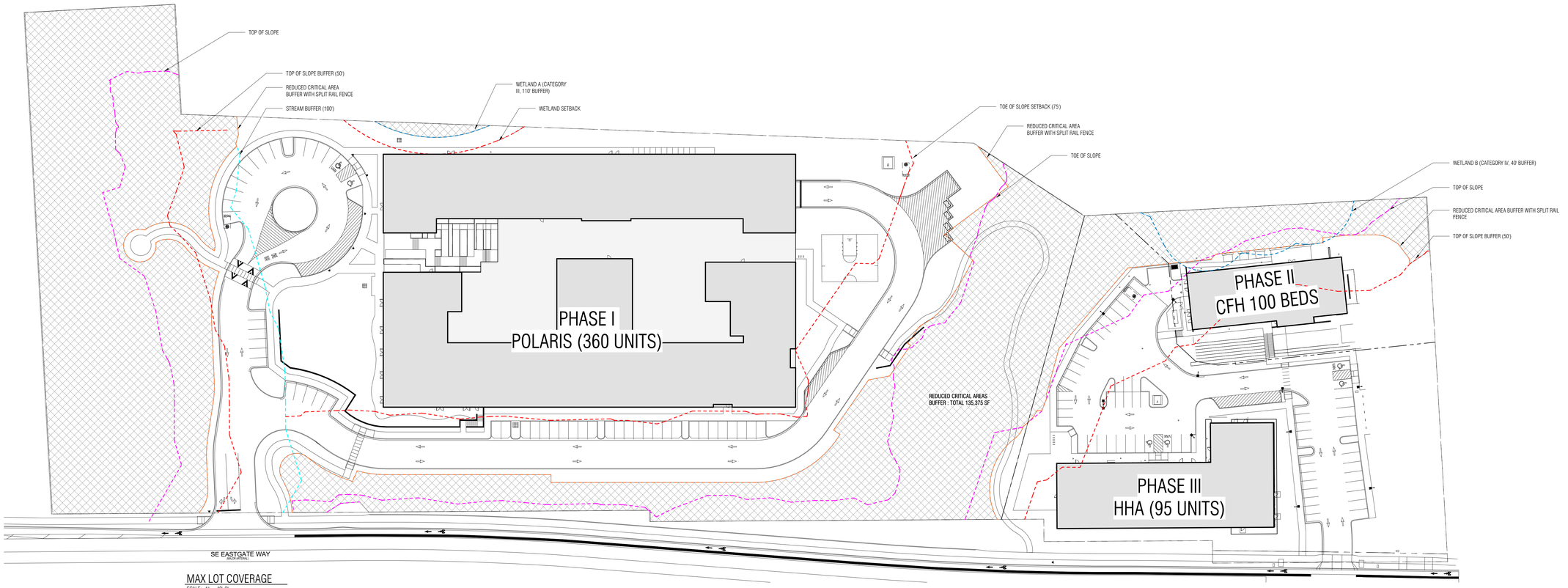
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

ADDRESSING SITE PLAN

MDP-001



MAX LOT COVERAGE

SCALE: 1" = 40'-0"

MAXIMUM LOT CALCULATIONS

LOT SIZE:	9.81 ACRES (427,143 SF)
MAXIMUM LOT COVERAGE LUC 20.20.010	35% LOT AREA, MAX ALLOWED
REDUCED CRITICAL AREAS:	135,375 SF
NET AREA PER REDUCED CRITICAL AREAS:	291,768 SF
35% MAXIMUM LOT COVERAGE:	291,768 SF X .35 = 102,118.8 SF ALLOWABLE
PROPOSED AREAS:	
POLARIS LOT COVERAGE:	75,295 SF
HHA BUILDING LOT COVERAGE:	13,154 SF
CFH BUILDING LOT COVERAGE:	6,886 SF
TOTAL BUILDING:	95,335 SF (= 32.7% LOT COVERAGE PROPOSED)

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE

13300 SE EASTGATE WAY, BELLEVUE WA, 98005

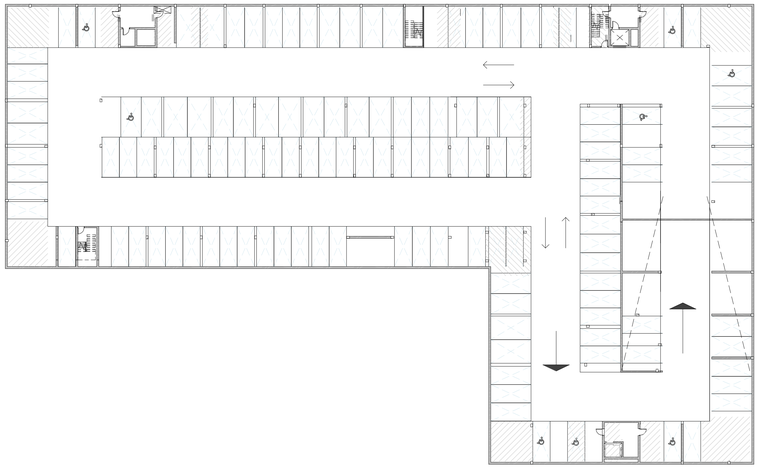
MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

MAXIMUM LOT COVERAGE

MDP-002

PHASE I POLARIS FAR DIAGRAMS



LEVEL P02 - ENTIRELY BELOW GRADE PARKING

POLARIS - LEVEL P02 FAR DIAGRAM
SCALE: 1" = 30'-0"

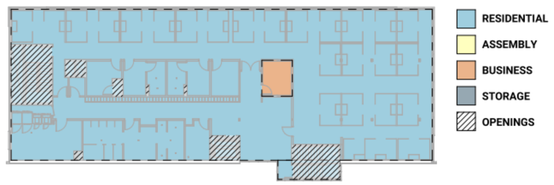
LEASING AREA	= 9,510 SF
EARLY LEARNING CENTER AREA	= 9,418 SF
TRASH/ELEVATOR LOBBIES	= 2,192 SF
P01 TOTALS:	21,120 SF

POLARIS - LEVEL P01 FAR DIAGRAM
SCALE: 1" = 30'-0"

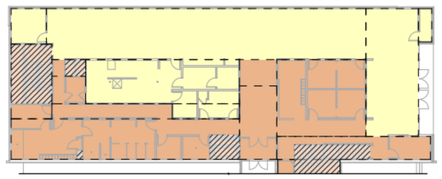
L01	AREA A	RESIDENTIAL	= 21,294 SF
	AREA B	RESIDENTIAL	= 32,400 SF
L01 TOTAL AREA:			53,694 SF
L02-06	AREA A	RESIDENTIAL	= 21,242 SF
	AREA B	RESIDENTIAL	= 32,400 SF
L02 TOTAL AREA:			53,642 SF
L03 TOTAL AREA:			53,642 SF
L04 TOTAL AREA:			53,642 SF
L05 TOTAL AREA:			53,642 SF
L06 TOTAL AREA:			53,642 SF
L01-06 TOTALS :			= 321,904 SF

POLARIS - LEVEL L01-L06 FAR DIAGRAM
SCALE: 1" = 30'-0"

PHASE II CFH FAR DIAGRAMS



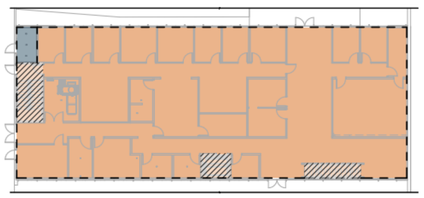
CFH - LEVEL L2 FAR DIAGRAM
1" = 20'-0"



LEVEL L2 AREA = 6,424sf
LEVEL L1 AREA = 6,250sf
LEVEL L0 AREA = 6,025sf

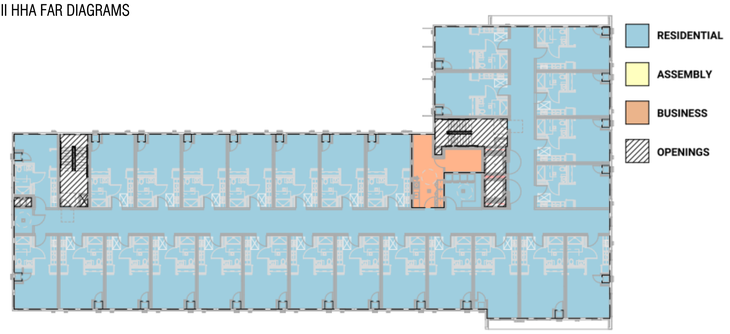
TOTAL = 18,699sf

CFH - LEVEL L1 FAR DIAGRAM
1" = 20'-0"

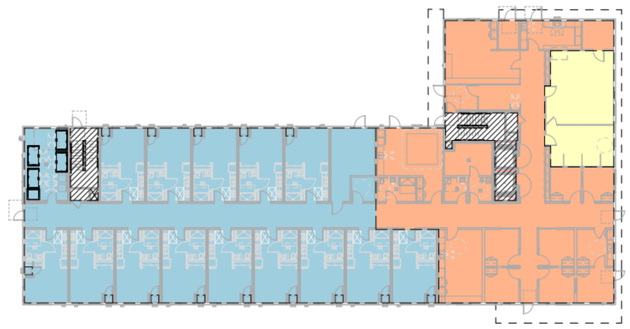


CFH - LEVEL L0 FAR DIAGRAM
1" = 20'-0"

PHASE III HHA FAR DIAGRAMS



HHA - LEVEL L2 FAR DIAGRAM (L3-L4 SIMILAR)
1" = 20'-0"



LEVEL L4 AREA = 12,300 SF
LEVEL L3 AREA = 12,581 SF
LEVEL L2 AREA = 12,581 SF
LEVEL L1 AREA = 12,581 SF

TOTAL = 50,044 SF

HHA - LEVEL L1 FAR DIAGRAM
1" = 20'-0"

FAR LEGEND

- RESIDENTIAL
- ASSEMBLY
- BUSINESS

OVERALL SITE FAR CALCULATIONS

LOT SIZE:	9.81 ACRES (427,143 SF)
PUBLIC R.O.W AREA:	-1,915 SF
NET LOT SIZE :	425,228 SF
PHASE I POLARIS :	P01 = 21,120 L01 = 53,694 L02-06 = 268,210 343,024 SF
PHASE II CFH :	18,699 SF
PHASE III HHA :	50,044 SF
TOTAL AREA:	411,767 SF
ALLOWABLE MAX FAR:	1.00 FOR CAMPUS
FAR DIAGRAM TOTAL:	(411,767/425,228) = **0.97 FAR ACTUAL**

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1502 E GRAND, STE C SPOKANE, WA 99202

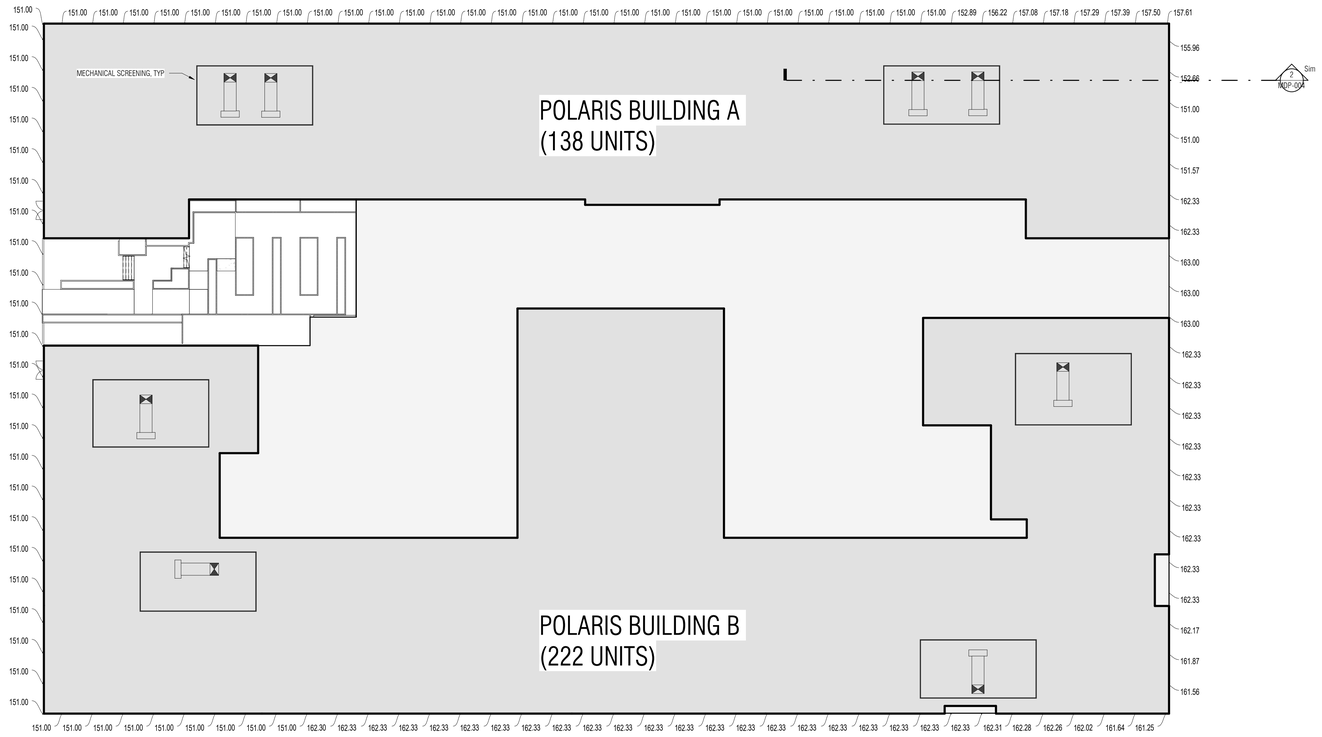
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

FAR DIAGRAMS

MDP-003

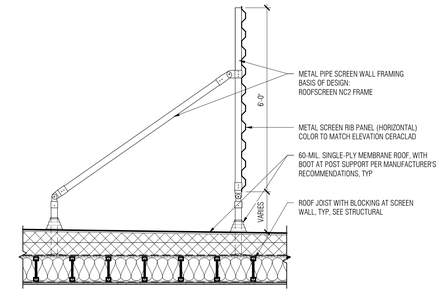


AVERAGE FINISHED GRADE PLAN
SCALE: 1" = 20'-0"

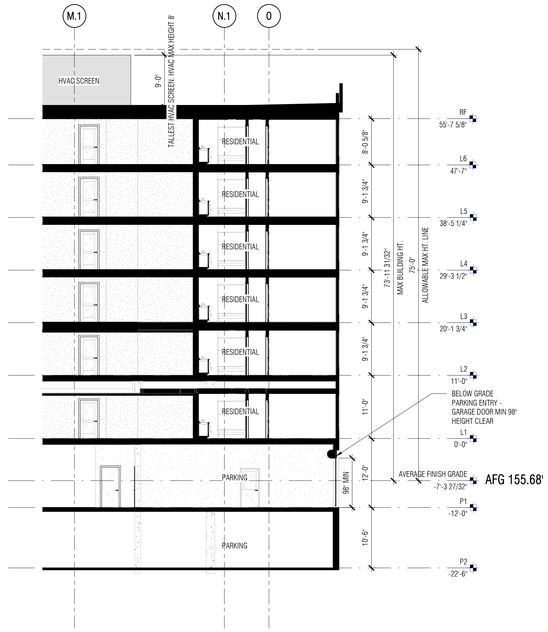
PHASE I POLARIS AFG

A - (5,783.16)/38 * 366.625' = 55,796.08
B - (3,841.28)/24 * 225' = 36,012.00
C - (6,215.01)/39 * 366.625' = 58,425.08
D - (3,624)/24 * 225' = 33,975.00

AVERAGE = 184,208.16/ 1,183.25' = **155.68'**



SECTION AT SCREEN WALL
SCALE: 1/2" = 1'-0"



BUILDING SECTION
SCALE: 3/32" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
2007 E GRAND AVE C SPOKANE, WA 99202

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

AVERAGE FINISHED GRADE

MDP-004

PROJECT INFORMATION - PHASE I POLARIS

ADDRESS 13620 SE EASTGATE WAY, BELLEVUE WA, 98005

PARCEL # 102405-9101

EXISTING USE(S) INDUSTRIAL (VACANT)

PROPOSED USE(S) PHASE I POLARIS GROUP R-2 (RESIDENTIAL); GROUP B (BUSINESS); GROUP A-3 (AMENITY SPACE)

PROPOSED # OF DU PHASE I POLARIS 360 UNITS

TOTAL BUILDING AREA SF PHASE I POLARIS

LEVEL P02 (BELOW GRADE) - 60,480 sf
LEVEL P01 (PARTIALLY BELOW GRADE) - 75,295 sf
LEVEL L01 (ABOVE GRADE) - BUILDING A (NORTH) - 21,486 sf
- BUILDING B (SOUTH) - 33,643 sf
= 55,129 sf

TOTAL BUILDING TYPE IA = 190,904 sf

LEVEL L02-L06 (ABOVE GRADE) - BUILDING A (NORTH) - 21,486 sf
- BUILDING B (SOUTH) - 33,643 sf
= 55,129 sf PER FLOOR

TOTAL BUILDING TYPE VA = 275,645 sf

TOTAL BUILDING A & B COMBINED = 466,549 sf

PROPERTY NAME KING COUNTY SOLID WASTE LAND

LOT SIZE 427,143 SF (9.81 ACRES)

JURISDICTION BELLEVUE

DESCRIPTION PHASE I POLARIS CONSTRUCT A 6-STORY +/- 466,549 SF BUILDING THAT PROVIDES 360 UNITS, ASSOCIATED AMENITY ROOMS, SERVICE ROOMS, EARLY LEARNING CENTER, PARKING AND SITE IMPROVEMENTS.

LEGAL PCL B BELLEVUE BLA #11-114500-LW REC #20120323900003 SD BLA BEING LOT 32 TGW POR LOT 31 MERCER SLOUGH GARDEN TRS TGW W 1/2 OF OF SW 1/4 OF SE 1/4 OF NW 1/4 STR 10-24-5 TGW LOT 2 BELLEVUE BLA #88-6830 REC# 8811039001 BEING POR SW 1/4 STR 10-24-5 LY NLY OF SE EASTGATE WY & WLY OF SUNSET RIDGE I-90 CORPORATE CAMPUS BSP TGW VAC SE 32ND ST SUBJ TO TRANS LN ESMT

CONSTRUCTION PHASE I POLARIS P02-L01 TYPE IA
L02-L06 TYPE VA

ZONING INFORMATION - PHASE I POLARIS

LAND USE DISTRICT OLB-2
COMPREHENSIVE PLAN DESIGNATION OLB (RICHARDS VALLEY SUBAREA)

FAR (MAX) 1 (SHARED AMONG ENTIRE MASTER DEVELOPMENT)
(ACTUAL) REFERENCE C-1.1 STATISTICAL ANALYSIS SHEET

LOT WIDTH/ DEPTH N/A

HEIGHT *75'*
(ACTUAL) REFERENCE C-1.1 STATISTICAL ANALYSIS SHEET

LOT COVERAGE (MAX) 35% (AFTER SUBTRACTING CRITICAL AREAS)
(ACTUAL) REFERENCE C-1.1 STATISTICAL ANALYSIS SHEET

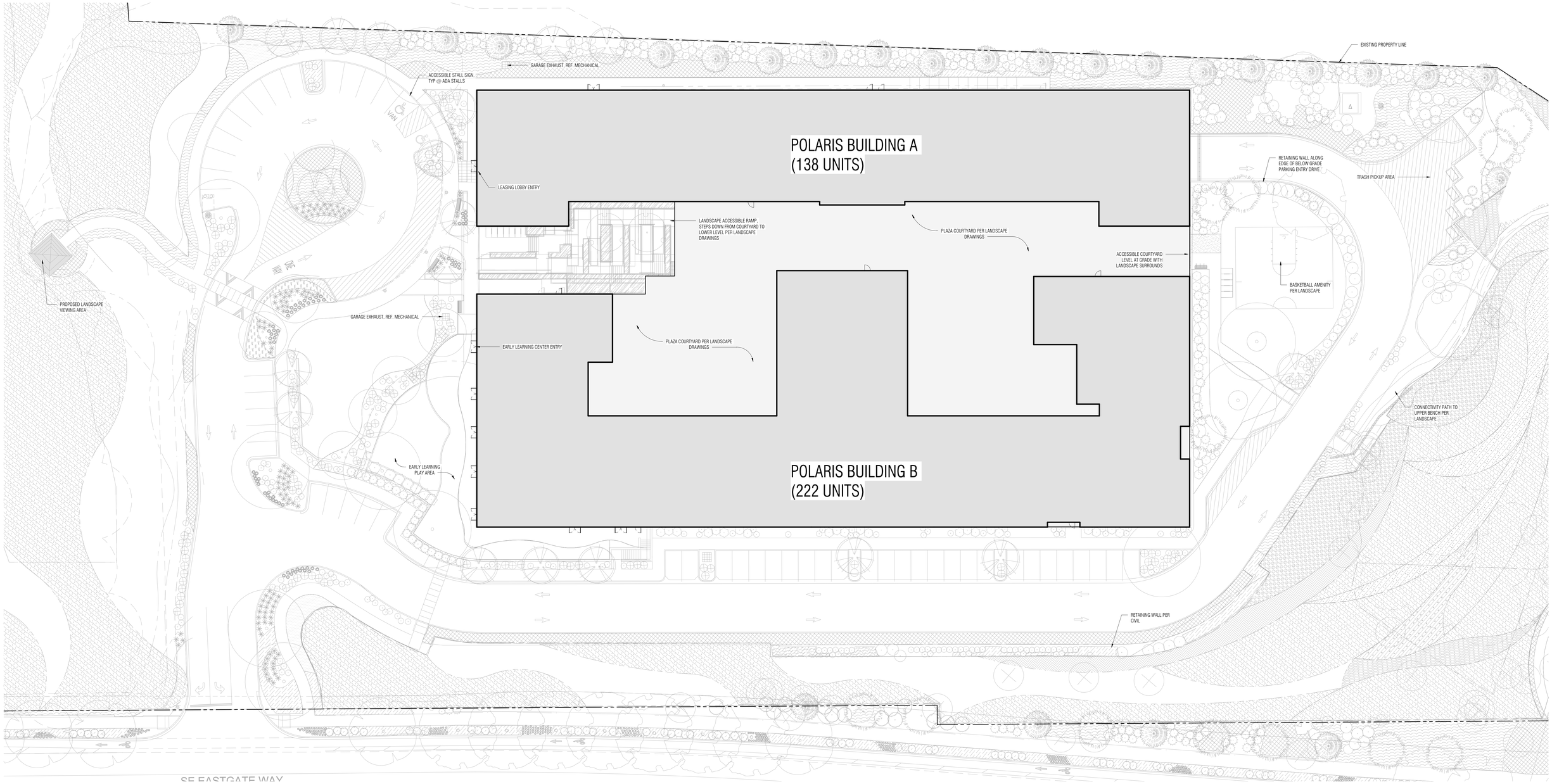
IMPERVIOUS (MAX) 60%
(ACTUAL) REFERENCE C-1.1 STATISTICAL ANALYSIS SHEET

SETBACKS N/A (CRITICAL AREAS SETBACKS PER GEOTECH REPORT)

PARKING PER ORDINANCE #6513 REFERENCE C-1.1 STATISTICAL ANALYSIS SHEET

BIKE PARKING FACILITIES FOR A MINIMUM OF 10 BICYCLES SHALL BE PROVIDED FOR DEVELOPMENTS HAVING 100 OR FEWER PARKING STALLS. FOR EACH 100 ADDITIONAL STALLS, FACILITIES FOR 5 ADDITIONAL BICYCLES SHOULD BE PROVIDED.

