

CITY OF BELLEVUE WASHINGTON

VICINITY MAP

Scale 1: 1,854

0 155 309 Feet

Map Generated on: 03/14/2019

February 6, 2019 (revised July 8, 2019)

DESCRIPTION OF MDP PROPOSAL AND DESIGN INTENT (revised)

The Master Development Plan proposal is to develop improvements to the camp property in two phases.

Phase 1 – Demolish old Tabernacle Building and replace it with a new approximately 6,000 square feet one story Activities Building. While the use of the building will remain the same (camp programming such as sports, activities, and teambuilding), the building will provide greater safety and an enhanced environment. The building height is 34'-6" (31'-6" being the height from average grade).

Phase 2 – New dwelling for CCC staff (one-story house with basement, designed for single family). The house will be approximately 1,200 sf on the main level and 1,200 sf at the basement.

The design intent of the proposal is to create/maintain open space and vistas to the surrounding natural beauty, to enhance the park like feel and to create a safe and attractive environment that compliments the neighborhood. See SAMBICA MDP Narrative Description Addressing Decision Criteria document for more information.

In maintaining the camp/park like feel, no additional parking stalls are proposed. For the phase 1 Activities Building, the existing parking will be striped with 2 new accessible parking stalls. Where work is adjacent to property boundaries, Type II landscaping is applied to provide the appropriate buffer and visual interests.

There are no concomitant agreements, parking agreements related to the SAMBICA property or other legal agreements affecting this proposed site development.

These proposed improvements will enhance the health and vitality of the neighborhood though this place of community, where kids can learn and play safely together.



PHASE ONE

One story Activities Building replacement structure with pre-finished board and batten siding (white) and metal roof (grey).