LIGHTING ALL SITE LIGHTING MUST BE CONTAINED TO THE SITE WITH NO SPILLOVER TO ADJACENT SITES OR CRITICAL AREAS



ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

N

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 E GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

ARCHITECTURAL SITE PLAN - LOWER BENCH POLARIS

MDP-010

PROJECT INFORMATION

ADDRESS	13668 SE EASTGATE WAY, BELLEVUE WA, 98005
PARCEL #	102405-9101
EXISTING USE(S)	INDUSTRIAL (VACANT)
PROPOSED USE(S) PHASE II	PER LAND USE CODE - DAY SERVICES CENTER, OVERNIGHT SHELTER - PERMANENT, & SUPPORTIVE SERVICES PER BUILDNG CODE - GROUP A-2 (DAY CENTER / DINING ROOM); GROUP B (OFFICES); GROUP R-1 (CONGREGATE LIVING FACILITIES)
PROPOSED USE(S) PHASE III	GROUP R-2 (RESIDENTIAL; GROUP B (BUSINESS); GROUP A-3 (AMENITY SPACE)
PROPOSED # OF DU PHASE II	100 BEDS (OCCUPANCY LIMITS = 100 BEDS) - *20.20.455.I.3.b*
PROPOSED # OF DU PHASE III	95 STUDIO UNITS
# OF FLOORS/ SF PHASE II	LEVEL L0 (PARTIALLY BELOW GRADE) - 6,450sf LEVEL L1 (AT GRADE) - 6,945sf LEVEL L2 (ABOVE GRADE) - 7,078sf TOTAL - 20,473sf
# OF FLOORS/ SF PHASE III	LEVEL L1 (AT GRADE) - 13,154sf LEVEL L2-L4 (ABOVE GRADE) - 13,460sf TOTAL - 53,534sf
PROPERTY NAME	KING COUNTY SOLID WASTE LAND
LOT SIZE	427,142 SF (9.81 ACRES)
JURISDICTION	BELLEVUE
DESCRIPTION PHASE II	BUILD A THREE-STORY, +/-20,000 SF BUILDING THAT PROVIDES A DAY SERVICES CENTER, A PERMANENT OVERNIGHT SHELTER, ASSOCIATED OFFICES, PARKING AND SITE IMPROVEMENTS.
DESCRIPTION PHASE III	CONSTRUCT A FOUR-STORY, +/-54000 SF BUILDING THAT PROVIDES 95 STUDIO UNITS, ASSOCIATED OFFICES, AMENITY ROOMS, SERVICE ROOMS, PARKING AND SITE IMPROVEMENTS.
LEGAL	PCL B BELLEVUE BLA #11-114500-LW REC #20120323900003 SD BLA BEING LOT 32 TGW POR LOT 31 MERCER SLOUGH GARDEN TRS TGW W 1/2 OF OF SW 1/4 OF SE 1/4 OF NW 1/4 STR 10-24-5 TGW LOT 2 BELLEVUE BLA #88-6830 REC# 8811039001 BEING POR SW 1/4 STR 10-24-5 LY NLY OF SE EASTGATE WY & WLY OF SUNSET RIDGE I-90 CORPORATE CAMPUS BSP TGW VAC SE 32ND ST SUBJ TO TRANS LN ESMT
CONSTRUCTION PHASE II	TYPE V-A
CONSTRUCTION PHASE III	TYPE V-A

ZONING INFORMATION

LAND USE DISTRICT	OLB-2
COMPREHENSIVE PLAN DESIGNATION	OLB (RICHARDS VALLEY SUBAREA)
FAR (MAX) (ACTUAL)	1 (SHARED AMONG ENTIRE MASTER DEVELOPMENT) REFERENCE STATISTICAL ANALYSIS SHEET
LOT WIDTH/ DEPTH	N/A
HEIGHT	75'
LOT COVERAGE (MAX) (ACTUAL)	35% (AFTER SUBTRACTING CRITICAL AREAS) REFERENCE STATISTICAL ANALYSIS SHEET
IMPERVIOUS (MAX) (ACTUAL)	60% REFERENCE STATISTICAL ANALYSIS SHEET
SETBACKS	N/A (CRITICAL AREAS SETBACKS PER GEOTECH REPORT)
PARKING	PER EASTGATE HOUSING CAMPUS PARKING ANALYSIS
BIKE PARKING	FACILITIES FOR A MINIMUM OF 10 BICYCLES SHALL BE PROVIDED FOR DEVELOPMENTS HAVING 100 OR FEWER PARKING STALLS
LIGHTING	ALL SITE LIGHTING MUST BE CONTAINED TO THE SITE WITH NO SPILLOVER TO ADJACENT SITES OR CRITICAL AREAS

AVERAGE GRADE

PHASE II

SW, NW +222'
NE, SE +222' (TAKEN AT L0 PATIO, WITHIN 6' FROM BLDG CORNER)

AVERAGE 888 /4 = **+222'**

PHASE III

A - (229.92' + 229.33')/2 * 56' ==> 12,859
B - (229.33' + 229.33')/2 * 95' ==> 21,327.69
C - (229.33' + 225.50')/2 * 193' ==> 43891.095
D - (225.50' + 230.00')/2 * 58' ==> 13,206.50
E - (230.00' + 230.00')/2 * 137' ==> 31,510.00
F - (230.00' + 229.92')/2 * 35' ==> 8,048.60

= 130842.885/572'

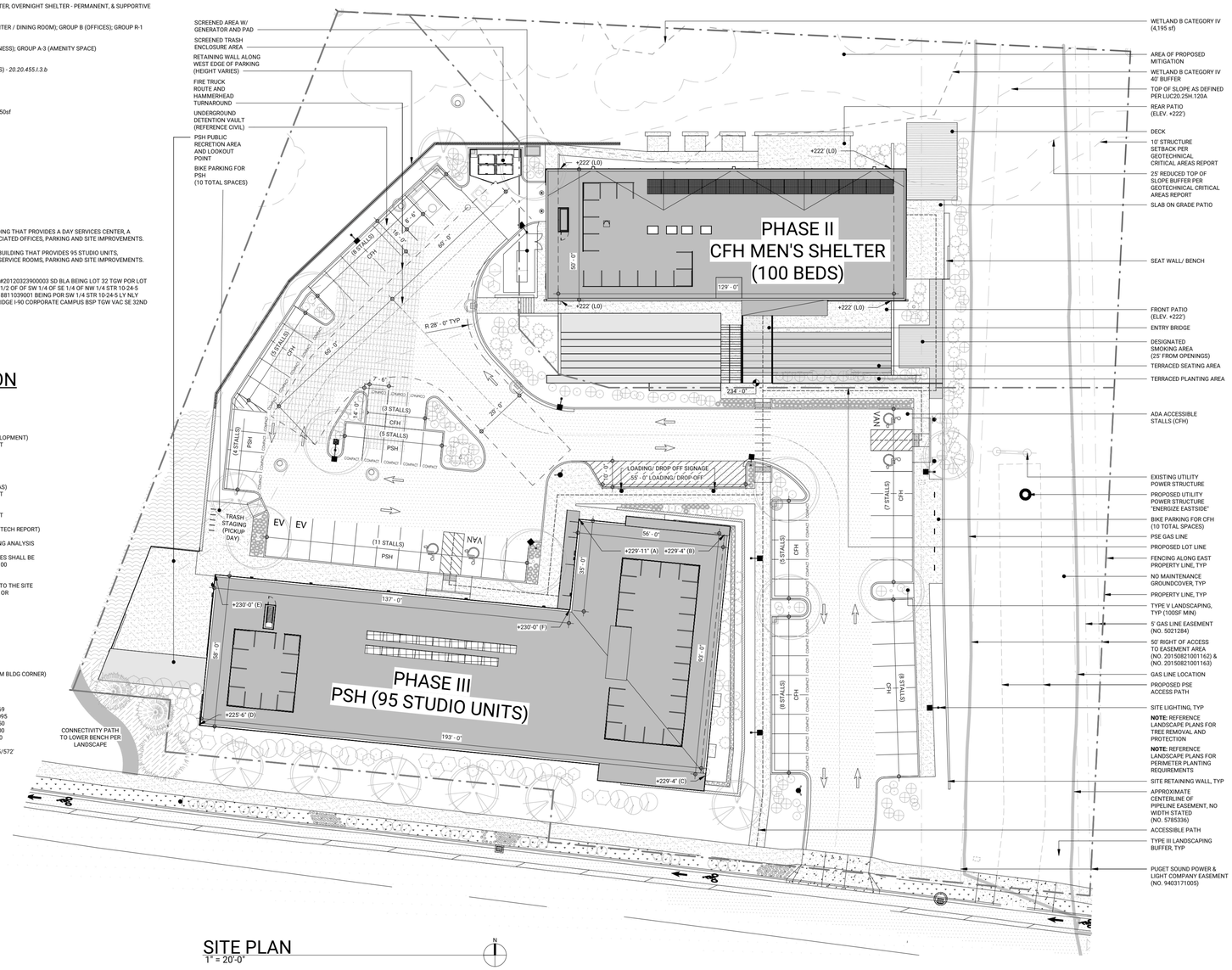
AVERAGE **= 228.75'**

BIKE PARKING

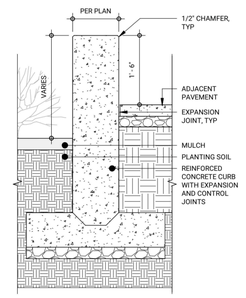
PHASE II	10 TOTAL SPACES
PHASE III	10 TOTAL SPACES

PARKING SUMMARY

SURFACE - ADA (CFH)	2
SURFACE - ADA (PSH)	2
SURFACE - COMPACT (CFH)	21
SURFACE - COMPACT (PSH)	9
SURFACE - STANDARD (CFH)	21
SURFACE - STANDARD (PSH)	7
SURFACE - STANDARD EV (PSH)	2
TOTAL: 64	



SITE PLAN
1" = 20'-0"



TYP SEAT WALL DETAIL
3/4" = 1'-0"

MDP RESUBMITTAL #2

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

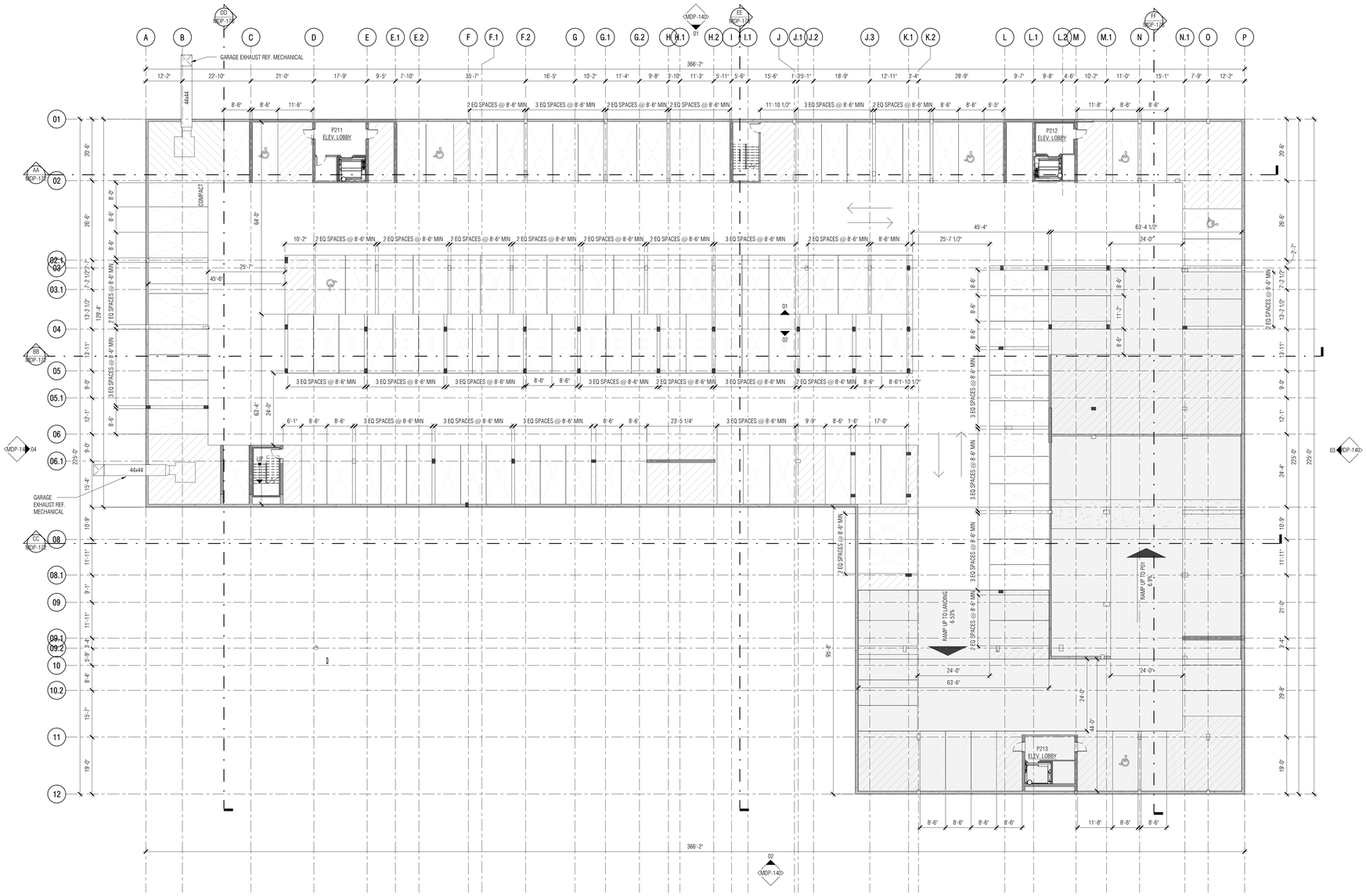
OLSON PROJECTS
SPOKANE, WA 99203 — 910 S GRAND, STE C

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

ARCHITECTURAL SITE PLAN - UPPER BENCH CFH + PSH

MDP-011



01 P2 FLOOR PLAN - OVERALL

SCALE: 1/16" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
310 S GRAND, STE C SPOKANE, WA 99203

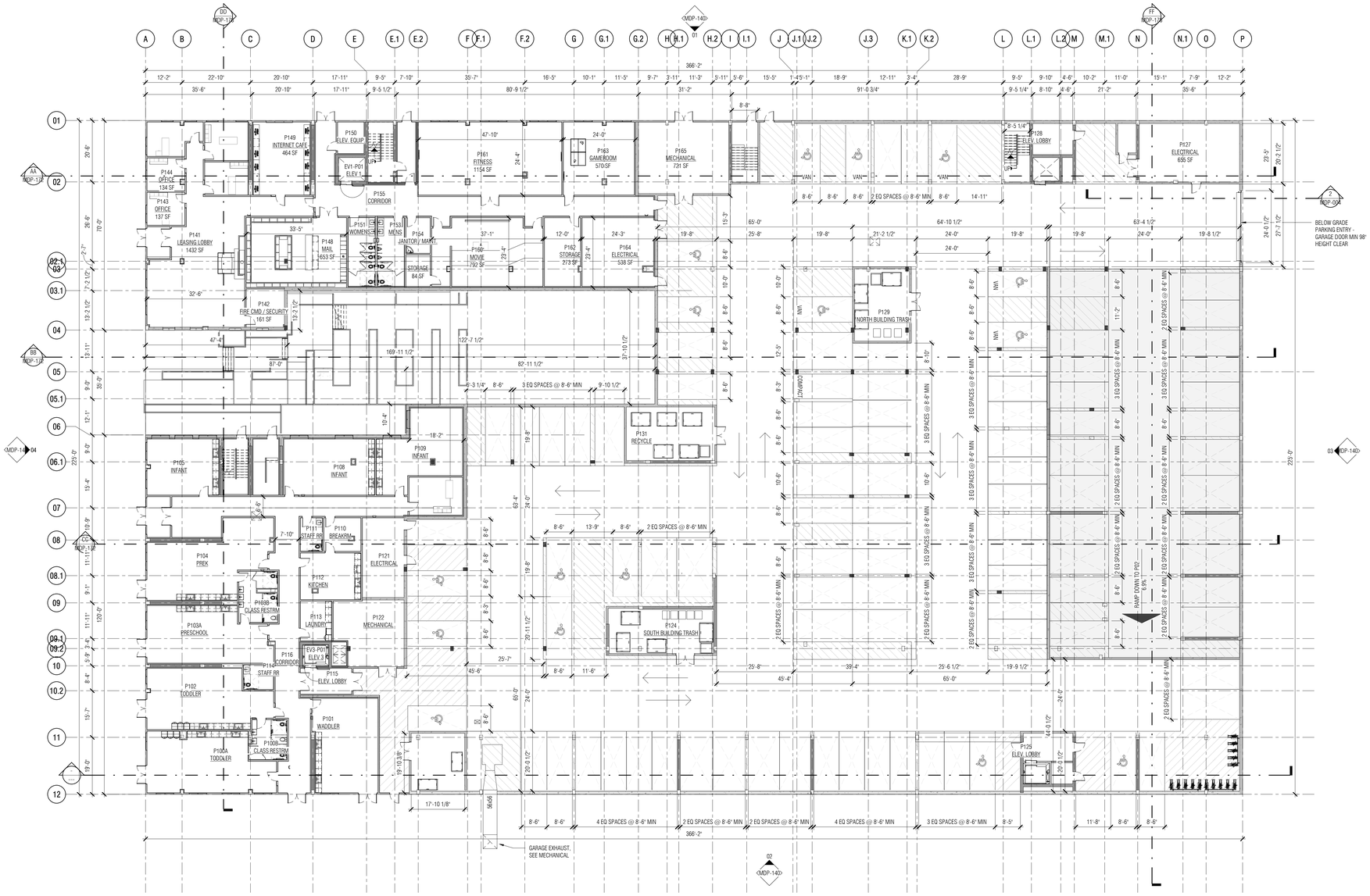
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #: 1910
DRAWN: OP
CHECKED: OP
DATE: 01/11/21

PHASE I POLARIS - P02 OVERALL FLOOR PLAN

MDP-100



01 P1 FLOOR PLAN - OVERALL

SCALE: 1/16" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1707 S GRAND, STE C SPOKANE, WA 99203

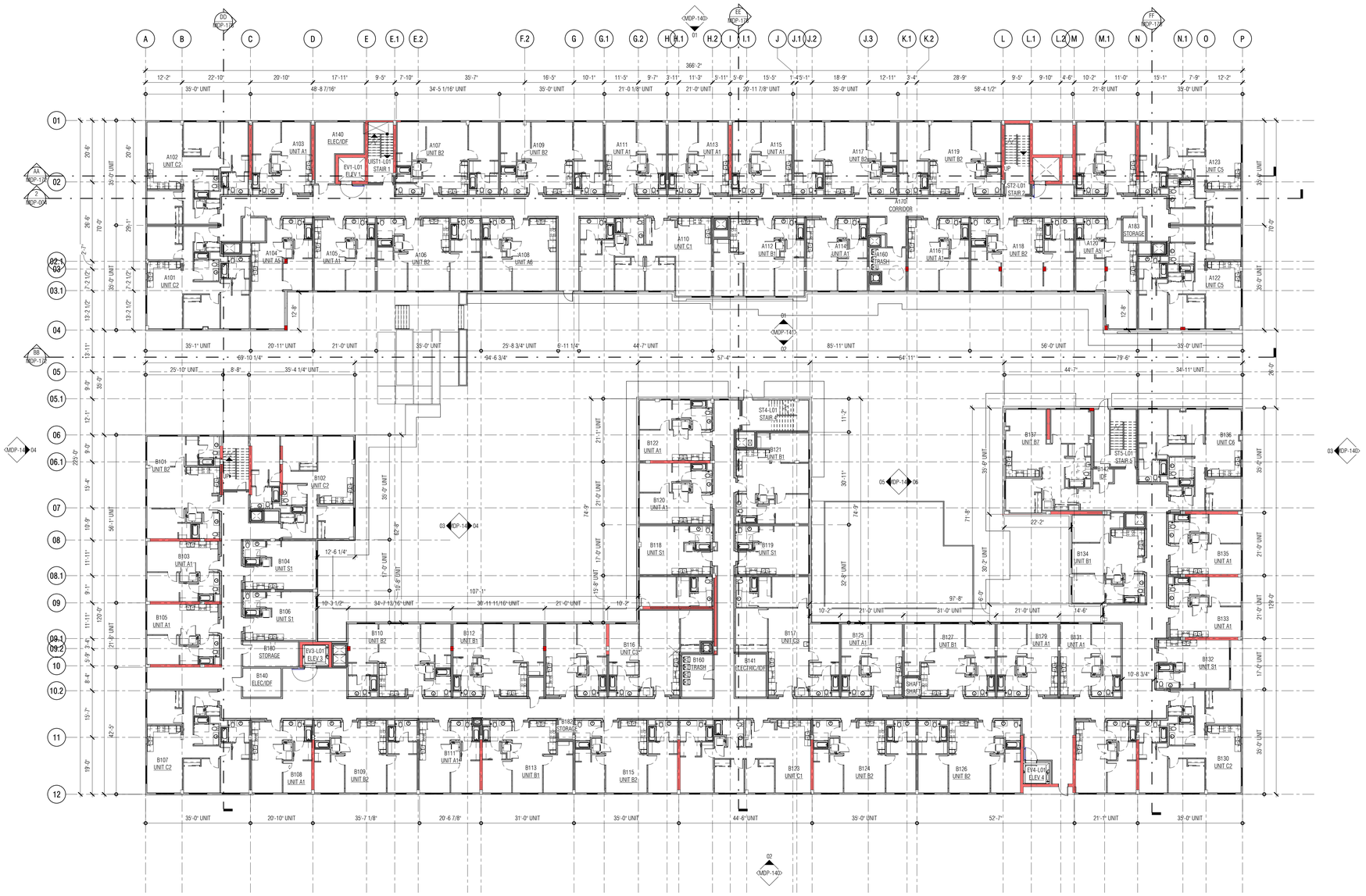
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - P01 OVERALL FLOOR PLAN

MDP-101



01 L1 FLOOR PLAN - OVERALL

SCALE: 1/16" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1910 S GRAND, STE C SPOKANE, WA 99203

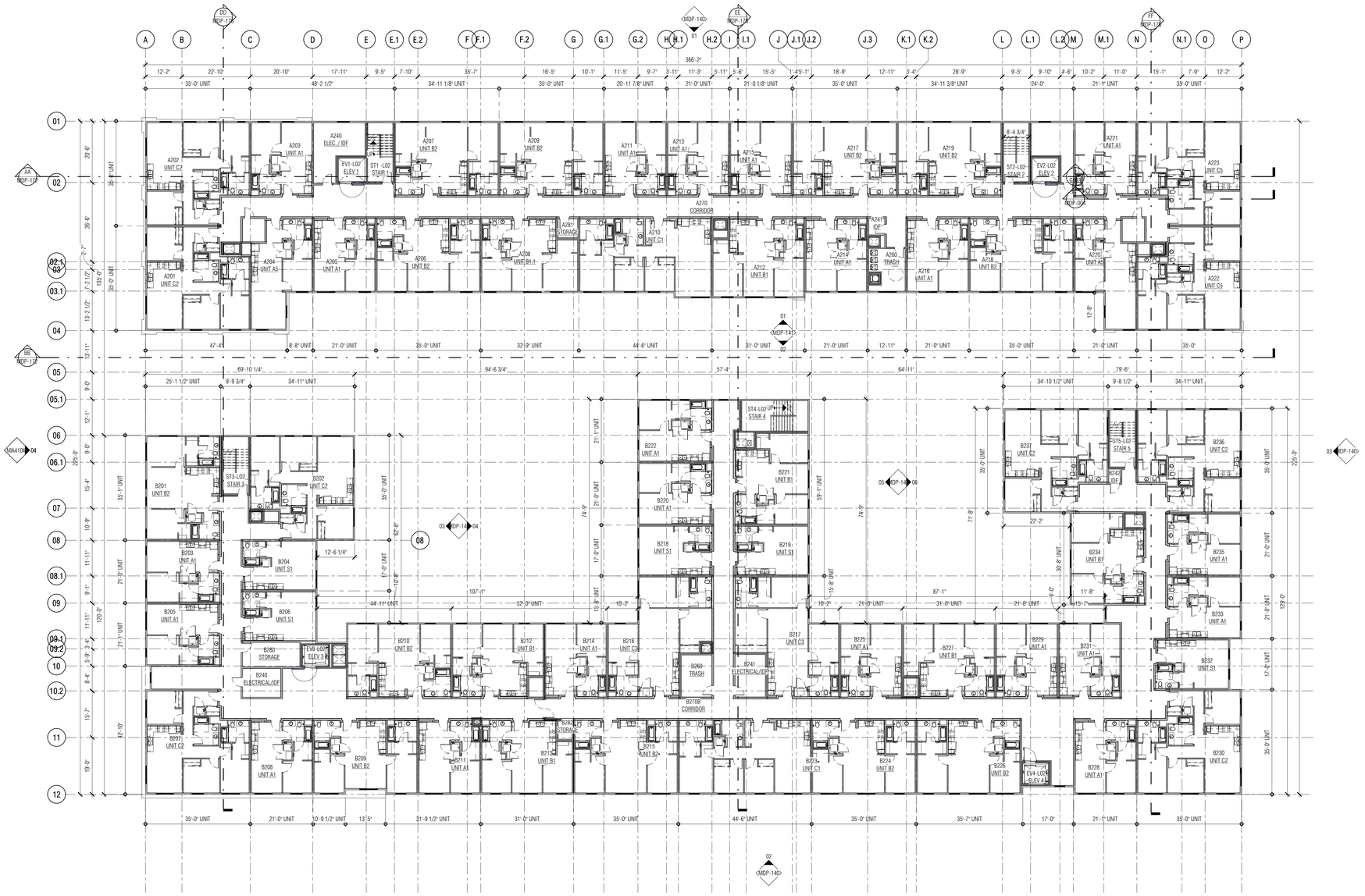
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #: 1910
DRAWN: OP
CHECKED: OP
DATE: 01/11/21

PHASE I POLARIS - L01 OVERALL FLOOR PLAN

MDP-102



01 L2 FLOOR PLAN - OVERALL

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
N 1ST & GRAND, STE C SPOKANE, WA 99201

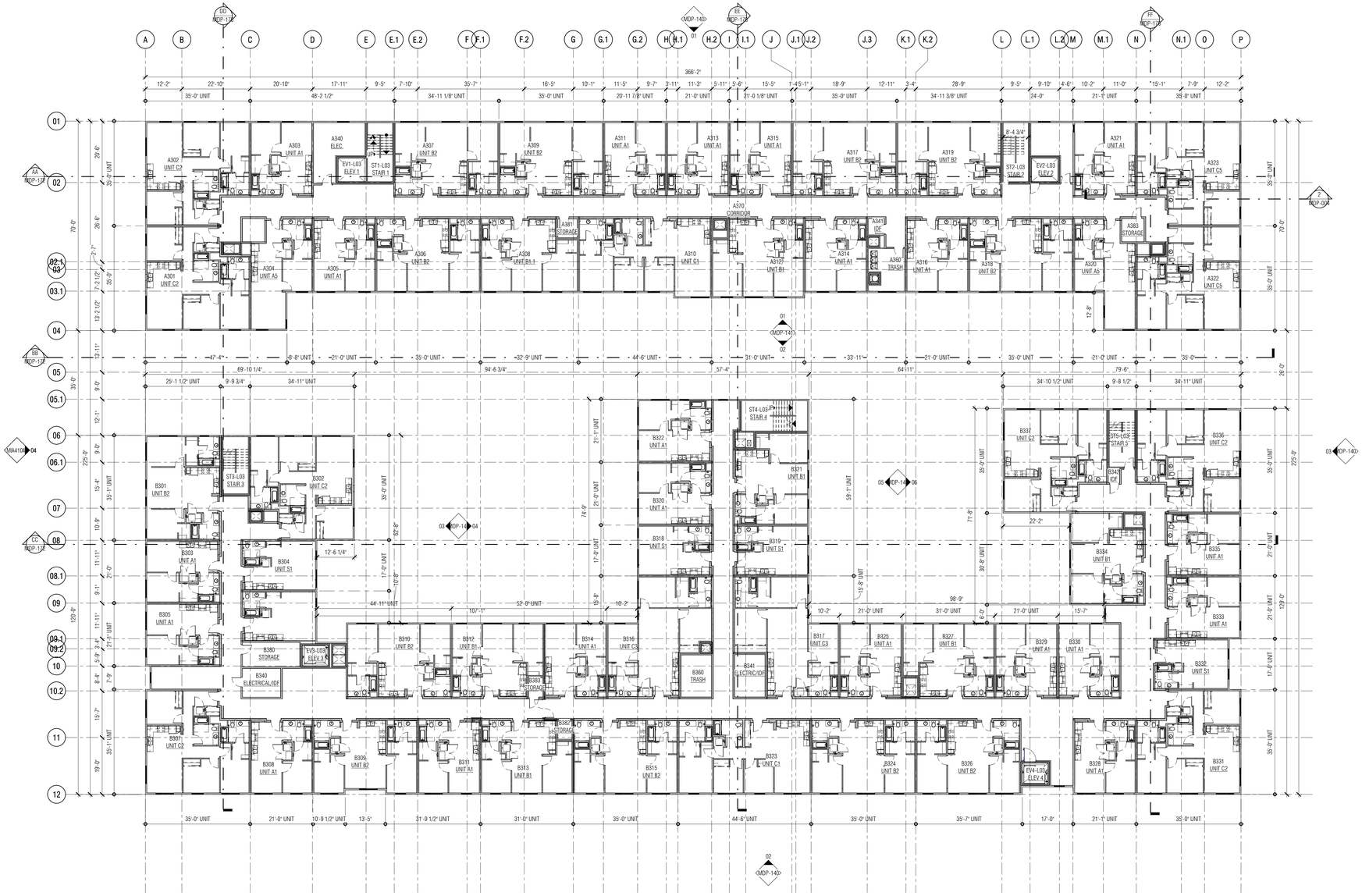
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - L02 OVERALL FLOOR PLAN

MDP-103



01 L3 FLOOR PLAN - OVERALL
SCALE: 1/16" = 1'-0"

MDP RESUBMITTAL #2

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

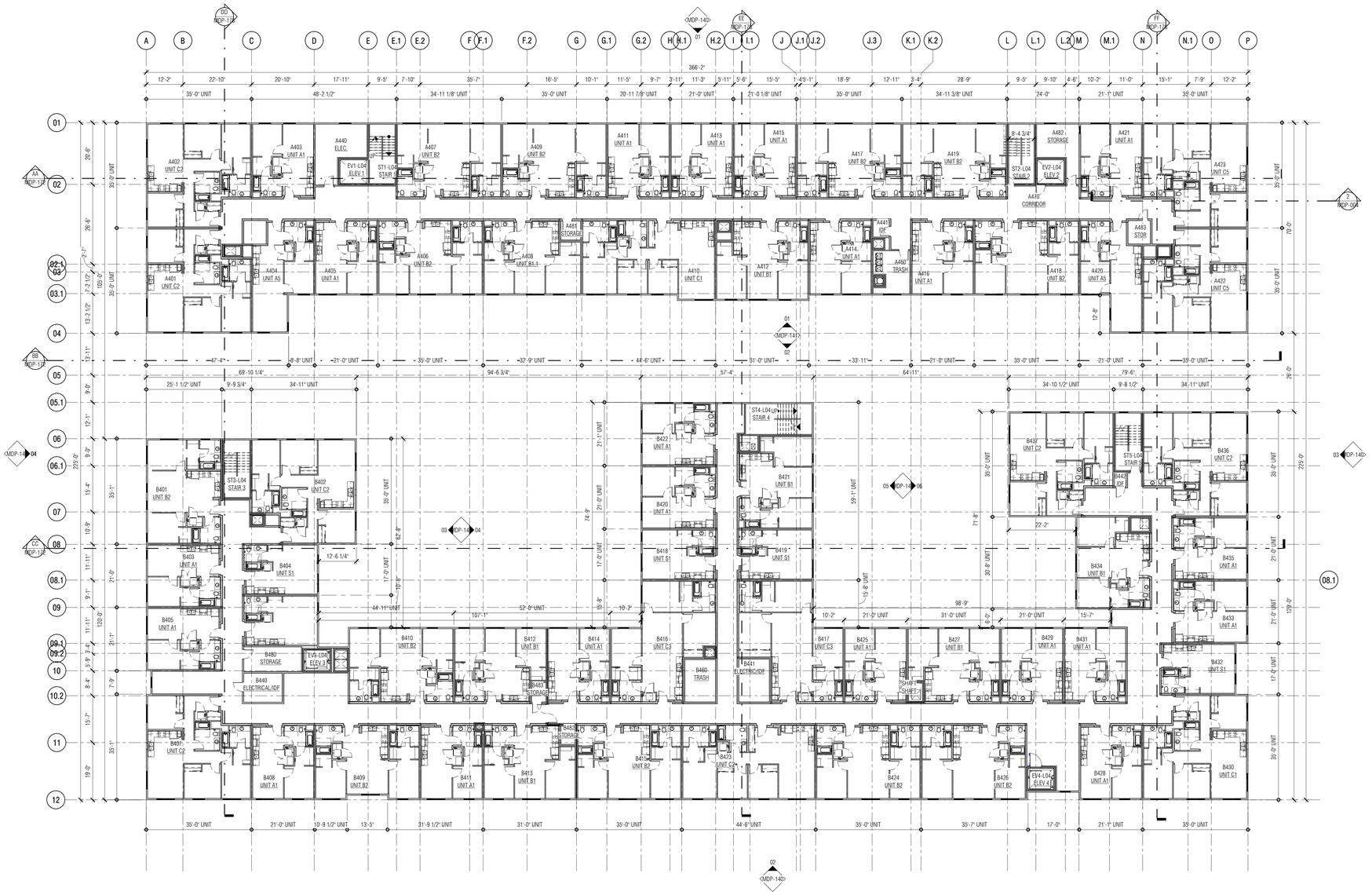
OLSON PROJECTS
1010 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - L03 OVERALL FLOOR PLAN

MDP-104



01 L4 FLOOR PLAN - OVERALL

SCALE: 1/16" = 1'-0"

MDP RESUBMITTAL #2

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

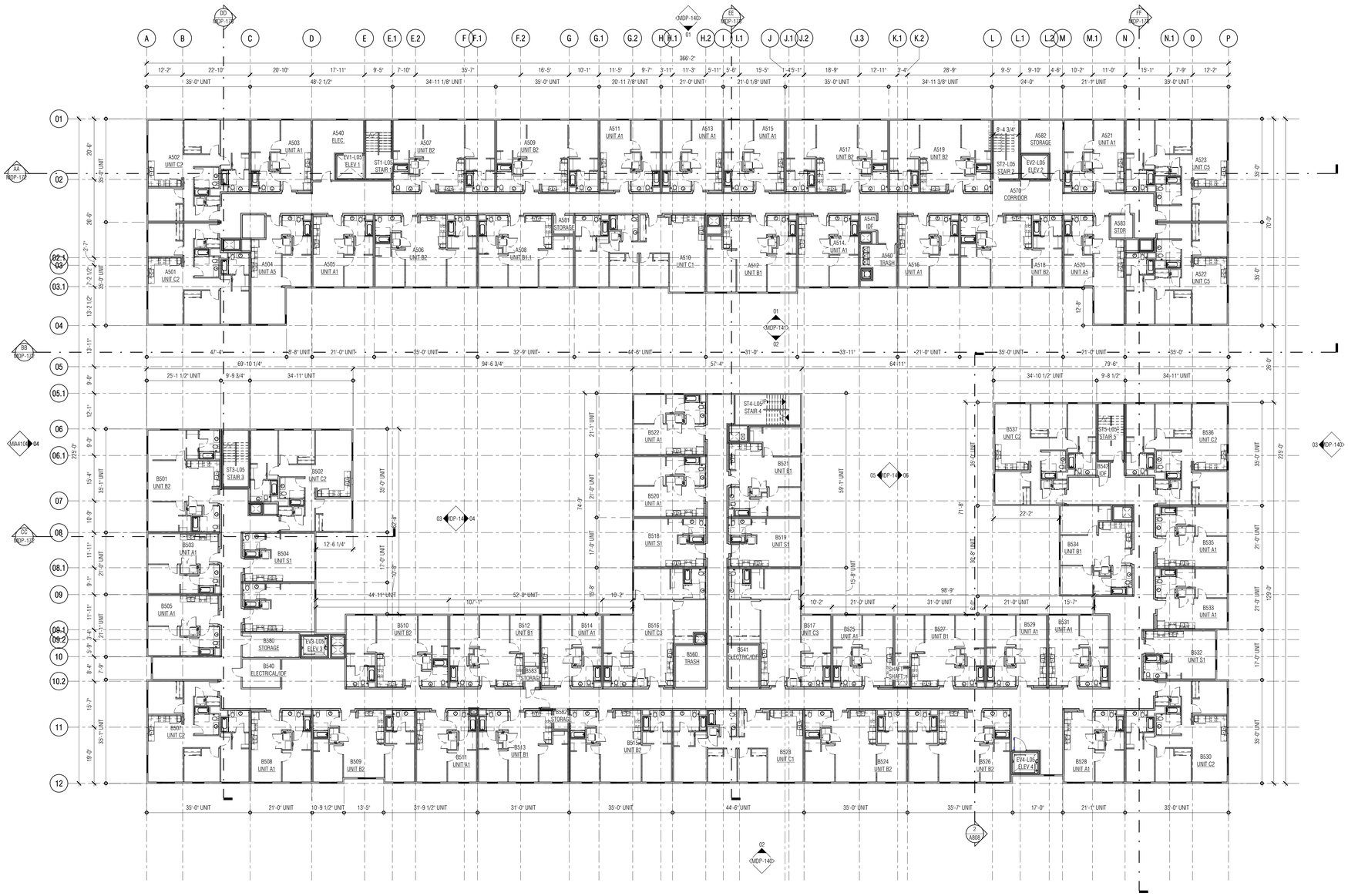
OLSON PROJECTS
SPOKANE, WA 99201

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - L04 OVERALL FLOOR PLAN

MDP-105


A
B
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K.1
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03
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05
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08.1
09
09.1
09.2
10
10.2
11
12
366'-2"
A502 UNIT C2
A503 UNIT A1
A540 ELEC.
EV1-L05 ELEV 1
ST1-L05 STAIR 1
A507 UNIT B2
A509 UNIT B2
A511 UNIT A1
A513 UNIT A1
A515 UNIT A1
A517 UNIT B2
A519 UNIT B2
ST2-L05 STAIR 2
A580 STORAGE
EV2-L05 ELEV 2
A521 UNIT A1
A523 UNIT C5
A570 CORRIDOR
A501 UNIT C2
A504 UNIT A5
A505 UNIT A1
A506 UNIT B2
A581 STORAGE
A508 UNIT B1.1
A510 UNIT C1
A512 UNIT B1
A514 UNIT A1
A541 IDF
A560 TRASH
A516 UNIT A1
A518 UNIT B2
A520 UNIT A5
A583 STOR.
A522 UNIT C5
B501 UNIT B2
ST3-L05 STAIR 3
B502 UNIT C2
B503 UNIT A1
B504 UNIT S1
B505 UNIT A1
B580 STORAGE
EV3-L05 ELEV 3
B540 ELECTRICAL/IDF
B510 UNIT B2
B512 UNIT B1
B514 UNIT A1
B516 UNIT C3
B560 TRASH
B583 STORAGE
ST4-L05 STAIR 4
B522 UNIT A1
B521 UNIT B1
B520 UNIT A1
B518 UNIT S1
B519 UNIT S1
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B525 UNIT A1
B527 UNIT B1
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B531 UNIT A1
SHAFT
ST5-L05 STAIR 5
B537 UNIT C2
B540 IDF
B536 UNIT C2
B534 UNIT B1
B535 UNIT A1
B533 UNIT A1
B532 UNIT S1
B507 UNIT C2
B508 UNIT A1
B509 UNIT B2
B511 UNIT A1
B513 UNIT B1
B515 UNIT B2
B523 UNIT C1
B524 UNIT B2
B526 UNIT B2
EV4-L05 ELEV 4
B528 UNIT A1
B530 UNIT C2
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64'-11"
79'-6"
225'-0"
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26'-0"
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A606
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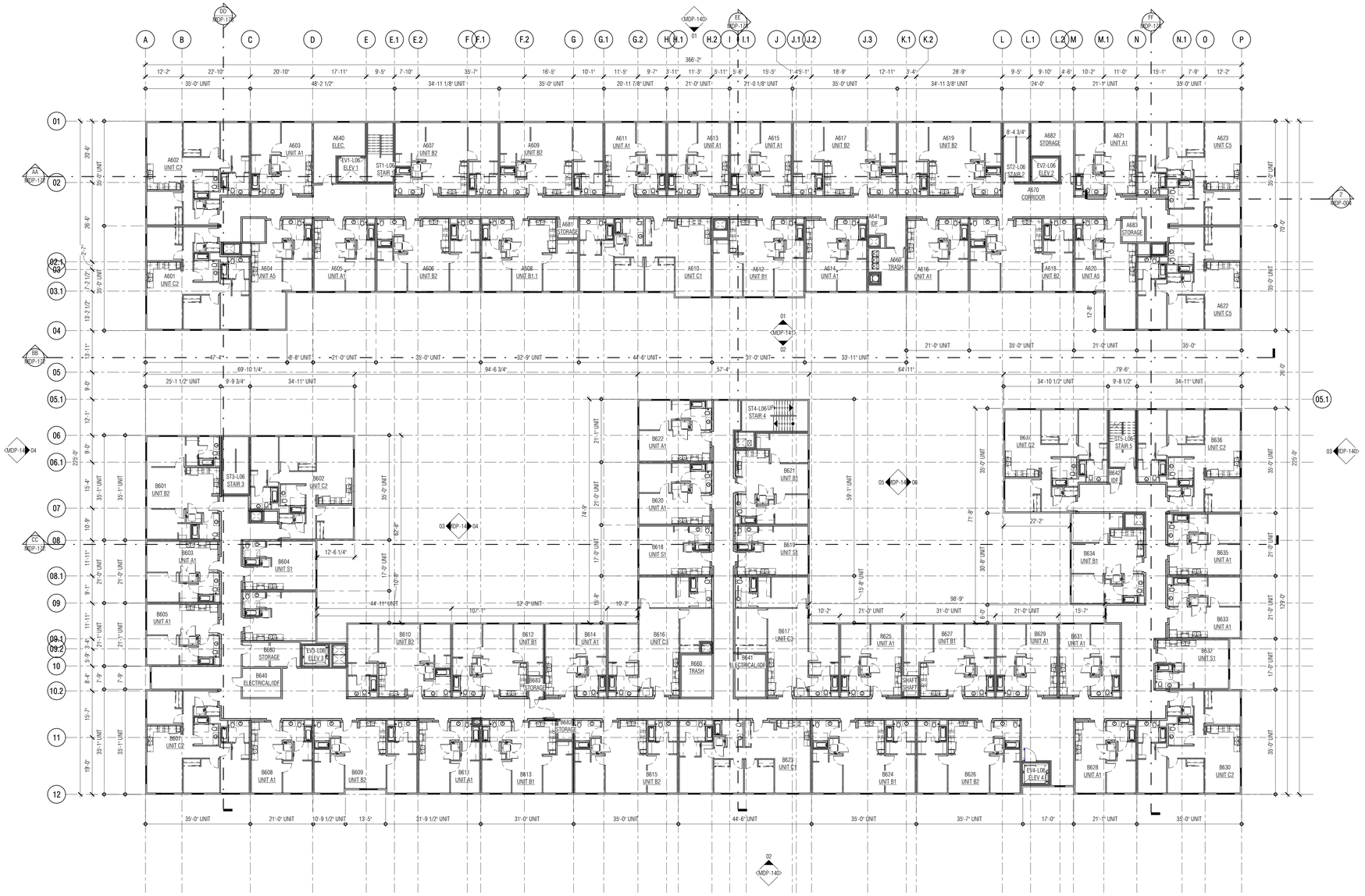


01 L6 FLOOR PLAN - OVERALL

SCALE: 1/16" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1010 S GRAND, STE C SPOKANE, WA 99203

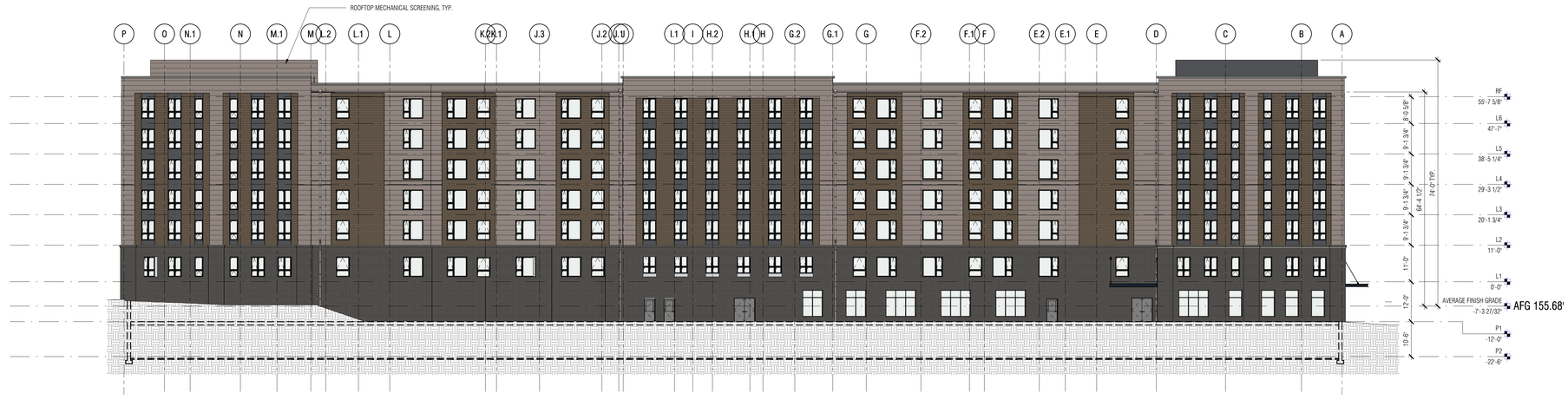
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - L06 OVERALL FLOOR PLAN