EXISTING PEDESTRIAN
OVERPASS

WEST LAKE
SAMMAMISH
PARKWAY SE

LAKE
SAMMAMISH

SAMBICA

Master Development Plan
Block Massing Diagram

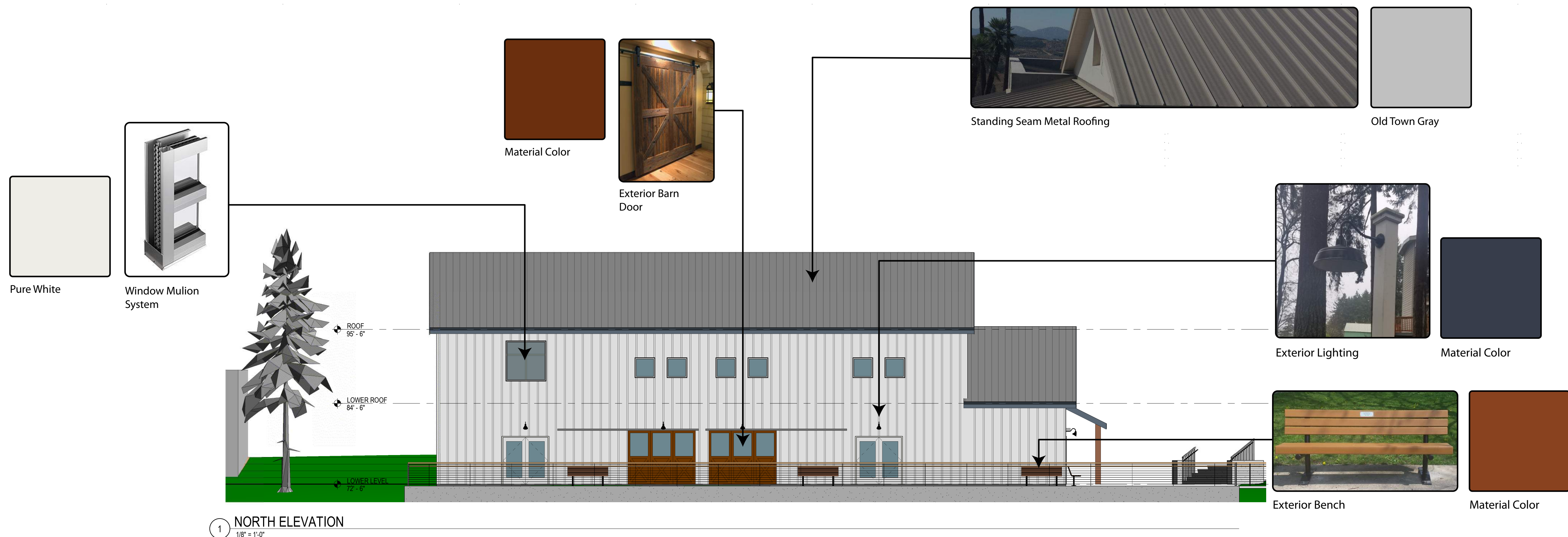
- New Construction
- Existing Buildings

PHASE TWO

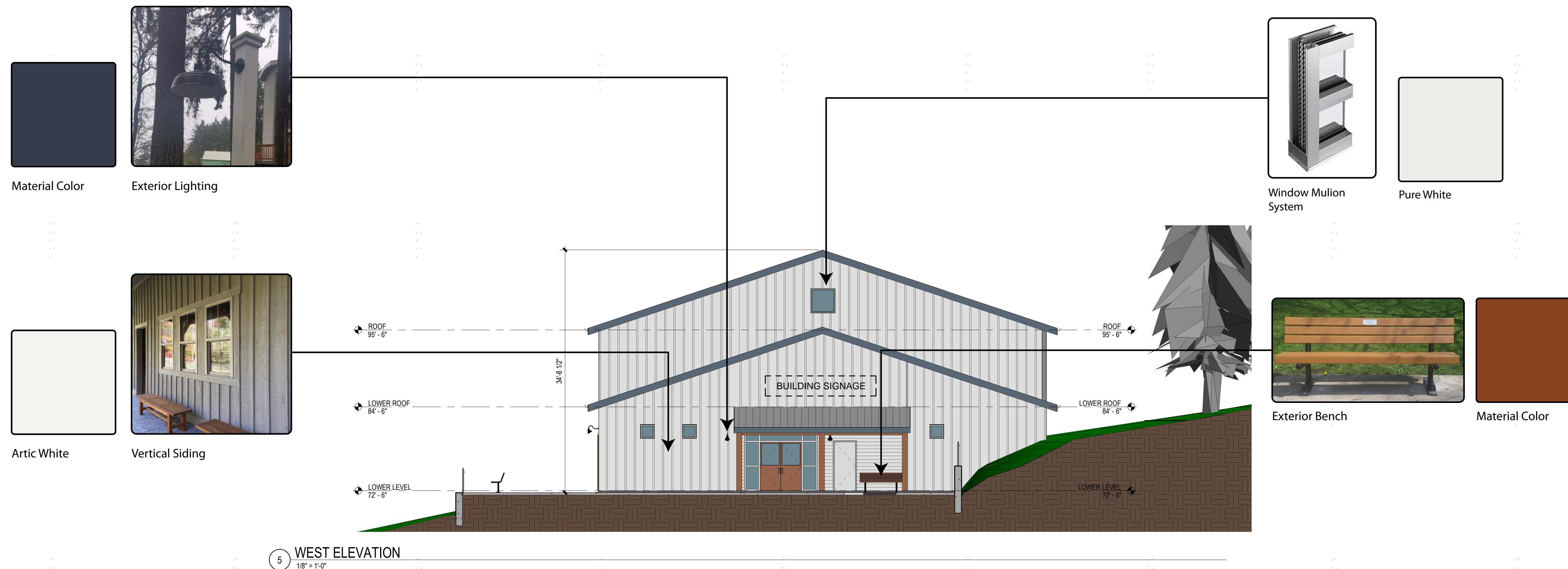
New one story single family residence with basement for staff member and family. Image provided is similar to proposed structure.