MDP-107

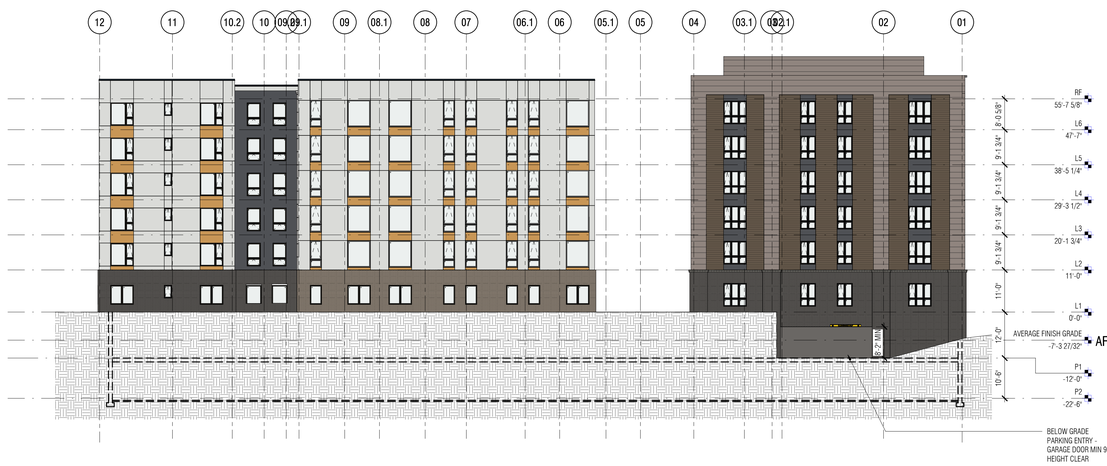


01 NORTH ELEVATION - OVERALL

SCALE: 1/16" = 1'-0"

02 SOUTH ELEVATION - OVERALL

SCALE: 1/16" = 1'-0"



03 EAST ELEVATION - OVERALL

SCALE: 1/16" = 1'-0"

04 WEST ELEVATION - OVERALL

SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1010 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - EXTERIOR ELEVATIONS

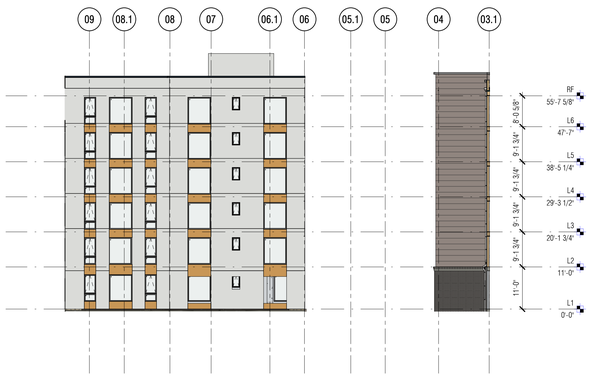
MDP-140

01 COURTYARD - NORTH OVERALL

SCALE: 1/16" = 1'-0"

02 COURTYARD - SOUTH OVERALL

SCALE: 1/16" = 1'-0"



03 COURTYARD SW - WEST

SCALE: 1/16" = 1'-0"

04 COURTYARD SW - EAST

SCALE: 1/16" = 1'-0"

05 COURTYARD SE - WEST

SCALE: 1/16" = 1'-0"

06 COURTYARD SE - EAST

SCALE: 1/16" = 1'-0"

MATERIAL LEGEND

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1031 ELRAND, STE C SPOKANE, WA 99003

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - EXTERIOR ELEVATIONS

MDP-141

MDP RESUBMITTAL #2

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

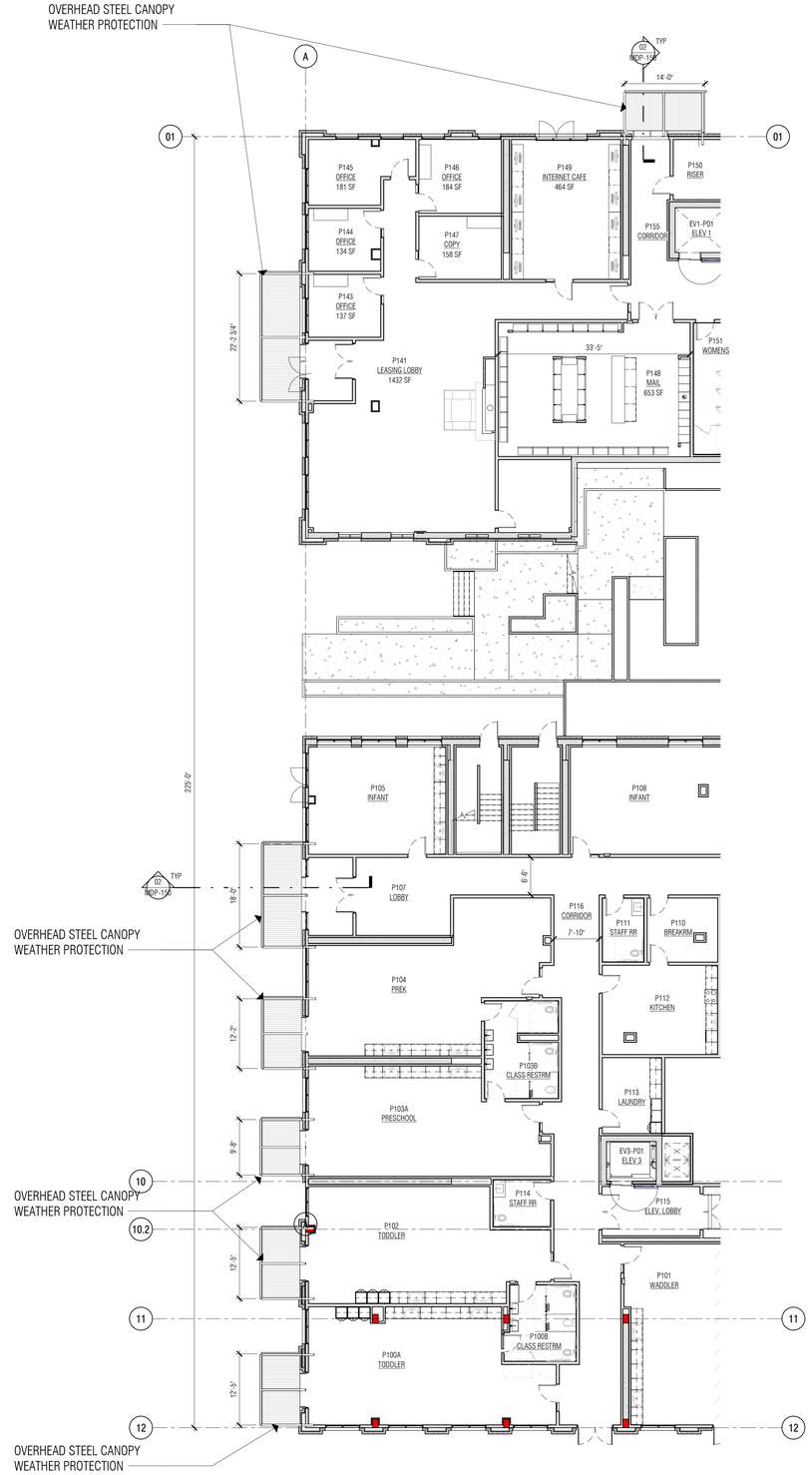
OLSON PROJECTS
3707 E GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

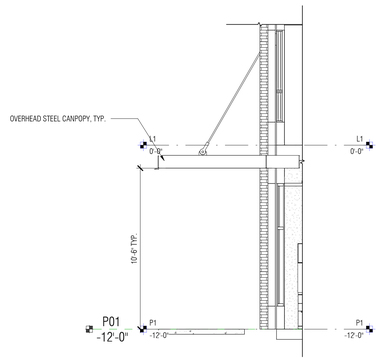
PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - 3D IMAGES

MDP-142



01 P01 PARTIAL FLOOR PLAN - CANOPIES
SCALE: 3/32" = 1'-0"



02 SECTION AT CANOPY
SCALE: 1/4" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
STOY E GRAND, STE C SPOKANE, WA 99223

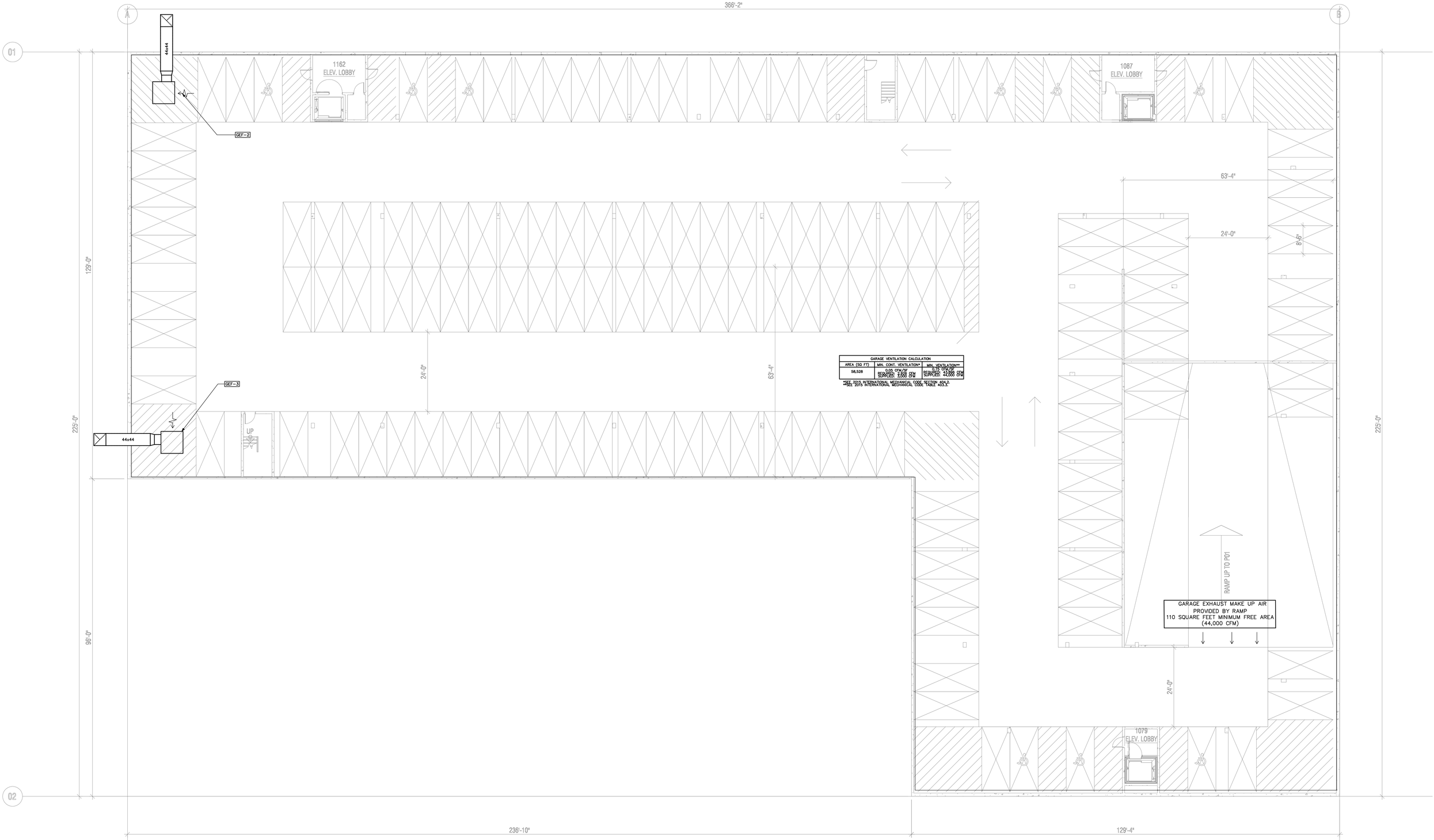
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - P01 CANOPIES

MDP-150



GARAGE VENTILATION CALCULATION:		
AREA (SQ FT)	MIN. CONT. VENTILATION*	MIN. VENTILATION**
58,528	0.05 CFM/SF REQUIRED: 2,926 CFM SUPPLIED: 5,000 CFM	0.75 CFM/SF REQUIRED: 43,900 CFM SUPPLIED: 44,000 CFM

*SEE 2015 INTERNATIONAL MECHANICAL CODE SECTION 403.3.C.
**SEE 2015 INTERNATIONAL MECHANICAL CODE TABLE 403.3.1

PLAN NOTES:

UNIT A1 = UNIT TYPE. UNIT TYPE A1 FOR EXAMPLE.

D300 = ENLARGED PLAN. FOR EXAMPLE, REFER TO DETAIL 1 ON DRAWING DWG M300.

FOR DUCT SIZING WITHIN UNITS, REFER TO ENLARGED UNIT PLANS ON DWGS M300–M301, & DWGS M304–305.

FLAG NOTES:

1. HVAC CONTRACTOR SHALL PROVIDE SHEET METAL DRAIN PAN BELOW CONDENSERS WITH A ¾" DRAIN CONNECTION. DRAIN PIPING PROVIDED BY PLUMBING CONTRACTOR.
2. INSTALL FIRE RATED LOUVER IN DOOR. ACTIVAIR INC. MODEL 1900A 2424.
3. PROVIDE 3–HR RATED AND LISTED FIRE/SMOKE DAMPER AT FLOOR PENETRATION.

GARAGE NOTES:

CO = CARBON MONOXIDE SENSOR (MOUNT CO SENSOR 60" AFF.)

NO2 = NITROGEN DIOXIDE SENSOR (MOUNT NO SENSOR 60" AFF.)

CO AND NO SENSORS TO BE CONNECTED TO GEF–1. SENSORS TO TIE INTO FAN OPERATION.

#	DESCRIPTION	DATE
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3727 S GRAND, STE C SPOKANE, WA 99203
+ hoist. +

EASTGATE HOUSING CAMPUS
13620 SE EASTGATE WAY, BELLEVUE, WA, 98005

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	10/04/19

PHASE I POLARIS - P02 LEVEL OVERALL PLAN - MECH

MDP-160

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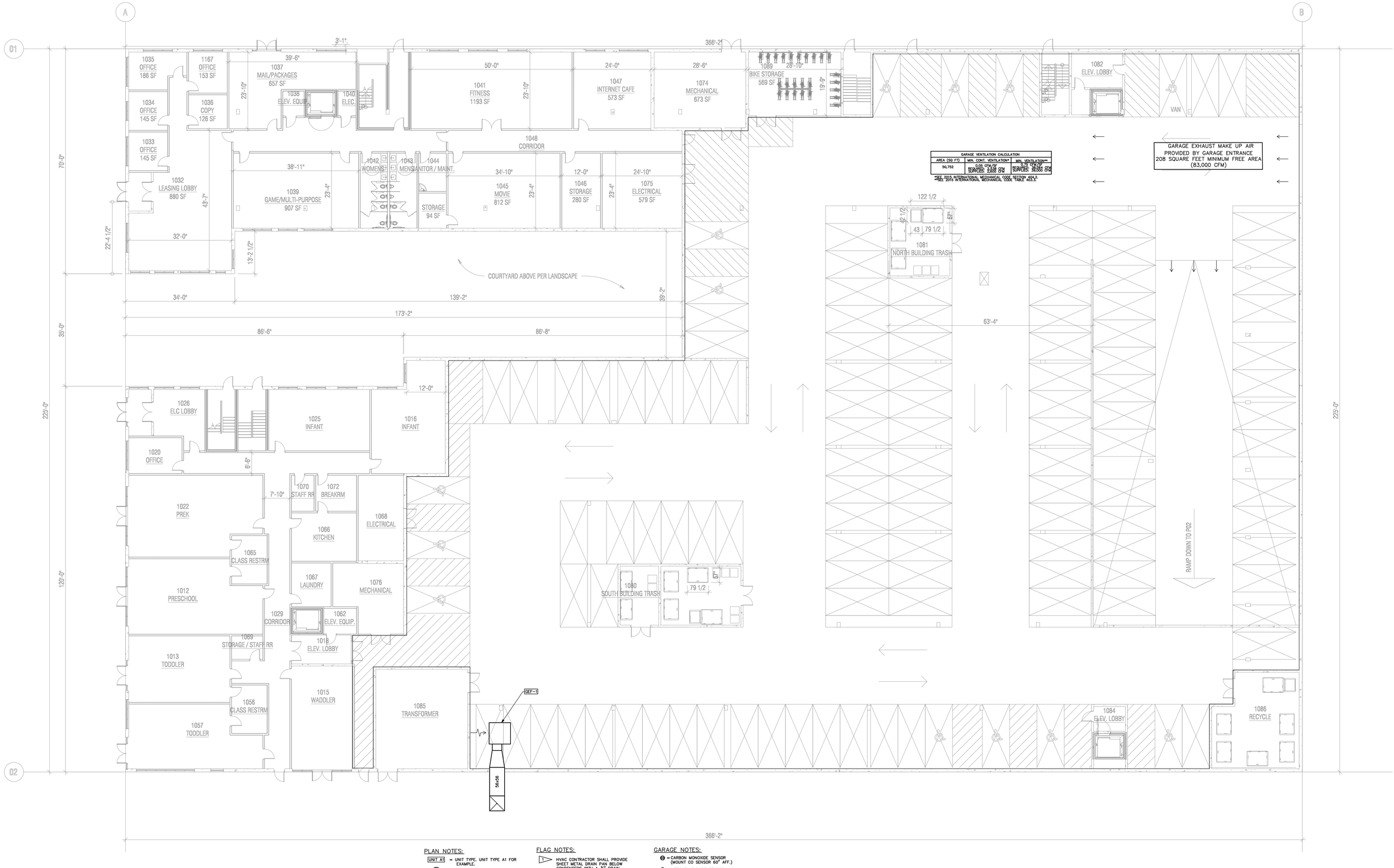
R:\WORKS 2\2007-051 POLARIS AT EASTGATE, BELLEVUE, WA\DWG\MDP-160.DWG 10-22-2020 09:48



PLAN NOTES:

UNIT A1 = UNIT TYPE. UNIT TYPE A1 FOR EXAMPLE.

D300 = ENLARGED PLAN. FOR EXAMPLE, REFER TO DETAIL 1 ON DRAWING DWG M300.

FOR DUCT SIZING WITHIN UNITS, REFER TO ENLARGED UNIT PLANS ON DWGS M300–M301, & DWGS M304–305.

FLAG NOTES:

1. HVAC CONTRACTOR SHALL PROVIDE SHEET METAL DRAIN PAN BELOW CONDENSERS WITH A ¾" DRAIN CONNECTION. DRAIN PIPING PROVIDED BY PLUMBING CONTRACTOR.
2. INSTALL FIRE RATED LOUVER IN DOOR. ACTIVAIR INC. MODEL 1900A 2424.
3. PROVIDE 3–HR RATED AND LISTED FIRE/SMOKE DAMPER AT FLOOR PENETRATION.

GARAGE NOTES:

CO = CARBON MONOXIDE SENSOR (MOUNT CO SENSOR 60" AFF.)

NO2 = NITROGEN DIOXIDE SENSOR (MOUNT NO SENSOR 60" AFF.)

CO AND NO SENSORS TO BE CONNECTED TO GEF–1. SENSORS TO TIE INTO FAN OPERATION.

#	DESCRIPTION	DATE
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS 2707 S GRAND, STE C SPOKANE, WA 99203 + hoist. +

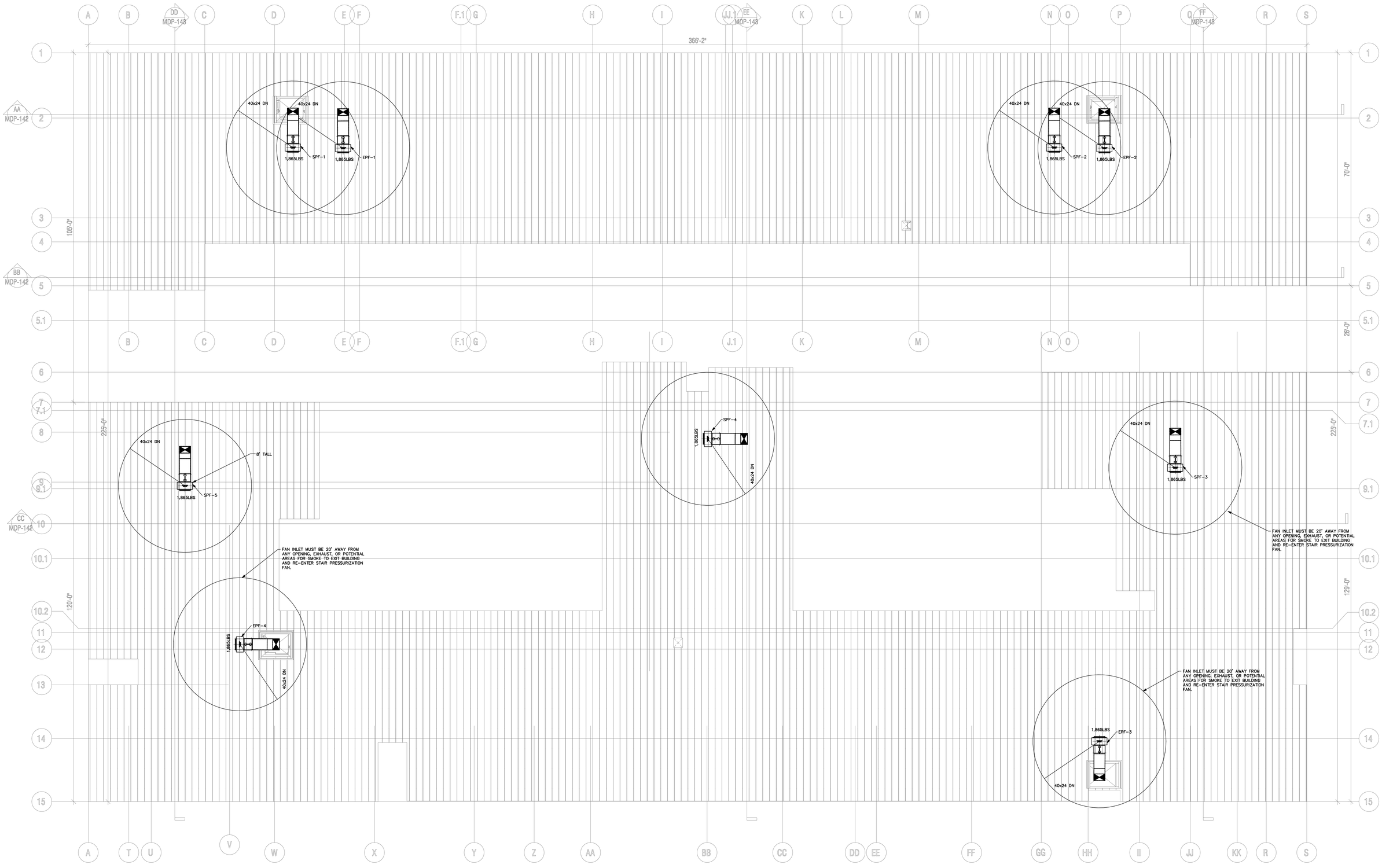
EASTGATE HOUSING CAMPUS
13620 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #: 1910
DRAWN: OP
CHECKED: OP
DATE: 10/04/19

PHASE I POLARIS - P01 LEVEL OVERALL PLAN - MECH

MDP-161

COPYRIGHT 2020, EMERALD CITY ENGINEERS, INC.
M:\WORKS 2\2007-051 POLARIS AT EASTGATE, BELLEVUE, WA\DWG\MDP-161.DWG 10-22-2020 08:35



#	DESCRIPTION	DATE
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

+ hoist. +

EASTGATE HOUSING CAMPUS
13620 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	10/04/19

PHASE I POLARIS - ROOF OVERALL PLAN - MECH

MDP-162

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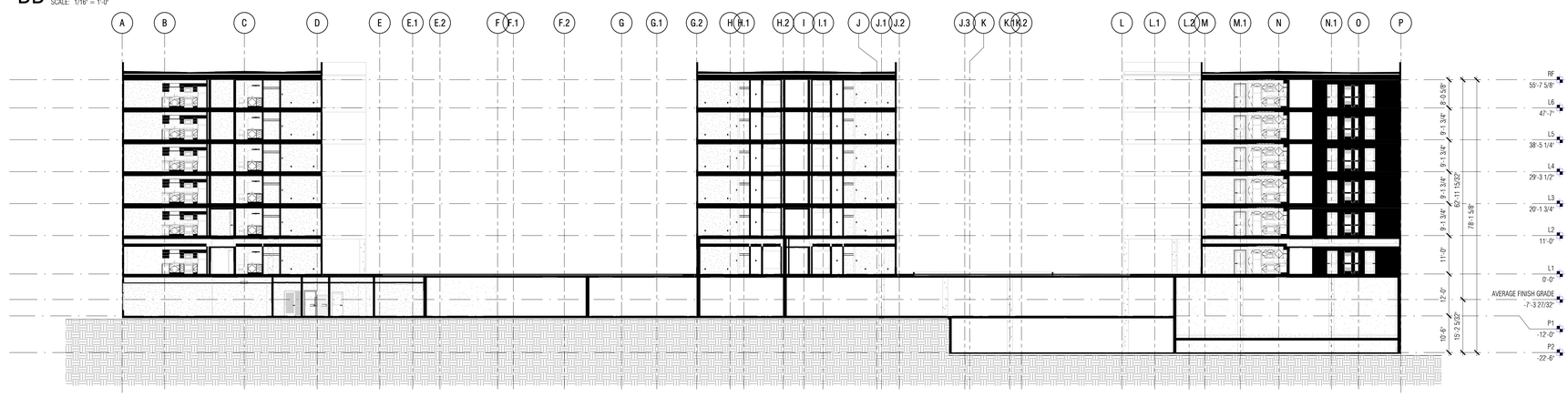
RMORRIS J:\2007-051 POLARIS AT EASTGATE, BELLEVUE, WA\DWG\MDP-162.DWG 10-22-2020 08:35

AA BUILDING SECTION

SCALE: 1/16" = 1'-0"

BB BUILDING SECTION

SCALE: 1/16" = 1'-0"



CC BUILDING SECTION

SCALE: 1/16" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1107 S GRAND, STE C SPOKANE, WA 99203

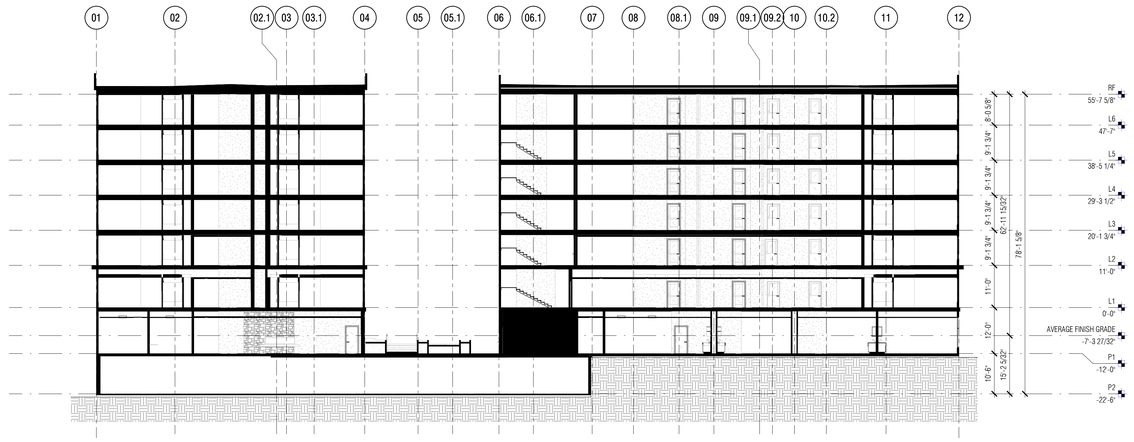
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

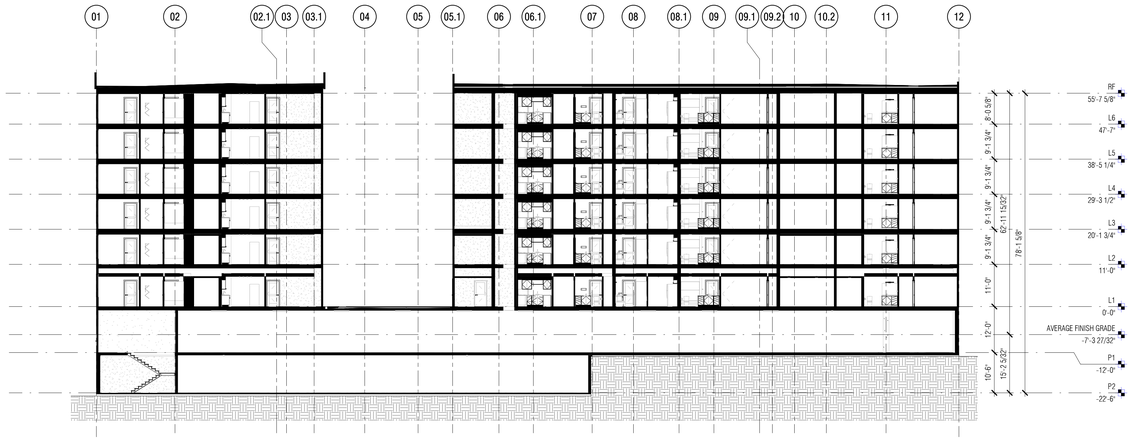
PHASE I POLARIS - BUILDING SECTIONS

MDP-172



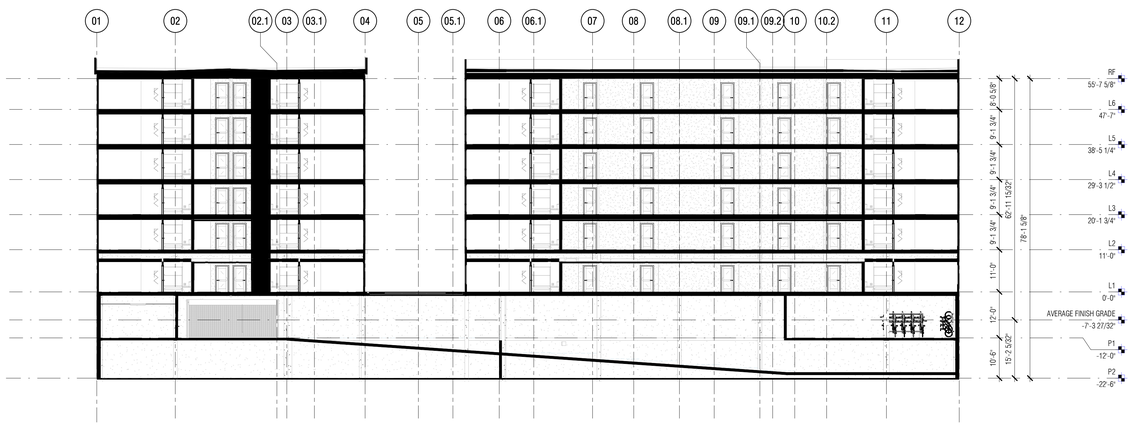
DD BUILDING SECTION

SCALE: 1/16" = 1'-0"



EE BUILDING SECTION

SCALE: 1/16" = 1'-0"



FF BUILDING SECTION

SCALE: 1/16" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 E GRAND, STE C
SPOKANE, WA 99223

POLARIS AT EASTGATE

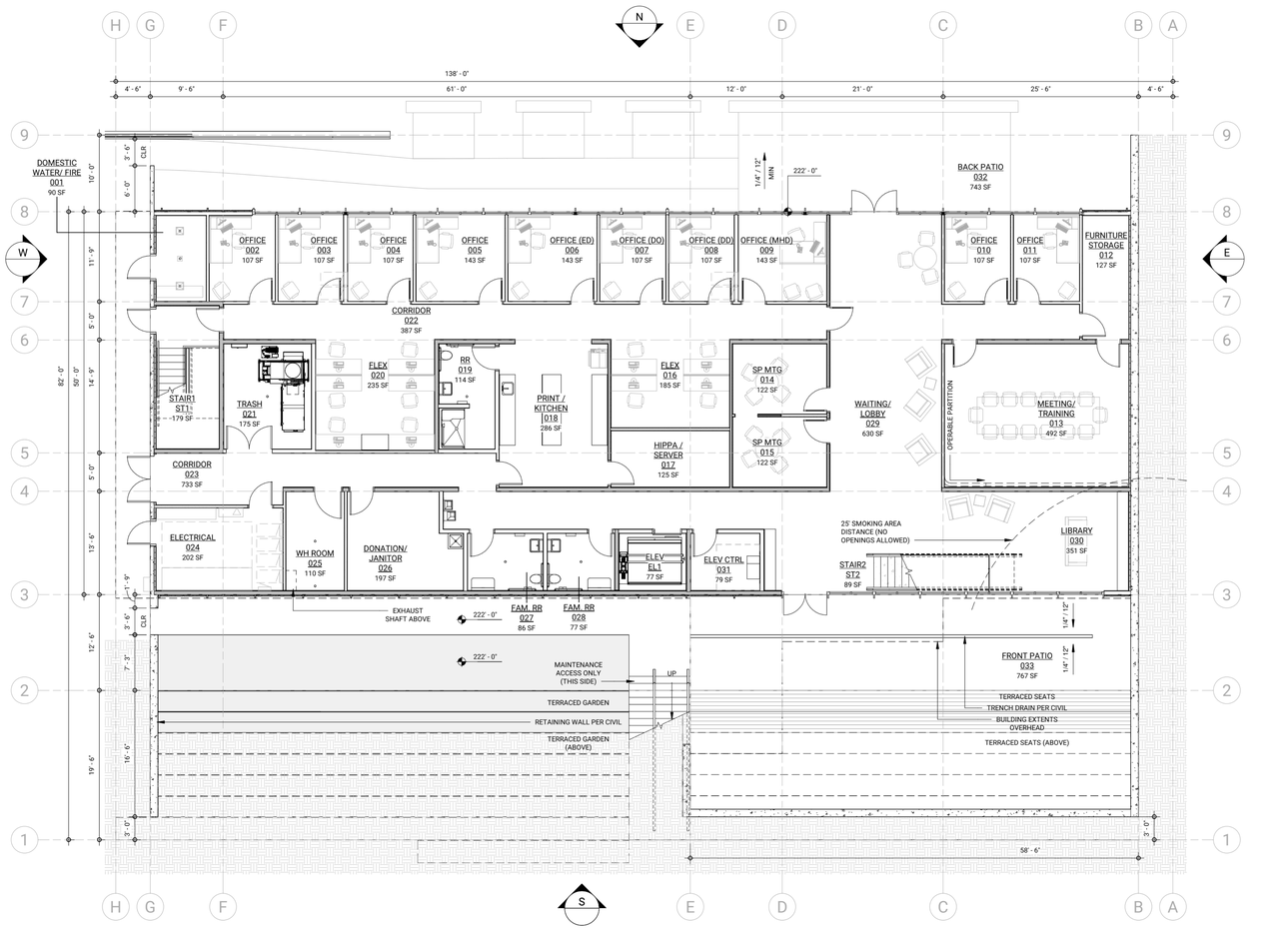
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	OP
CHECKED:	OP
DATE:	01/11/21

PHASE I POLARIS - BUILDING SECTIONS

MDP-173



LO PLAN

1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
2007 S GRAND, STE C SPOKANE, WA 99203

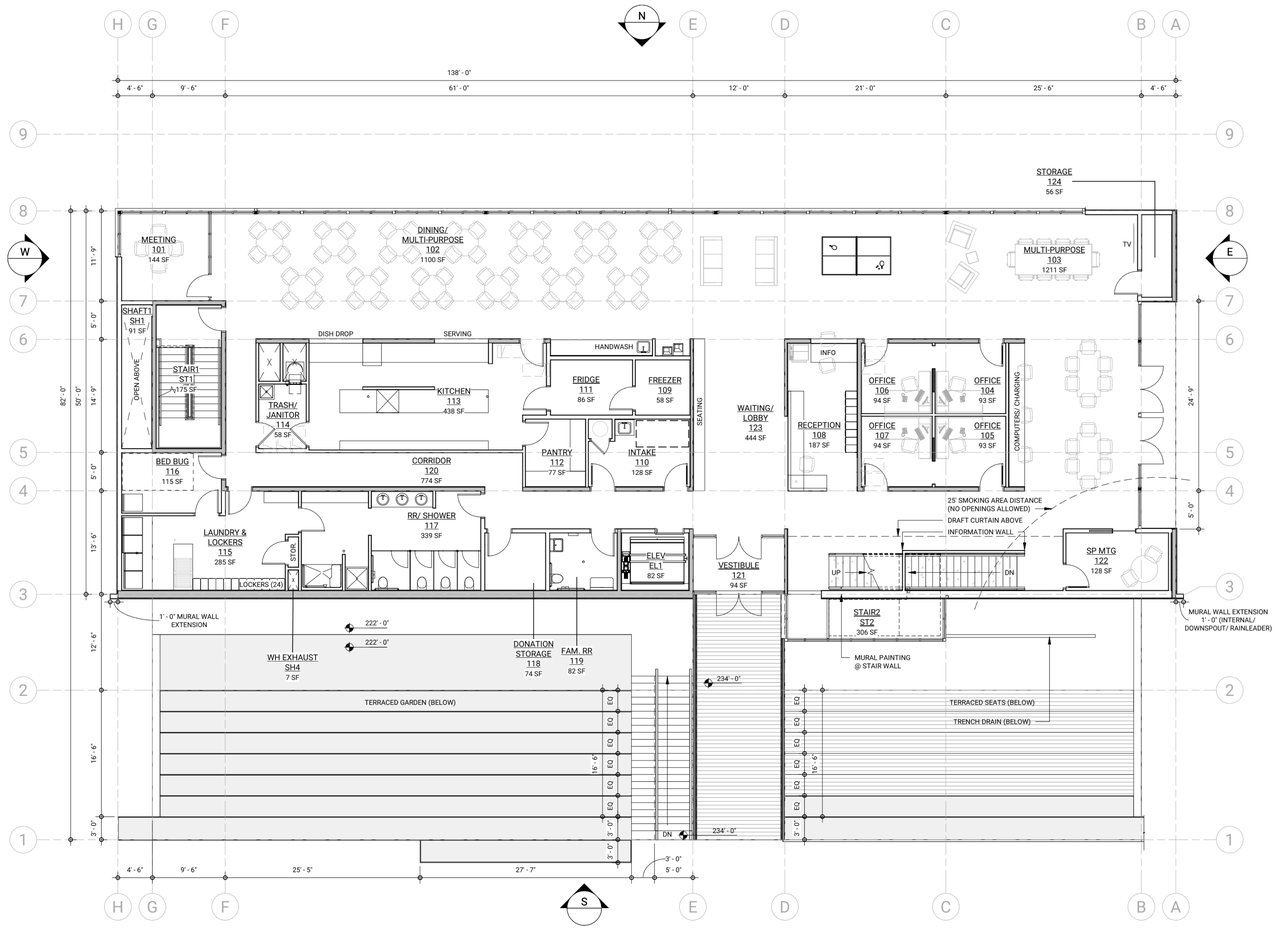
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	--
CHECKED:	--
DATE:	01/11/21

PHASE II CFH - LO OVERALL FLOOR PLAN

MDP-200



L1 PLAN

1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
2707 S GRAND, STE C SPOKANE, WA 99203

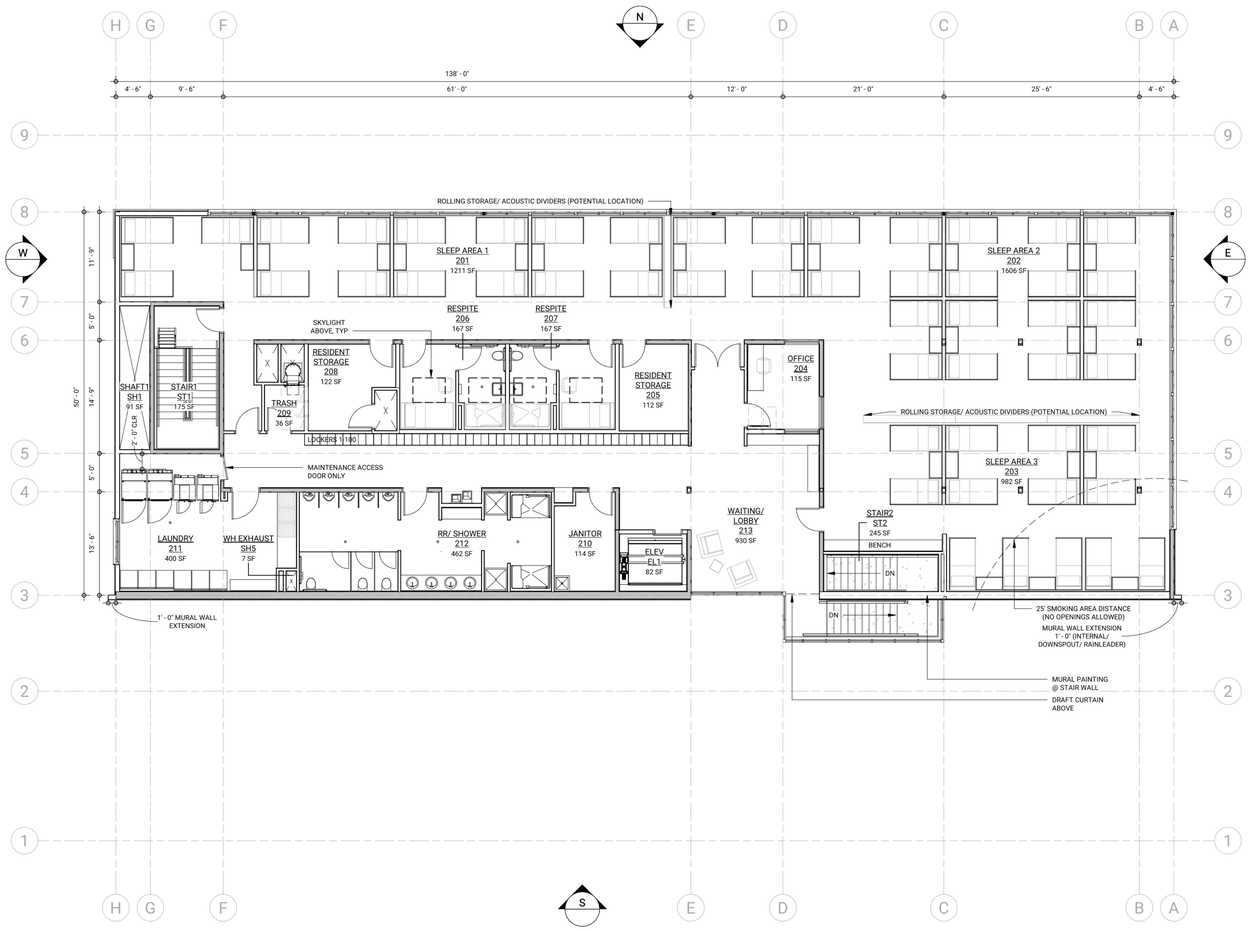
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA. 98005

MDP RESUBMITTAL #2

PROJ. #: 1910
DRAWN: ---
CHECKED: ---
DATE: 01/11/21

PHASE II CFH - L1 OVERALL FLOOR PLAN

MDP-201



L2 PLAN
1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
SPOKANE, WA 99201

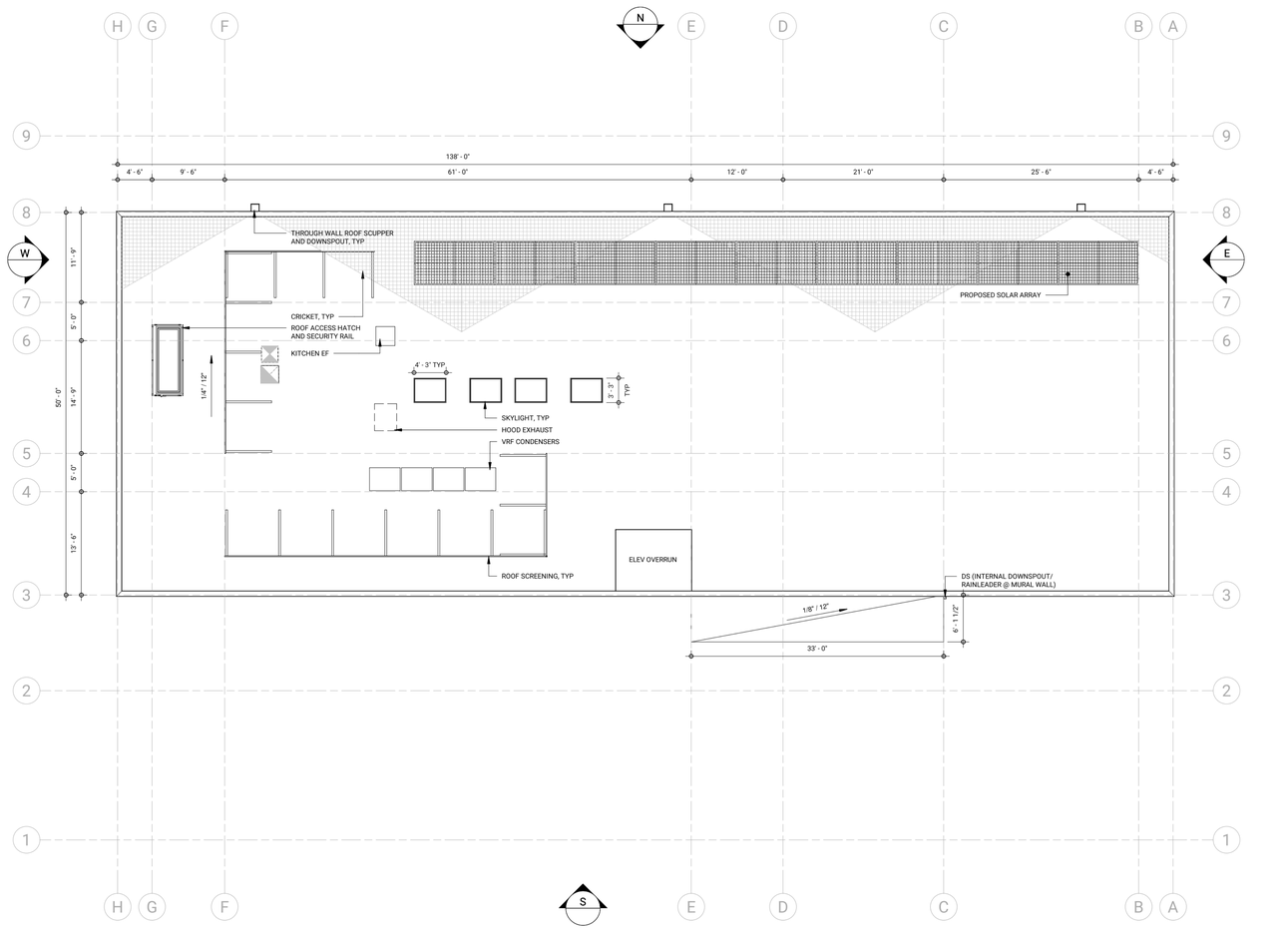
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	--
CHECKED:	--
DATE:	01/11/21