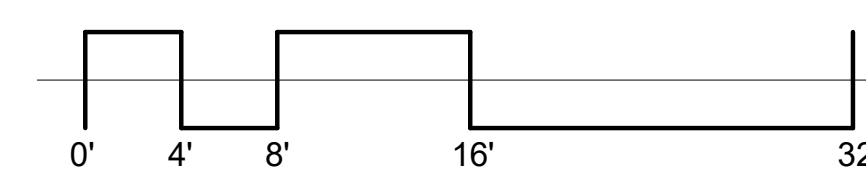
**PRELIMINARY:
NOT FOR
CONSTRUCTION**



1 NORTH ELEVATION
1/8" = 1'-0"



5 WEST ELEVATION
1/8" = 1'-0"



SAMBICA - ACTIVITIES BUILDING DESIGN REVIEW

4114 W Lake Sammamish Pkwy SE,
Bellevue, WA 98008

EXTERIOR ELEVATIONS

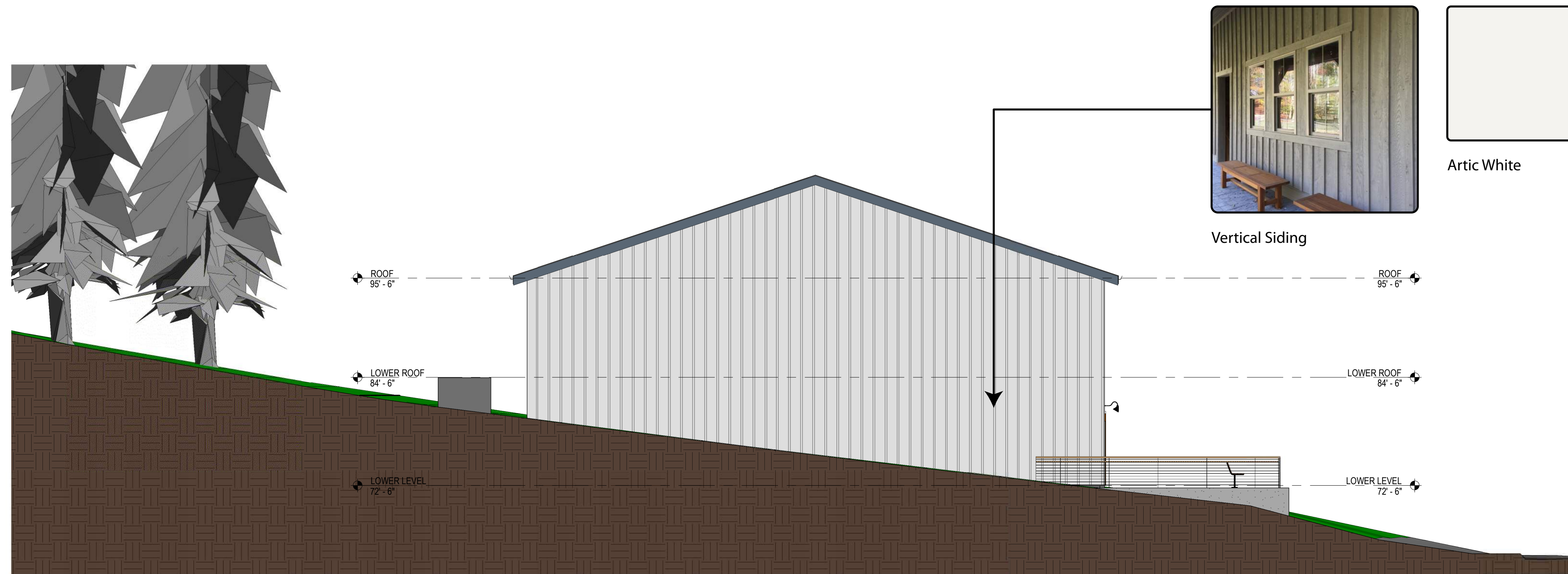
BUILDING MATERIALS & COLORS

ISSUANCE		
No.	Description	Date
1	DESIGN REVIEW	2/14/19

PROJECT INFORMATION
PROJECT NUMBER: 17027
PROJECT LEAD: Designer
DRAWN BY: Author

SHEET NO

**PRELIMINARY:
 NOT FOR
 CONSTRUCTION**



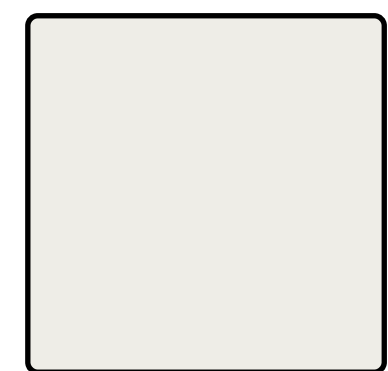
1 EAST ELEVATION
 1/8" = 1'-0"