PHASE II CFH - L2 OVERALL FLOOR PLAN

MDP-202



ROOF PLAN

1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
2707 E GRAND, STE C SPOKANE, WA 99202

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

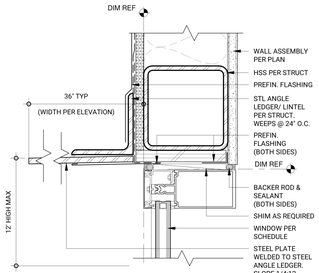
PROJ. #:	1910
DRAWN:	--
CHECKED:	--
DATE:	01/11/21

PHASE II CFH - ROOF OVERALL PLAN

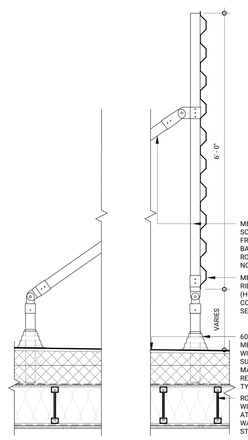
MDP-203

MATERIAL LEGEND

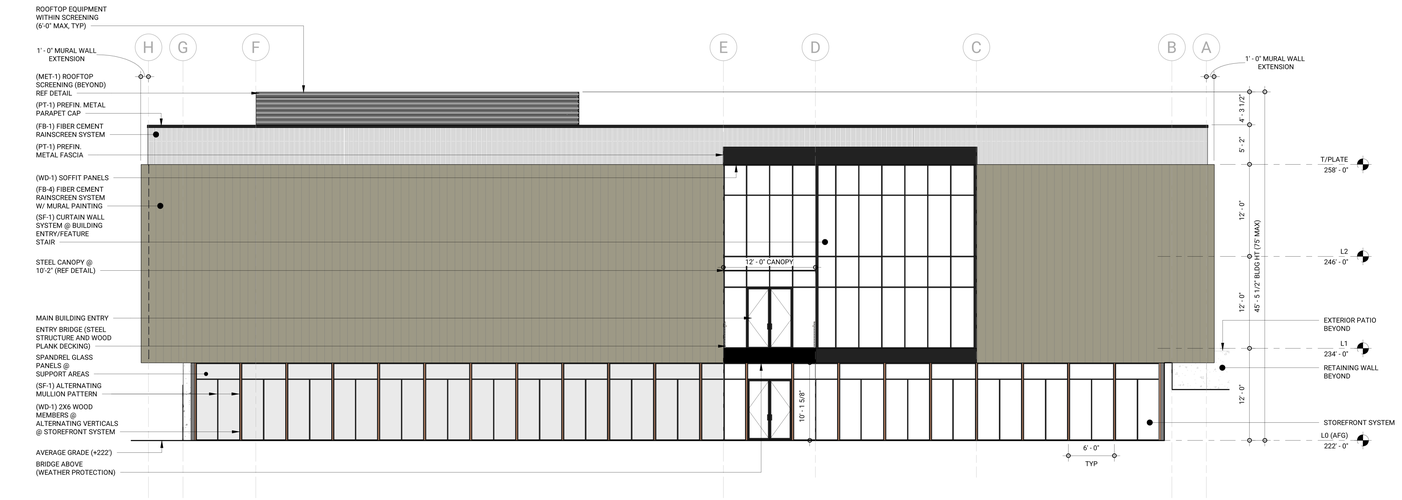
	FB-1	FIBER CEMENT PANEL - RIBBED BLACK
	FB-3	FIBER CEMENT PANEL - WOOD PLANK SPRUCE
	FB-4	FIBER CEMENT PANEL - FLAT MURAL PAINT FINISH (TBD)
	SF-1	STOREFRONT/ CURTAINWALL MULLIONS DARK BRONZE
	PT-1	TRIM, FASCIA, FLASHING PAINT: TO MATCH STOREFRONT
	PT-2	PAINT TO MATCH FB-1
	MET-1	PERFORATED MTL PANEL ROOF SCREEN, CORRUGATED SATIN FINISH
	WD-1	SOFFIT PANELS & EXPOSED WOOD MEMBER "FINS"



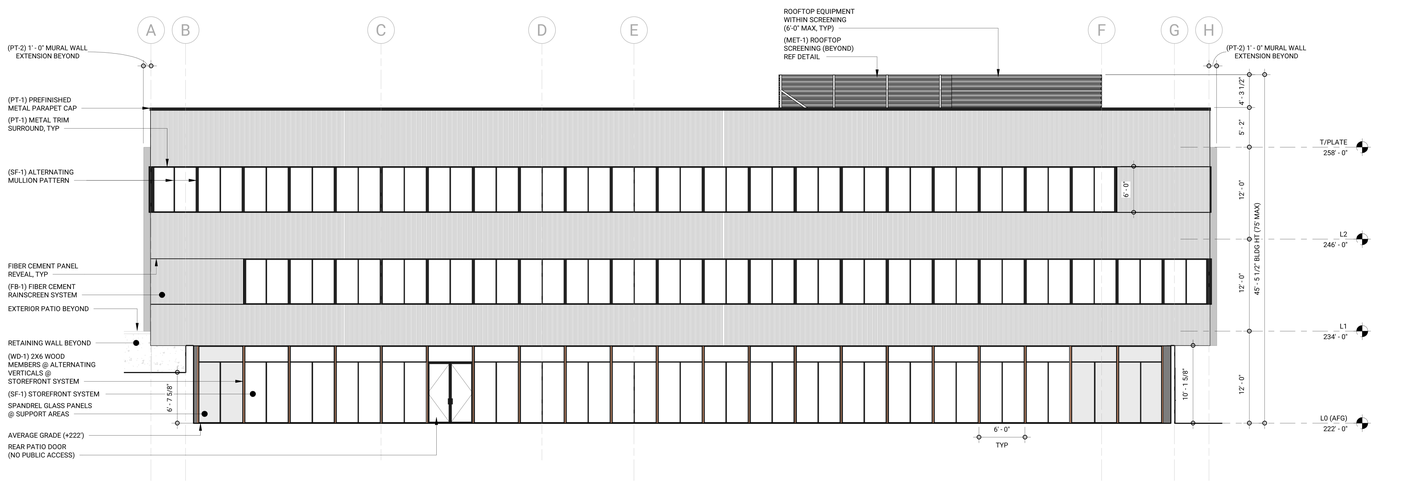
01 CANOPY DETAIL
3" = 1'-0"



02 ROOFTOP SCREENING
3/4" = 1'-0"



SELEVATION
1/8" = 1'-0"



N ELEVATION
1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1707 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

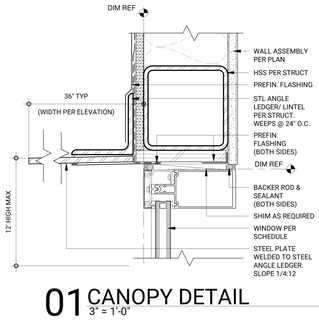
PROJ. #:	1910
DRAWN:	---
CHECKED:	---
DATE:	01/11/21

PHASE II CFH - EXTERIOR ELEVATIONS

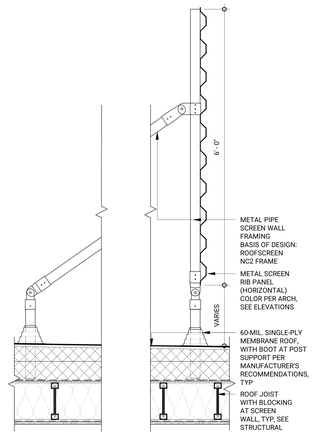
MDP-240

MATERIAL LEGEND

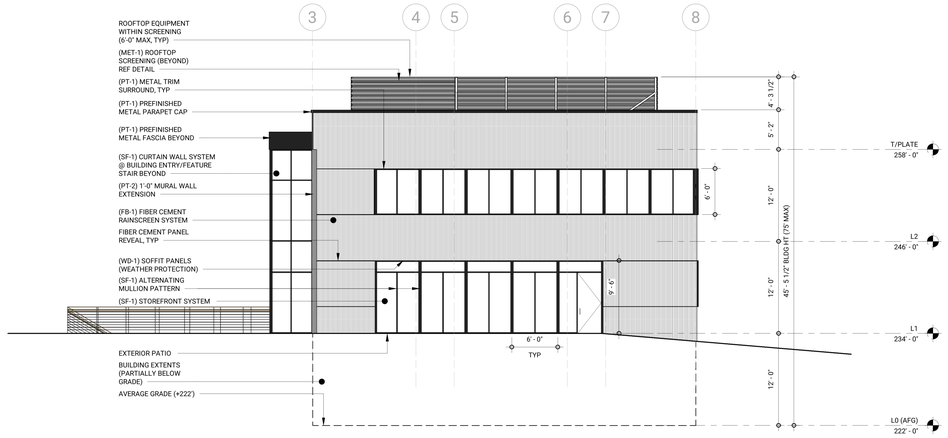
	FB-1	FIBER CEMENT PANEL - RIBBED BLACK
	FB-3	FIBER CEMENT PANEL - WOOD PLANK SPRUCE
	FB-4	FIBER CEMENT PANEL - FLAT MURAL PAINT FINISH (TBD)
	SF-1	STOREFRONT/ CURTAINWALL MULLIONS DARK BRONZE
	PT-1	TRIM, FASCIA, FLASHING PAINT: TO MATCH STOREFRONT
	PT-2	PAINT TO MATCH FB-1
	MET-1	PERFORATED MTL PANEL ROOF SCREEN, CORRUGATED SATIN FINISH
	WD-1	SOFFIT PANELS & EXPOSED WOOD MEMBER "FINS"



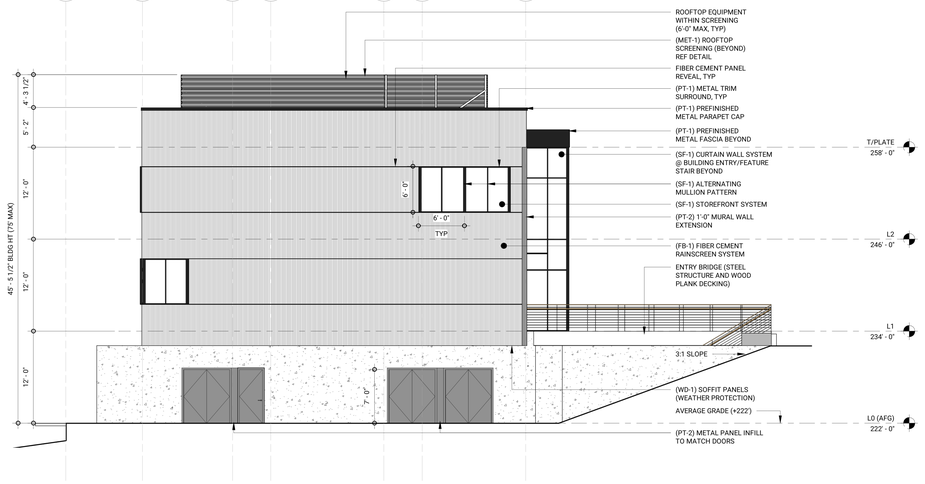
01 CANOPY DETAIL
3" = 1'-0"



02 ROOFTOP SCREENING
3/4" = 1'-0"



E ELEVATION
1/8" = 1'-0"



W ELEVATION
1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1707 S GRAND, STE C SPOKANE, WA 99203

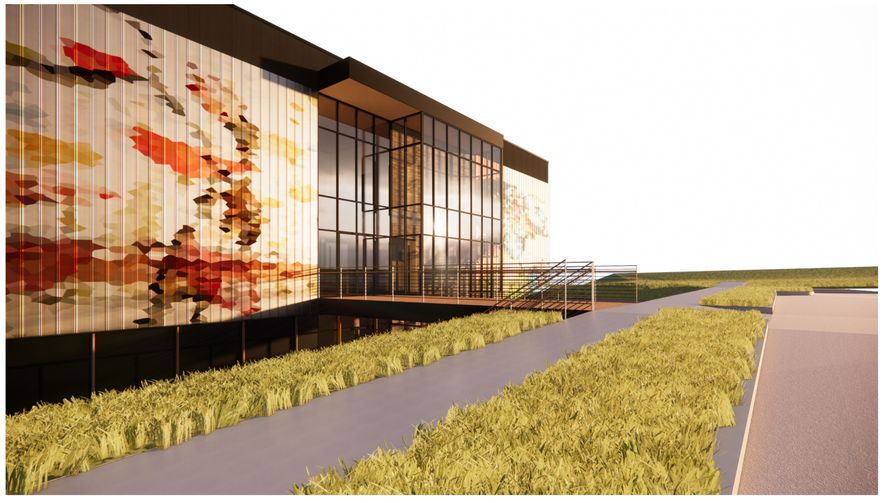
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

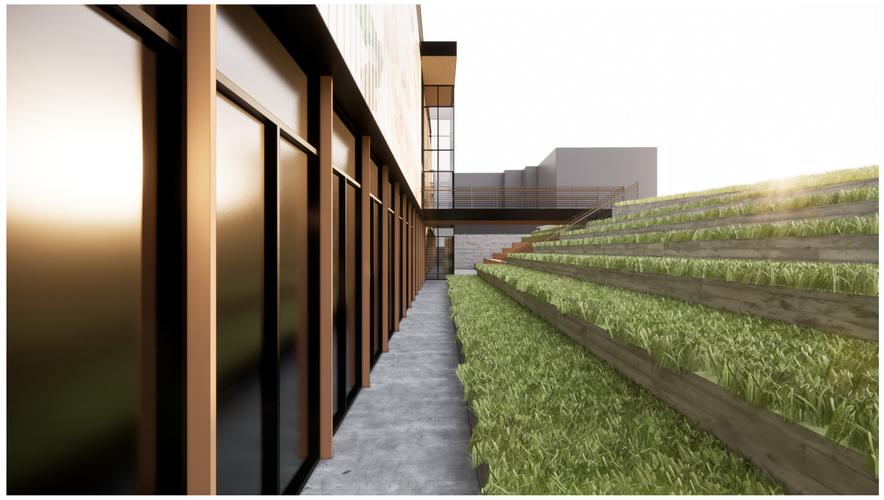
MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	---
CHECKED:	---
DATE:	01/11/21

PHASE II CFH - EXTERIOR ELEVATIONS

MDP-241





#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3327 ELGIN, STE C SPOKANE, WA 99205

POLARIS AT EASTGATE

13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #: 1910
DRAWN: --
CHECKED: --
DATE: 01/11/21

PHASE II CFH - 3D IMAGES

MDP-242

L1 PLAN

1/8" = 1'-0"

0 2' 4' 6' 8' 16' 24'

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1010 S GRAND, STE C SPOKANE, WA 99203

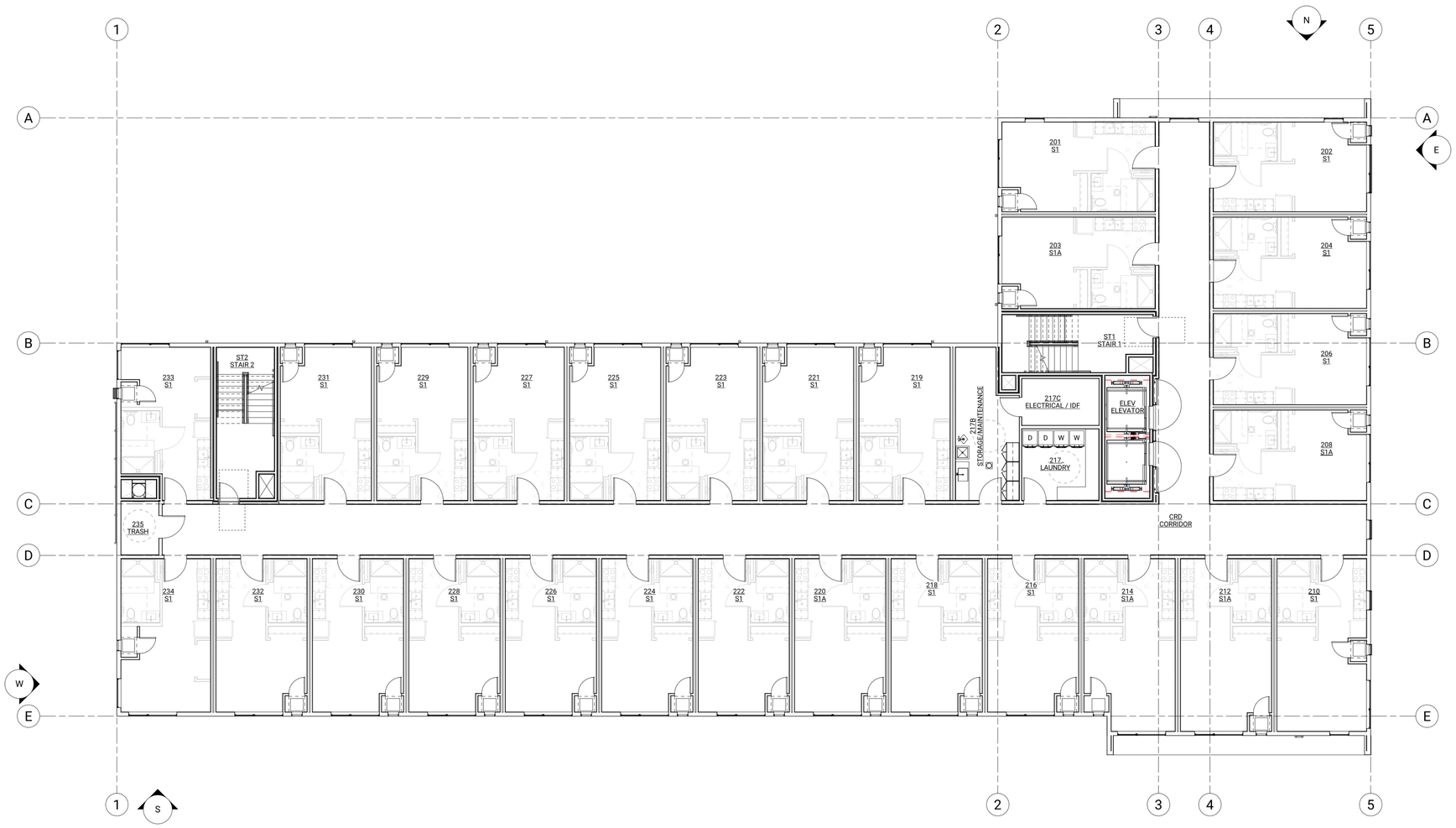
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #: 1910
DRAWN: ---
CHECKED: ---
DATE: 01/11/21

PHASE III PSH - L1 OVERALL FLOOR PLAN

MDP-301



L2 PLAN (L3-L4 SIMILAR)

1/8" = 1'-0"

0 2' 4' 6' 8' 16' 24'

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
1010 S GRAND, STE C SPOKANE, WA 99203

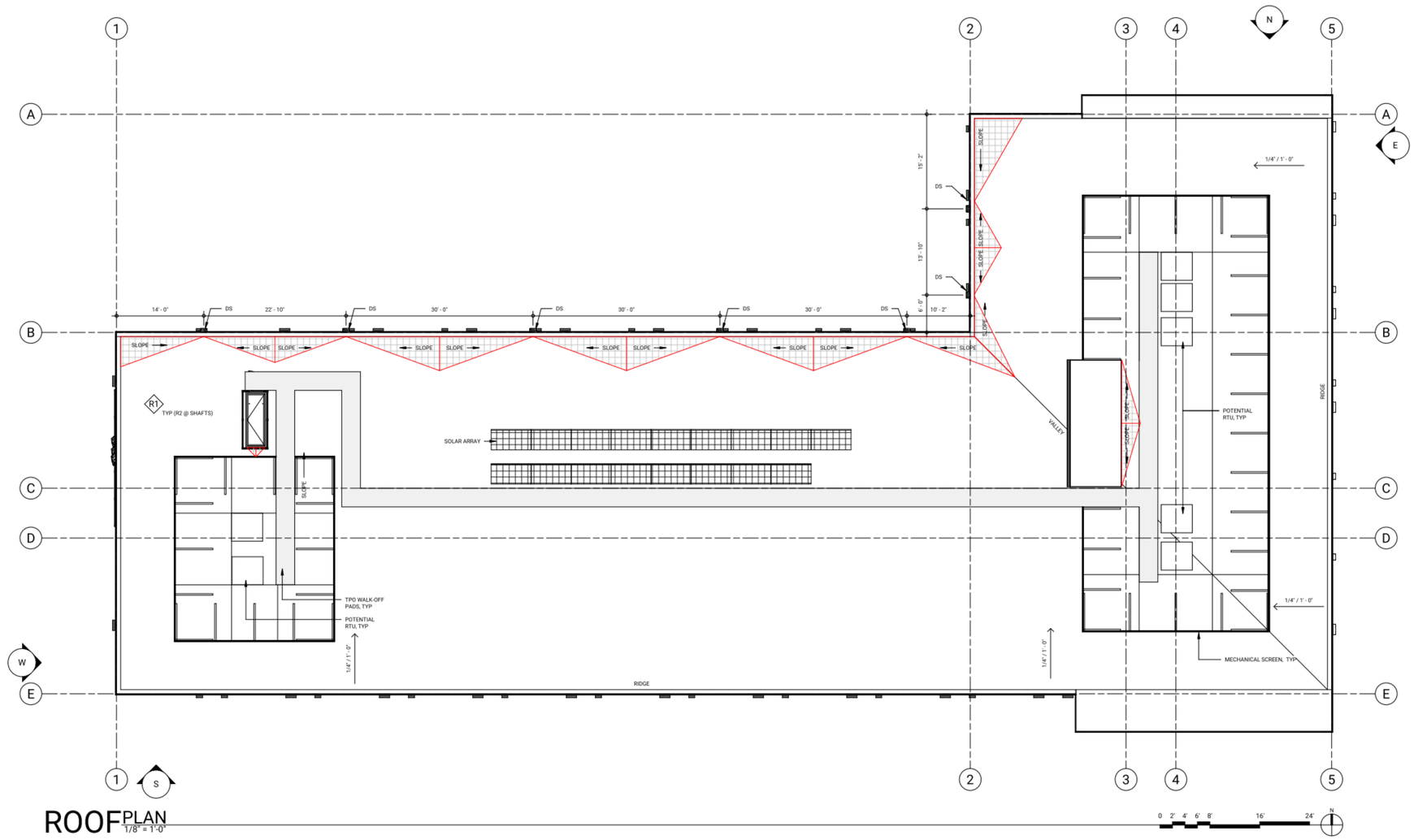
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #: 1910
DRAWN: ---
CHECKED: ---
DATE: 01/11/21

PHASE III PSH - L2-L4 OVERALL FLOOR PLAN

MDP-302



ROOF PLAN

1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021

OLSON PROJECTS
1010 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

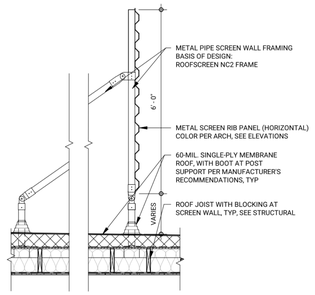
PROJ. #: 1910
DRAWN: Author
CHECKED: Checker
DATE: 01/11/21

PHASE III PSH - OVERALL ROOF PLAN

MDP-303

MATERIAL LEGEND

FB-1	FIBER CEMENT PANEL - RIBBED	BLACK
FB-2	FIBER CEMENT PANEL - RIBBED	WHITE
FB-3	FIBER CEMENT PANEL - WOOD PLANK	
SF-1	STOREFRONT MULLIONS	DARK BRONZE
PT-1	SOFFITS, TRIM, FASCIA, FLASHING	PAINT: TO MATCH STOREFRONT
PT-2	PAINT TO MATCH FB-1	
MET-1	PERFORATED MTL PANEL	ROOF SCREEN, CORRUGATED SATIN FINISH
GS-1	GREEN SCREEN	



01 SECTION @SCREEN WALL
1/2" = 1'-0"

E ELEVATION
1/8" = 1'-0"

N ELEVATION
1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 E GRAND, STE C SPOKANE, WA 99003

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

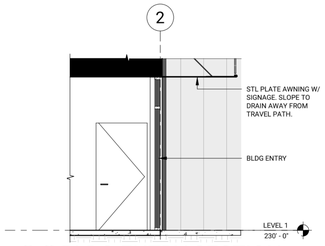
PROJ. #:	1910
DRAWN:	--
CHECKED:	--
DATE:	01/11/21

PHASE III PSH - EXTERIOR ELEVATIONS

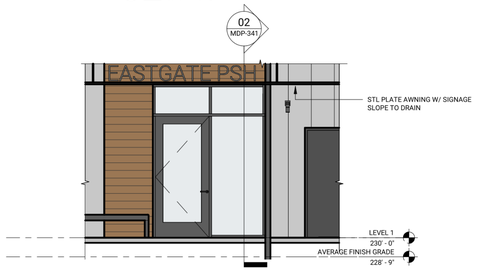
MDP-340

MATERIAL LEGEND

FB-1	FIBER CEMENT PANEL - RIBBED	BLACK
FB-2	FIBER CEMENT PANEL - RIBBED	WHITE
FB-3	FIBER CEMENT PANEL - WOOD PLANK	
SF-1	STOREFRONT MULLIONS	DARK BRONZE
PT-1	SOFFITS, TRIM, FASCIA, FLASHING	PAINT. TO MATCH STOREFRONT
PT-2	PAINT TO MATCH FB-1	
MET-1	PERFORATED MTL PANEL	ROOF SCREEN, CORRUGATED SATIN FINISH
GS-1	GREEN SCREEN	



02 BLDG ENTRY SECTION
1/4" = 1'-0"



01 BLDG ENTRY ELEVATION
1/4" = 1'-0"

W ELEVATION
1/8" = 1'-0"

S ELEVATION
1/8" = 1'-0"

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3707 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	--
CHECKED:	--
DATE:	01/11/21

PHASE III PSH - EXTERIOR ELEVATIONS

MDP-341

SE

S

SW

NW

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
3007 ELDRIDGE, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA, 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	---
CHECKED:	---
DATE:	01/11/21

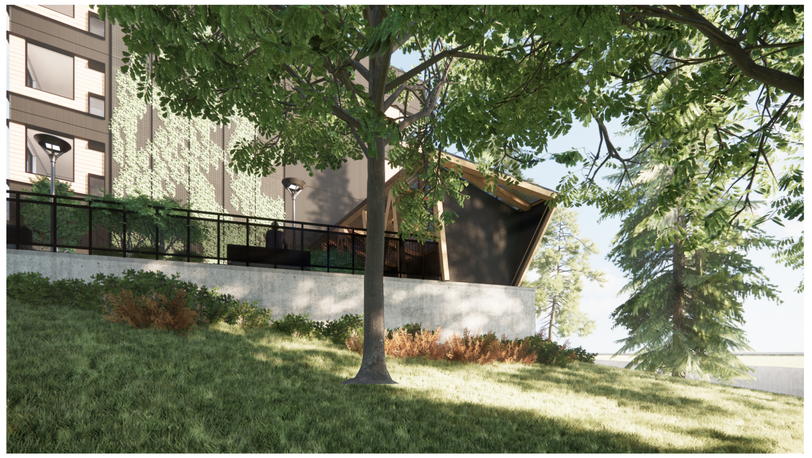
PHASE III PSH - 3D IMAGES

MDP-342

ENTRY

NE
12" = 1'-0"

W AMENITY



W VIEWPOINT

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
2707 E HIGHAND, STE C SPOKANE, WA 99223

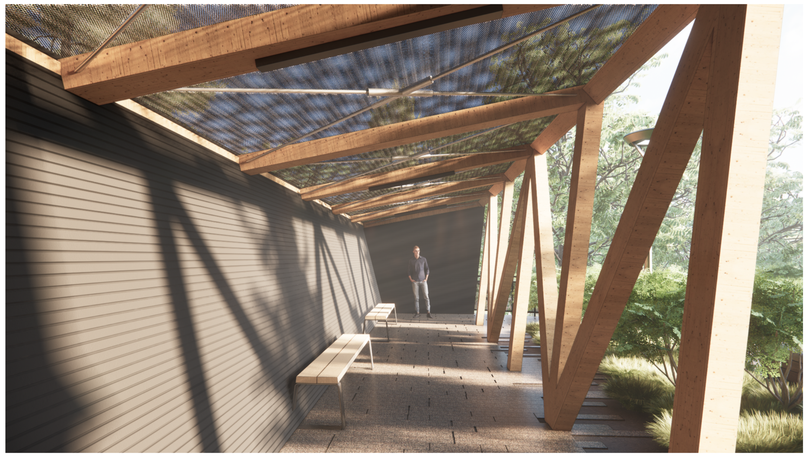
POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA. 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	---
CHECKED:	---
DATE:	01/11/21

PHASE III PSH - 3D IMAGES

MDP-343



VIEWPOINT E ELEV

VIEWPOINT W ELEV

VIEWPOINT N ELEV

VIEWPOINT S ELEV

#	DESCRIPTION	DATE
3	MDP RESUBMITTAL #2	01/11/2021
2	MDP RESUBMITTAL #1	10/22/2020
1	MDP SUBMITTAL	7/31/2020

OLSON PROJECTS
2007 S GRAND, STE C SPOKANE, WA 99203

POLARIS AT EASTGATE
13300 SE EASTGATE WAY, BELLEVUE WA. 98005

MDP RESUBMITTAL #2

PROJ. #:	1910
DRAWN:	Author
CHECKED:	Checker
DATE:	01/11/21

PHASE III PSH - 3D IMAGES

MDP-344

LIGHTING NOTES:
1. ALL SITE LIGHTING IS TO BE CONTROLLED VIA PHOTOCELL.
2. SEE DETAIL 2/E604 FOR SITE LIGHTING POLE BASE.
3. REFER TO ARCHITECTURAL ELEVATIONS FOR BUILDING LIGHT MOUNTING ELEVATIONS.
4. ALL LIGHTS ARE TO BE FULL CUTOFF.

NORTH TOWER
21,679 SF
FFE=163.00 @ L1
FFE=151.00 @ P1
FFE=140.00 @ P2

SOUTH TOWER
32,496 SF
FFE=163.00 @ L1
FFE=151.00 @ P1
FFE=140.00 @ P2

SE EASTGATE WAY
(MAJOR ARTERIAL)

SITE PLAN – LIGHTING
SCALE: 1" = 20'

N

21705 Highway 99
Lynnwood, WA 98036
TEL: 425-741-1200
EMERALD CITY ENGINEERS, INC

ADAM C. FRENCH
STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER

#	DESCRIPTION	DATE

OLSON PROJECTS
2207 S. GRAND, STE C SPOKANE, WA 99203

EASTGATE HOUSING CAMPUS
13620 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #:	2007-051
DRAWN:	AFP
CHECKED:	ACF
DATE:	11/20/20

LOWER BENCH
SITE PLAN LIGHTING

LB-E100

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APAMONAC J:\2007-051 POLARIS AT EASTGATE, BELLEVUE, WA\DWG\E100 – SITE PLAN LTG.DWG 01-12-2021 13:06

LIGHTING NOTES:
1. ALL SITE LIGHTING IS TO BE CONTROLLED VIA PHOTOCELL.
2. SEE DETAIL 2/E604 FOR SITE LIGHTING POLE BASE.
3. REFER TO ARCHITECTURAL ELEVATIONS FOR BUILDING LIGHT MOUNTING ELEVATIONS.
4. ALL LIGHTS ARE TO BE FULL CUTOFF.

NORTH TOWER
21,679 SF
FFE=163.00 @ L1
FFE=151.00 @ P1
FFE=140.00 @ P2

SOUTH TOWER
32,496 SF
FFE=163.00 @ L1
FFE=151.00 @ P1
FFE=140.00 @ P2

SE EASTGATE WAY
(MAJOR ARTERIAL)

SITE PLAN – LIGHTING PHOTOMETRICS

SCALE: 1" = 20'

N

21705 Highway 99
Lynnwood, WA 98036
TEL: 425-741-1200
EMERALD CITY ENGINEERS, INC

ADAM C. FRENCH — STATE OF WASHINGTON — REGISTERED PROFESSIONAL ENGINEER

#	DESCRIPTION	DATE

OLSON PROJECTS
2307 S. GRAND, STE C — SPOKANE, WA 99203

EASTGATE HOUSING CAMPUS
13620 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #:	2007-051
DRAWN:	AFP
CHECKED:	ACF
DATE:	11/20/20

LOWER BENCH
SITE PLAN LIGHTING PHOTOMETRICS
LB-E101

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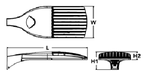
APAMONAC J:\2007-051 POLARIS AT EASTGATE, BELLEVUE, WA\DWG\E101 – SITE PLAN LTG PHOTOMETRICS.DWG 01-12-2021 13:05

D-Series Size 1
LED Area Luminaire



Specifications

EPA: 1.01 ft² (0.09 m²)

Length: 33" (83.8 cm)

Width: 13" (33 cm)

Height H1: 7-1/2" (19 cm)

Height H2: 3-1/2" (8.9 cm)

Weight (max): 27 lbs (12.25 kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX1 LED P2 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX1 LED							
Series	LEDs	Color temperature	Distribution	Voltage	Mounting		
DSX1 LED	**Forward optics** P1 P4 P7 P2 P5 P8 P3 P6 P9 **Rotated optics** P4R[1] P7R[1] P5R[1] P8R[1]	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short T2S Type II short T2M Type II medium T2L Type II short T3M Type III medium T3LG Type III medium T4M Type IV medium T4W Forward throw medium	T4VS Type V very short[1] T5S Type V short[1] T5M Type V medium[1] T5W Type V wide[1] BLC Backlight control[2] LCCO Left corner cutoff[2] RCCO Right corner cutoff[2]	MVOLT[3] VOLT 347V-480V[3,4] 120[5] 208[5] 240[5] 277[5] 347[5] 480[5]	**Shipped included** SPA Square pole mounting RPA Round pole mounting[6] WBA Wall bracket[7] SPUMBA Square pole universal mounting adapter[8] RPUMBA Round pole universal mounting adapter[8] **Shipped separately** KMA8 DDBXD U Mast arm mounting bracket adapter (specify finish)[9]	

Control options		Other options		Finish (required)	
Shipped installed NLTAIR2 nLight AIR generation 2 enabled[10,11] PIRHN Network, high/low, factory set to 100% when unoccupied[12,13] PIR Motion sensor, 8-fixture network, factory set to 100% when occupied, sensor active when ambient ambient ≤ 5fc[12,13] PIRH Same as PIR except mounting height 15'-30' (4.6m-9.1m)[12,13] PIRHFC3V Same as PIR except when ambient ≤ 1fc[12,13] DMG 0-10V dimming wires pulled out of fixture for use with an external control (ordered separately) DS Dual switching[14,15]	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc[12,13] PIRH High/low, motion/ambient sensor, 8-30' mounting height, ambient sensor enabled at 5fc[12,13] PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[12,13] PIRHFC3V Same as PIRH, but with ambient sensor enabled at 1fc[12,13] FAO Field adjustable output[16,17]	**Shipped installed** HS House-side shield[18] SF Single fuse (120, 277, 347V)[19] DF Double fuse (208, 240, 480V)[19] LCW Left corner cutback[1] RCW Right corner cutback[1] PER Five pin receptacle only (Control ordered separately)[20,21] PERT Five pin receptacle, twist-lock (requires ANSI C136.41 twist-lock photocontrol)[20,21] **Shipped separately** BS Bird spikes[22] EGS External ground screw	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white	

D-Series
LED Bollard

Specifications

Diameter: 8" Round (20.3 cm)

Height: 42" (106.7 cm)

Weight (max): 27 lbs (12.25 kg)

Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplight. An optical leap forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

Ordering Information

EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DDBXD

DSXB LED								
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Lens/Optic options	Other options	Finish (required)
DSXB LED	**Asymmetric** 12C 12 LEDs[1] **Symmetric** 16C 16 LEDs[1]	350 350mA 450 450mA[1] 530 530mA 700 700mA	30K 3000K 40K 4000K 50K 5000K AMBPC Amber phosphor converted AMBLW Amber limited wavelength[2]	ASY Asymmetric[1] SYM Symmetric[1]	MVOLT[3] 120[4] 208[4] 240[4] 277[4] 347[4]	**Shipped included** PE Photoelectric cell, button type DMG 0-10V dimming wires pulled out of fixture for use with an external control (ordered separately) ELCW Emergency battery backup[5]	**Shipped included** SF Single fuse (120, 277, 347V)[4] DF Double fuse (208, 240, 480V)[4] BUA Universal mounting bracket RPA 14" round pole adapter RPA 16" round pole adapter RPA 18" round pole adapter RPA Universal square pole adapter KMA Mast arm mounting bracket adapter (specify finish)[6] **Shipped separately** EGSW Tethered ground wire L/LCE 4-inch round surface mount LCE[7] L/LBA 4-inch round surface mount LBA[7]	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white	

Accessories

Ordered and shipped separately.

VKMA 8 Vertical Adjustable Mast Arm[8]

NOTES
1. Only available in the 12C, ASY version.
2. Only available with 530mA, 700mA options.
3. Only available with 350, 450mA, 530mA options.
4. Not available with DUCR.
5. Single fuse (SF) requires 120V, 277V, or 347V voltage option. Double fuse (DF) requires 208V or 240V voltage option.
6. Only available with SPA, RPA or WBA options.
7. Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208V or 240V voltage option.
8. MVMA is not available with L/LBA option.

Z1

Z3

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	LAMP	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTES	OTHER NOTES
Z1		OUTDOOR: LED AREA LUMINAIRE, FULL CUTOFF, MOUNT ON 20' POLE, FORWARD THROW, HOUSE SIDE SHIELD	(1) 71W LED, 4000K	LED DRIVER	CONCRETE BASE AND 20' POLE	LITHONIA: DSX1 LED P2 40K TFTM MVOLT SPA HS	71	120V 1P 2W	PARKING LOT, DRIVE AISLE, MOUNT ON 20' POLE	
Z3		OUTDOOR: 42" TALL BOLLARD LIGHT, FULL CUTOFF, ASYMMETRIC DISTRIBUTION	(1) 22W LED 4000K	ELECTRONIC	CONCRETE BASE	LITHONIA DSXB 12C 530 40K ASY MVOLT	22	120V 1P 2W	SITE	

SITE PLAN – LIGHTING CUTCHEETS

SCALE: 1" = 20'

21705 Highway 99
Lynnwood, WA 98036
TEL: 425.741.1200
EMERALD CITY ENGINEERS, INC

ADAM C. FRENCH
STATE OF WASHINGTON
REGISTERED
PROFESSIONAL ENGINEER

#	DESCRIPTION	DATE

OLSON PROJECTS
1207 S. GRAND, STE C SPOKANE, WA 99203

EASTGATE HOUSING CAMPUS
13620 SE EASTGATE WAY, BELLEVUE WA, 98005

PROJ. #: 2007-051
DRAWN: AFP
CHECKED: ACF
DATE: 11/20/20

LOWER BENCH
SITE PLAN LIGHTING CUTSHEETS

LB-E102

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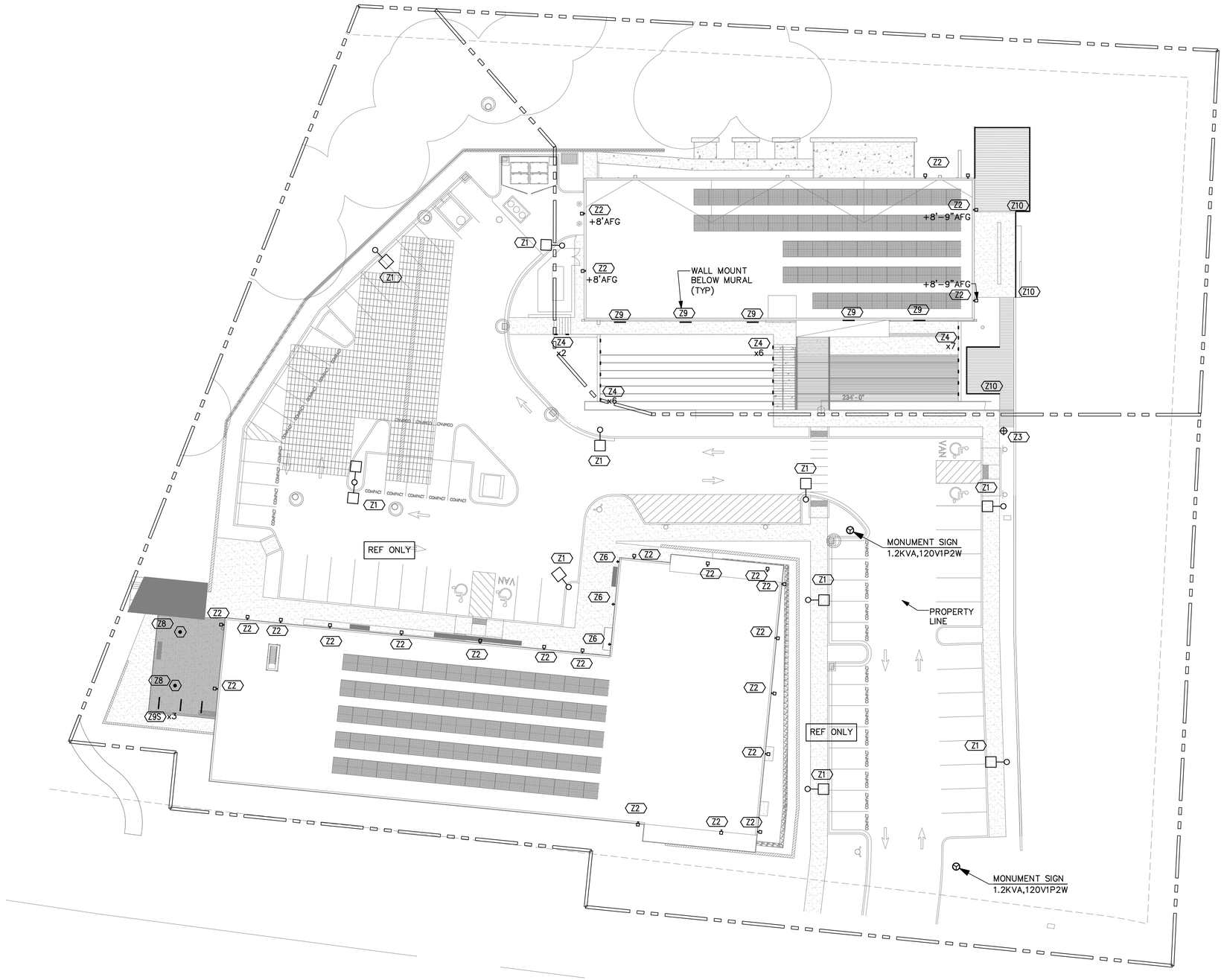
AFAMONAC J:\2007-051 POLARIS AT EASTGATE, BELLEVUE, WA\DWG\102 – SITE LTG CUTSHEETS.DWG 01-12-2021 13:07



SITE PHOTOMETRIC CALCULATIONS

SCALE: 1" = 20'

SITE LIGHTING PLAN

SCALE: 1" = 20'

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ETARR J:\2350-001 CFH EASTSIDE MEN'S SHELTER, BELLEVUE, WA\DWG\E100 - SITE LIGHTING.DWG 02-25-2021 14:32

JPL-A + hoist

EASTSIDE MEN'S SHELTER

13620 SE EASTGATE WAY, BELLEVUE WA, 98005

JOB #	1915
DATE	12.21.2020
PHASE	100% DD

EMERALD CITY
ENGINEERS, INC
21705 Highway 99
Lynnwood, WA 98036
425-741-1200 tel / 1201 fax

DESIGNER

JOSHUA P. LAFRENIERE, ARCHITECT LLC
5452 29TH AVENUE SW
SEATTLE, WA 98126

JOSHUA P. LAFRENIERE
JOSH@JPL-ARCHITECT.COM
253.370.0765

CONSULTANT

BLOCK ARCHITECTS
420 S MASSACHUSETTS ST
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JENN@BLOCK-ARCHITECTS.COM
206.930.9126