Old Town Gray



Standing Seam Metal Roofing



Pure White



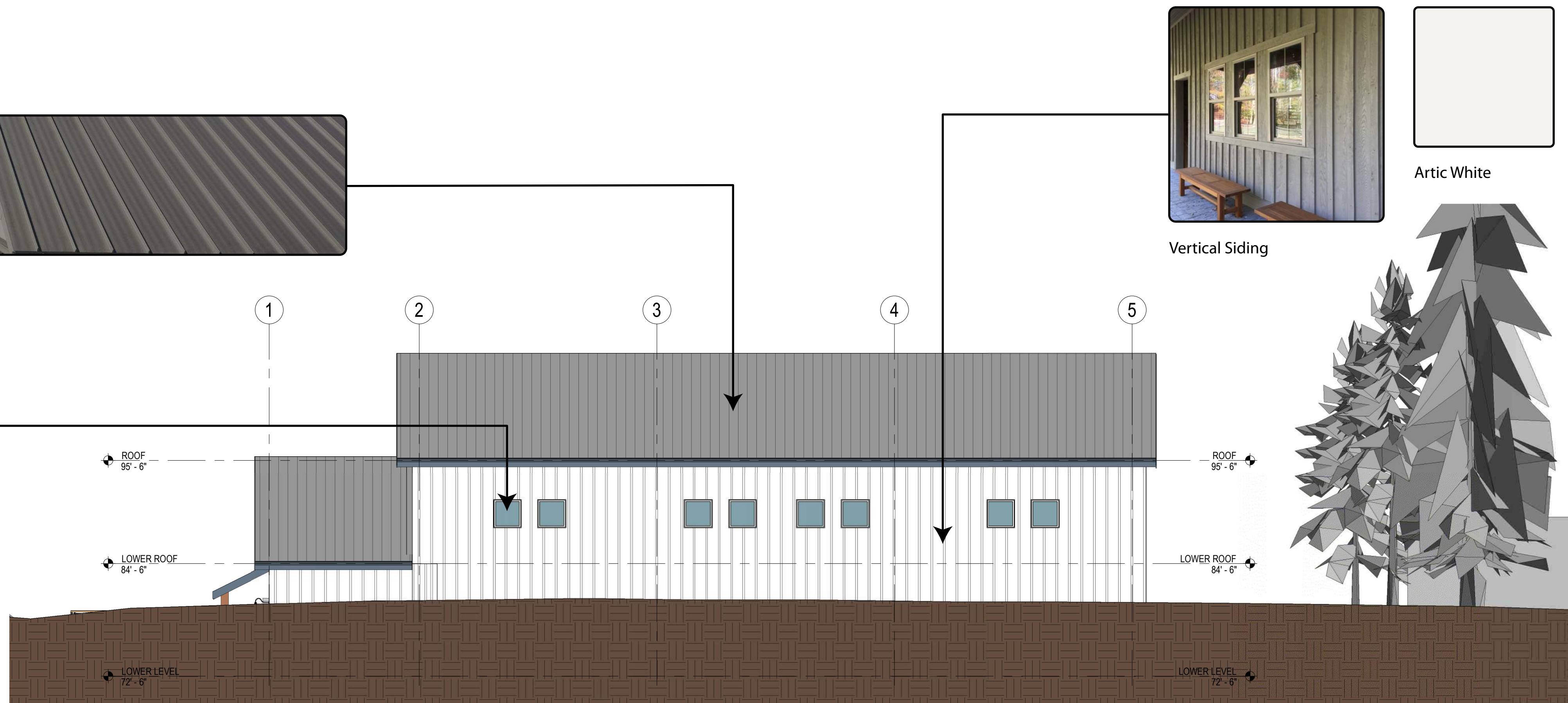
Window Mullion System



Vertical Siding



Artic White



2 SOUTH ELEVATION
 1/8" = 1'-0"

SAMBICA - ACTIVITIES BUILDING DESIGN REVIEW

4114 W Lake Sammamish Pkwy SE,
 Bellevue, WA 98008

EXTERIOR ELEVATIONS

BUILDING MATERIALS & COLORS

ISSUANCE		
No.	Description	Date
1	DESIGN REVIEW	2/14/19

PROJECT INFORMATION		
PROJECT NUMBER:	17027	DC
PROJECT LEAD:		MC
DRAWN BY:		

SHEET NO

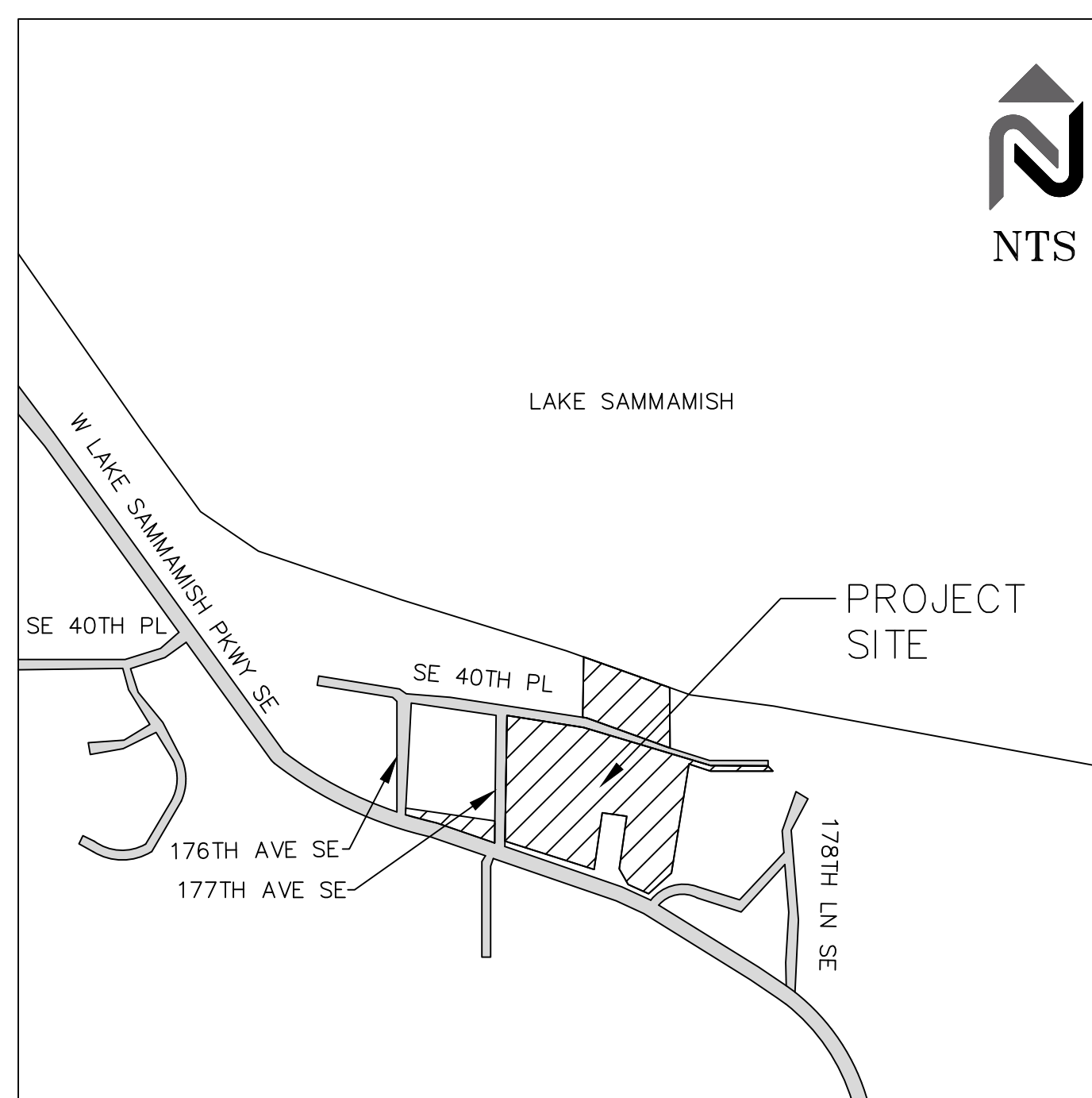
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SAMBICA

PRELIMINARY ADR, MDP, AND SEPA DOCUMENTS

4114 W LAKE SAMMAMISH PKWY SE BELLEVUE, WA 98008



VICINITY MAP
N.T.S.

CONSULTANTS

CIVIL:
NAVIX ENGINEERING
11235 SE 6TH STREET, SUITE 150
BELLEVUE, WA 98004
(425) 458-7896
CONTACT: JENELLE TAFLIN, P.E., LEED AP

ARCHITECT:
TGB ARCHITECTS
21911 76TH AVE W, SUITE 210
EDMONDS, WA 98026
(425) 778-1530
CONTACT: DEXTER CHIN

LANDSCAPE ARCHITECT:
ANDREWS LANDSCAPE ARCHITECTS
100 KING STREET, SUITE 415
SEATTLE, WA, 98104
(206) 602-6851
CONTACT: DAVE ANDREWS, RLA