REX J. HOHLBEIN
REX@BLOCK-ARCHITECTS.COM
206.330.1142

OWNER

CONGREGATIONS FOR THE HOMELESS
515 116TH AVE NE #150TH
BELLEVUE, WA 98004
425-289-4044

PROFESSIONAL SEAL

ADAM C. FRENCH
STATE OF WASHINGTON
16459
REGISTERED
PROFESSIONAL ENGINEER

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REVISIONS

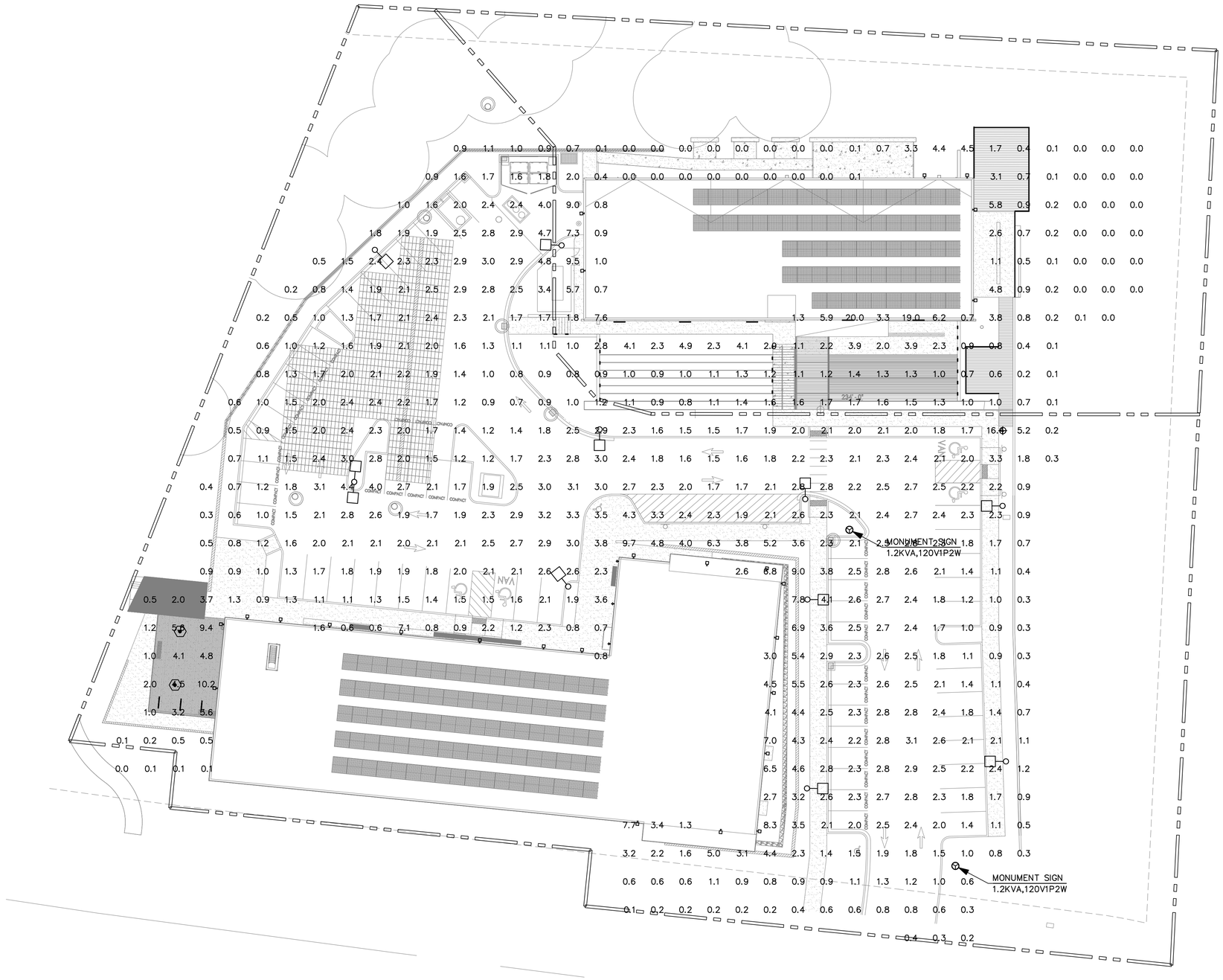
MARK	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

UPPER BENCH - SITE LIGHTING

UB-E100

ORIGINAL SHEET SIZE 22x34



SITE PHOTOMETRIC CALCULATIONS

SCALE: 1" = 20'

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ETARR J:\2350-001 CPH EASTSIDE MEN'S SHELTER, BELLEVUE, WA\DWG\E101 - SITE PHOTOMETRICS.DWG 02-25-2021 14:31

JPL-A + hoist

EASTSIDE MEN'S SHELTER

13620 SE EASTGATE WAY, BELLEVUE WA, 98005

JOB #	1915
DATE	12.21.2020
PHASE	100% DD

EMERALD CITY ENGINEERS, INC
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REVISIONS

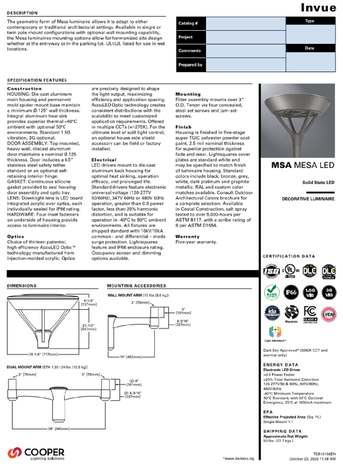
MARK	DATE	DESCRIPTION

NOT FOR CONSTRUCTION

UPPER BENCH - SITE PHOTOMETRIC CALCULATIONS

UB-E101

ORIGINAL SHEET SIZE 22x34



Invue

DESCRIPTION

The geometric form of Mesa luminaire allows it to adapt to either pedestrian or roadway applications. Available in 4 different heights or twin pole mount configurations with optional wall mounting capability, the Mesa luminaires mounting options allow for harmonized site design whether at the entryway or in the parking lot. UL1598, listed for use in wet locations.

Catalog #		Type
Project		
Comments		Date
Prepared By		

SPECIFICATION FEATURES

Construction
HOUSING: Die-cast aluminum main housing and permanent mold spider mount base maintain IP66 and NEMA 4X weatherseal. Integral aluminum heat sink provides superior thermal +40°C ambient with optional 50°C environments. Standard 1.5G vibration rating. Optional DOOR ASSEMBLY: Top mounted, heavy wall, diecast aluminum door maintains a nominal Ø 7/8 thickness. Door includes a 45° mitered corner and is either standard or an optional self-retaining interior hinge. GASKET: Continuous silicone gasket provided to seal housing and door assembly to the LENS. LENS: Downlight lens is LED board integrated acrylic optic, each optic is individually sealed. HARDWARE: Four invue fasteners on underside of housing provide access to luminaire interior.

Optics
Choice of thirteen patented, high efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology creates consistent beam patterns with scalability to meet customized application requirements. Offered in multiple CCT's (+/-275K). For the ultimate level of spill light control, optional house side shield accessory can be field or factory installed.

Mounting
Fitter assembly mounts over 3" O.D. Tenon via four concealed, set screw latches and jam-set screws.

Finish
Housing is finished in five-stage LSI TGIC polyester powder coated paint, 2.5 mil nominal thickness for superior protection against fade and wear. Lightsquares cover plates are standard white and match the factory applied finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and platinite metallic, RAL and custom colors are available upon request. Consult Outdoor Architectural Colors brochure for a complete selection. Available with optional anti-graffiti, salt spray tested to over 5,000 hours per ASTM B117, with a scribe rating of 9 per ASTM D1654.

Warranty
Five-year warranty.

MSA MESA LED

Solid State LED

DECORATIVE LUMINAIRE

CERTIFICATION DATA

DIMENSIONS

MOUNTING ACCESSORIES

ENERGY DATA
Electronic LED Driver
>90% Efficiency
<20% Total Harmonic Distortion
120-277VAC@ 60Hz, (NY/ROH)
Power Factor
≥0°C Minimum Temperature
NFC Standards with NFC Optional
Emergency, 277 or 480volt maximum

EPA
Effective Projected Area: (Ea. ft.)
Single Mount 1.1

SHIPPING DATA
Approximate Net Weight:
50 lbs. (77 kgs.)

COOPER Lighting Solutions

*www.cooperlighting.com

TD510150EN
October 20, 2020 1:08 AM

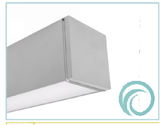
Z8

BSW214| FATHOM WET LOCATION FOR OUTDOOR APPLICATIONS

bartco lighting

3" square recessed LED fixture with flush lens for outdoor applications

Project: _____ Type: _____



SECTION

FEATURES

The BSW214 is a linear LED luminaire for outdoor lighting applications. The 3" square extrusion is fitted with a flush, frosted lens and machined aluminum end caps.

SPECIFICATIONS

Fixture constructed of an extruded aluminum, extruded, frosted acrylic lens and machined aluminum end caps

Standard finishes as shown below:

Standard fixture lengths accommodating in nominal lengths of 2'-0" single fixtures and continuous runs for surface and wall mount applications

Housing provided with a #7/8 hole for back-feeding

Standard integral 120-277V wet location driver offered with 0-10V dimming or non-dim

Standard outputs are 590 775 and 1000 lumens per foot

LEDs available in 2700K, 3000K, 3500K and 4000K, within a 3 step MacAdam ellipse, allowin 80+ CRI typical

Life: 50,000 hours L_{70}

Limited five year warranty

UL and CUL listed for wet locations

PERFORMANCE

NOMINAL LENGTH	OUTPUT	LUMENS/ft	WATTS/ft	LUMINAIRE LUMENS	EFFICACY (LPW)
4'	L low	390	4.0	1554	98
	R regular	775	8.0	3104	97
	H high	1000	10.3	3995	97

Note: H (high) NOT included with 3000K option

Made in USA

BSW214 - _____ - _____ - _____ - _____ - _____ - _____ - _____

NOMINAL FIXTURE LENGTH*	CORRELATED COLOR TEMPERATURE	DRIVER IN - non-dimming D - 0-10V dimming, 5%	LIGHT OUTPUT (Lumens per foot) L - low - 390 R - regular - 775 H - high - 1000	MOUNT SM - surface mount WD - wall mount - direct WI - wall mount - indirect	RUN CONFIGURATION SN - single S1 - starter NS - within RB - tee terminator	FINISH BW - architectural white BL - black MW - white (semi-gloss) BL - black (matte matte) MB - matte black BSS - environmental silver SV - silver BZ - bronze PR - primer CP - consult factory for custom finish

* Actual dimension assumed for cut-to-length part

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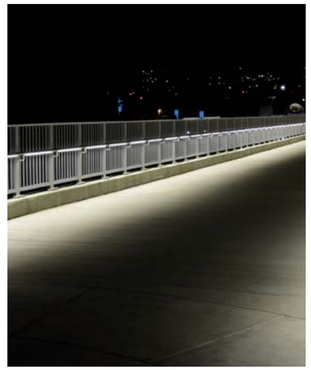
Z9



Z10

WDGE2 LED
Architectural Wall Sconce

Catalog Number	
Notes	
Type	

Intended for wall mounting at heights of 8' and above for pedestrian applications.

Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 delivers up to 6,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Standard EM, 0°C	eWDGE, -20°C	Join or	Options (4000K)					
				P1	P7	P5	P4	P3	P6
WDGE1 LED	9W	—	—	1,200	2,300	3,000	4,500	6,000	—
WDGE2 LED	18W	18W	Standalone / Airlight	1,200	2,300	3,000	4,500	6,000	—
WDGE3 LED	15W	18W	Standalone / Airlight	2,500	4,200	10,000	12,000	—	—
WDGE4 LED	—	—	Standalone / Airlight	12,000	16,000	18,000	20,000	21,000	25,000

Ordering Information **EXAMPLE:** WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P1 P2 P3 P4 P5	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 480	Shipped included SRM Surface mounting bracket SPUMBA Surface mounting bracket (Compatible only with square pole / single fixture drilling locations only)

Shipped separately
AWS 3 Watch Architectural wall sconce
PBBW Surface mounting back box (required for new construction or retrofit applications)

System	Finish
EMR Emergency battery backup, (certified in CA Title 20 MAEDBS-WDGE1 only)	DDBXD Dark bronze
EMRW Emergency battery backup, (certified in CA Title 20 MAEDBS-1500K, CCT only)	DBLXD Black
EJDXC Emergency battery backup, (certified in CA Title 20 MAEDBS-1500K, CCT only)	DNAXD Natural aluminum
PE Photocell, Button Type	DWHXD White
DS Dual switching (nLight AIR enabled for wireless control only)	DDBTXD Textured dark bronze
DMG* 0-10V dimming wires pulled to back of fixture for use with external control (ordered separately)	DBLBXD Textured black
BCE Button-cradle entry tab (not for P3WW). Total of 8 entry points.	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

Standalone Sensor/Controls - only available with P1 & P2 (4000K)
PIR 8ft (nom) 120/277V motion sensor for 8-15' mounting height. Intended for use on switched circuits with external dusk to dawn switching.
PIRH 8ft (nom) 120/277V motion sensor for 15-30' mounting height. Intended for use on switched circuits with external dusk to dawn switching.
PIRTFCR 8ft (nom) 120/277V motion sensor for 8-15' mounting height with photocell programmed for dusk to dawn operation.
PIRHTFCR 8ft (nom) 120/277V motion sensor for 15-30' mounting height with photocell programmed for dusk to dawn operation.
Networked Sensor/Controls - only available with P1 & P2 (4000K)
NLTAIRPIR nLight AIR motion sensor enabled for wireless control for use in 8-15' mounting heights.
NLTAIRPIRH nLight AIR motion sensor enabled for wireless control for use in 15-30' mounting heights.
See page 4 for rest of the functionality.

Ordering Information

DSX1 LED									
Series	LEDs	Color temperature	Distribution	Voltage	Mounting				
DSX1 LED	Forward optics P1 P2 P3 P4 P5 P6 P7 P8 Rotated optics P10 P12 P30 P32	30K 3000K 40K 4000K 50K 5000K	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw asymm	T15S Type I short thin* T15M Type I medium thin* T20S Type II short thin* T20M Type II medium thin* BLC Backlight control* LCCO Left corner cutoff* RCCO Right corner cutoff*	MVOLT** 120V 208V 240V 277V 347V 480V	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adapter* RPUMBA Round pole universal mounting adapter* Shipped separately KMA8 DDBXD U Mast arm mounting bracket adapter (specify finish)*

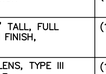
Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled* PIRHN Network, high/low motion/ambient sensor* PER NEMA twist-lock receptacle only (control ordered separate)* PER5 Five-pin receptacle only (control ordered separate)* *** PIRBT Bluetooth enabled high/low motion/ambient sensor* DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)* DS Dual switching*	PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 25* PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 25* PIRTFCR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 25, with photocell* PIRHTFCR High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 25* FAO Field adjustable output*	Shipped included WH White BSP Bronze BLK Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Ordering Information **EXAMPLE:** DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Accessories
Ordered and shipped separately
KMA8 U Mast arm adapter (specify finish)*

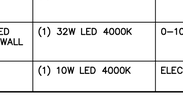
NOTES
1 Only available in the 16C, 40T version.
2 Only available in the 16C, 70W version.
3 Only available with 40T, 4000K/5000K version.
4 Not available with 16C, 40T.
5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with 347V or 480V. 347V and 480V operate on 60Hz only.
6 Not available with T4FT. Not available with Fusing. Not available with 450-480V.
7 Not available with 347V, 480V, 120, 277, or 347 voltage option. Double Fusing (DF) requires 208 or 240 voltage option.
8 SVIDD Unit available with 3-PWM option.

D-Series Size 1
LED Area Luminaire



Specifications

EPA: 1.01 ft² (0.09 m²)
Length: 39" (99.1 cm)
Width: 13" (33 cm)
Height H1: 7 1/2" (19.1 cm)
Height H2: 3 1/2" (8.9 cm)
Weight (max): 27 lbs (12.3 kg)



Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplight. An optical way forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance free service.

Catalog Number	
Notes	
Type	

Specifications

Diameter: 9" Round (22.9 cm)
Height: 42" (106.7 cm)
Weight (max): 27 lbs (12.3 kg)

Ordering Information **EXAMPLE:** DSXB LED 16C 700 4K SYM MVOLT DDBXD

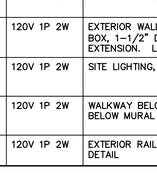
DSXB LED								
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Control options	Other options	Finish (required)
DSXB LED	Symmetric 16C 16 LEDs	350 350mA 530 530mA 700 700mA	3K 3000K 4K 4000K 5K 5000K	AST Asymmetric	MVOLT 120V 208V 240V 277V 347V	Shipped included PE Photocell, button type SF Single fuse (120V, 277V) DF Double fuse (208V, 240V) SCR Shorting cap DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) DCR Dimmable constant current LCOR Conformal coating for locking hardware	Shipped included SF Single fuse (120V, 277V) DF Double fuse (208V, 240V) * SCR 24" conical height SC 30" conical height HSS 36" conical height TS Conical flush thresholdrail L180 180° elliptical arm bolt L90A 4 bolt mtnfit base w/90° pin for bollard	Shipped included DNAXD Natural aluminum DWHXD White DBLXD Black DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white

Accessories
Ordered and shipped separately
DSXB 16C U Mast arm adapter (specify finish)*

NOTES
1 Only available in the 16C, 40T version.
2 Only available in the 16C, 70W version.
3 Only available with 40T, 4000K/5000K version.
4 Not available with 16C, 40T.
5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with 347V or 480V. 347V and 480V operate on 60Hz only.
6 Not available with T4FT. Not available with Fusing. Not available with 450-480V.
7 Not available with 347V, 480V, 120, 277, or 347 voltage option. Double Fusing (DF) requires 208 or 240 voltage option.
8 SVIDD Unit available with 3-PWM option.

EL CAPITAN (MMH) LAMP)

SKU	PROJECT	TYPE
CATALOG NUMBER LOGIC		



*Lamp details available on the 3rd page.

CATALOG NUMBER LOGIC
Example: B - EC - MR - 359 - WHP - 9 - 11 - B
MATERIAL
(Blank) - Aluminum B - Brass
SERIES
EC - El Capitan
SOURCE
MR - MR16 Lamp
LAMP TYPE
0 - MR16 HALOGEN LAMP (Furnished by Others)
MR16 LED (This choice requires lamp number selection)*
FINISH (See page 2 for full-color swatches)
Standard Finishes (SDT: BZN, BLP, BLW, WHP, WHW, SAP, VER)
Premium Finish (ABP, AMG, AQW, BCW, BGE, BPP, CAP, CMG, CRI, CRM, HUG, MDB, NBP, OCP, PMG, SDG, SMG, TVT, WCP, WPP)
Also available in RAL Finishes
Brass Finishes (MAC, POL, MTT)
LENS TYPE
9 - Clear (Standard)
10 - Spread 12 - Soft Focus 13 - Rectilinear
SHIELDING
11 - Honeycomb Baffle
CAP STYLE
A - 45°
B - 90°
C - Flush
D - 45° Less Weephole (Interior use only)
E - 90° Less Weephole (Interior use only)
F - 90° with Flash

B-K LIGHTING MADE IN THE USA 509.248.0808 | INFO@BKLIGHTING.COM | BKLIGHTING.COM

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Z6

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	DESCRIPTION	LAMP	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTES
L2		48" X 2-1/8" LED WRAP, 3500K, 3900 LUMENS, DIMMABLE	(1) 33W LED 3000K	0–10V	CEILING	PHILIPS LF 4 FR 39 39 30 U DZT	33	120V 1P 2W	BACK OF HOUSE
001		4' LINEAR LED, VAPOR TIGHT	(1) 42W 4000K LED	DIMMING	CEILING	LITHONIA: VAP–4000LM–FST–WD–MVOLT–GZ10–40K–80CRI	42	120V 1P 2W	ELEV PIT
Z1		LED AREA LUMINAIRE, FULL CUTOFF, MOUNT ON 20' POLE, FORWARD THROW, HOUSE SIDE SHIELD	(1) 71W LED, 4000K	LED DRIVER	CONCRETE BASE AND 20' POLE	LITHONIA: DSX1 LED P2 40K TFTM MVOLT SPA HS	71	120V 1P 2W	PARKING LOT, MOUNT ON 20' POLE
Z2		EXTERIOR WEDGE LIGHT, 11.5"W X 9"H X 7"D, FULL CUTOFF, FORWARD THROW	(1) 15W LED 4000K	ELECTRONIC	WALL	LITHONIA WDGE2 LED P2 40K 90 CRI VF MVOLT DDBXD	15	MULTIPLE	EXTERIOR
Z3		42" TALL BOLLARD LIGHT, FULL CUTOFF, ASYMMETRIC DISTRIBUTION	(1) 22W LED 4000K	ELECTRONIC	CONCRETE BASE	LITHONIA DSXB 12C 530 40K ASY MVOLT	22	120V 1P 2W	SITE
Z4		LED STEP LIGHT	(1) 12W LED	ELECTRONIC	CONCRETE POUR	TBD	12	120V 1P 2W	EXTERIOR STAIRS
Z5		MURAL ARTWORK WALL MOUNTED ILLUMINATION	(1)	ELECTRONIC	CEILING	HYDREL 4750L LINEAR	64	120V 1P 2W	ART MURAL ILLUMINATION, AIM TO WASH WALL
Z6		EXTERIOR WALL LIGHT, SMALL CYLINDER, 5" TALL, FULL CUTOFF, MEDIUM FLOOD, 3000K, ALUMINUM FINISH, TRANSFORMER LOCATED IN DEEP BOX	(1) 8W LED 4000K	INTEGRAL XFMR IN DEEP JBOX	WALL	BK LIGHTING EL CAPITAN EC LED E66 MFL A9 12 11 B, TRe20	8	120V 1P 2W	EXTERIOR WALL. PROVIDE WITH 4" OCTOGON BOX, 1–1/2" DEEP WITH 1–1/2" BOX EXTENSION. LOCATE DRIVER WITHIN DEEP BOX
Z8		PEDESTRIAN SCALE POLE LIGHT, FROSTED LENS, TYPE III DISTRIBUTION, FULL CUTOFF, 10' STEEL POLE	(1) 48W LED 4000K	0–10V DIM	10' STEEL POLE WITH CONCRETE BASE	COOPER MESA MSA EO2 LED E1 T3 DIM	48	120V 1P 2W	SITE LIGHTING, PROVIDE WITH TUNING DIMMERS
Z9		EXTERIOR 4FT, 3"X3" DIAMETER, LINEAR CEILING MOUNTED LED DOWNLIGHT, INTEGRAL BALLAST, DIMMABLE 0–10V, WALL MOUNTED	(1) 32W LED 4000K	0–10V DIM	WALL	BARTCO LIGHTING BSW214 40 ID R WD SN (FINISH)	32	120V 1P 2W	WALKWAY BELOW MURAL, LOCATE DIRECTLY BELOW MURAL TO ILLUMINATE WALKWAY
Z10		EXTERIOR LINEAR UNDER RAILING LIGHTING	(1) 10W LED 4000K	ELECTRONIC	SURFACE	TBD	10	120V 1P 2W	EXTERIOR RAILINGS, COORDINATE WITH RAILING DETAIL

Z2 Z1 Z3 Z6

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EASTSIDE MEN'S SHELTER

13620 SE EASTGATE WAY, BELLEVUE WA, 98005

JOB # 1915

DATE 12.21.2020

PHASE 100% DD

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UPPER BENCH - SITE LIGHTING CUTSHEETS

UB-E102

ORIGINAL SHEET SIZE 22x34