TRANSPORTATION:
JAKE TRAFFIC ENGINEERING, INC.
3614 39TH AVE SW
SEATTLE, WA 98116
(206) 762-1978
CONTACT: MARK JACOBS, PTOE

SURVEYOR:
GEODIMENSIONS, INC.
10801 MAIN STREET, SUITE 102
BELLEVUE, WA 98004
(425) 458-4488

APPLICANT

SAMBICA
4114 W LAKE SAMMAMISH PKWY SE
BELLEVUE, WA 98008
(425) 746-9110
CONTACT: RYAN GILBERT

TESC SUPERVISOR

XXXXXXXXXXXX
ADDRESS
CITY, STATE, ZIP
PHONE NUMBER
CONTACT: XXXXXX XXXXX

(TESC SUPERVISOR MAY
CHANGE UPON SELECTION OF
CONTRACTOR)

UTILITIES

STORMWATER:
CITY OF BELLEVUE
UTILITIES DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6825
CONTACT: CHRIS BROOKES

SANITARY SEWER:
CITY OF BELLEVUE
UTILITIES DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6825
CONTACT: CHRIS BROOKES

WATER:
CITY OF BELLEVUE
UTILITIES DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6825
CONTACT: CHRIS BROOKES

FIRE DEPARTMENT:
BELLEVUE FIRE
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-4112
CONTACT: DEREK LANDIS

ELECTRICAL:
PUGET SOUND ENERGY
10885 NE 4TH STREET
BELLEVUE, WA 98004
(888) 225-5773

NATURAL GAS:
PUGET SOUND ENERGY
10885 NE 4TH STREET
BELLEVUE, WA 98004
(888) 225-5773

TELECOMMUNICATION:
CENTURYLINK
1600 BELL PLAZA
SEATTLE, WA 98191
(206) 345-2211

BUILDING

CITY OF BELLEVUE
DEVELOPMENT SERVICES
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-6964
CONTACT: BEHROOZ KHORRAMI

PLANNING

CITY OF BELLEVUE
DEVELOPMENT SERVICES
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-4578
CONTACT: NICK WHIPPLE

TRANSPORTATION

CITY OF BELLEVUE
TRANSPORTATION DEPARTMENT
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-2569
CONTACT: VANESSA HUMPHREYS

CLEARING AND GRADING

CITY OF BELLEVUE
DEVELOPMENT SERVICES
450 110TH AVE NE
BELLEVUE, WA 98004
(425) 452-5207
CONTACT: TOM MCFARLANE

PROJECT DATA

PROPOSED ON-SITE AREA
PARCEL NUMBERS = ± 8.99 ACRES
= 1324059033, 8043700380, 1324059051,
8043700370, 8043700325, 8043700330,
8043700375, 8043700365, 8043700335,
8043700060, 8043700055, 8043700140,
8043700135, 8043700145, 8043700130,
8043700150, 8043700125, 8043700155,
8043700120, 8043700165, 8043700160,
8043700115, 8043700110, 8043700170,
AND 8043700400

EXISTING USE = RESORT/LODGE/RETREAT
PROPOSED USE = RESORT/LODGE/RETREAT
ZONING DESIGNATION = SINGLE-FAMILY (R-5)
= MULTI-FAMILY (R-20)
= NEIGHBORHOOD BUSINESS (NB)

VERTICAL DATUM

CITY OF BELLEVUE VT. STA. NO. 163 (HZ. STA. 310)
FOUND "CITY OF BELLEVUE" BRASS CAP IN CONC STAMPED "0310", NORTH END
SUNSET ELEMENTARY SCHOOL SIGN WEST SIDE WEST LK SAMMAMISH PRKY SE
NORTH OF I-90.

ELEV: 158.49' (NAVDB88)

BASIS OF BEARINGS

NAD83/91

ACCEPTED THE BEARING OF N70°47'48"W FOR THE CENTERLINE OF W LAKE
SAMMAMISH PKWY SE, BASED ON FOUND MONUMENTS IN CASE, PER CITY OF
BELLEVUE SURVEY CONTROL DATABASE.

GENERAL NOTES (NAVIX)

SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS,
THE CITY OF BELLEVUE STANDARD SPECIFICATIONS, AND THE A.P.W.A. STANDARDS
WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS.

THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING
CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE
EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON A SURVEY
PREPARED BY GEODIMENSIONS, DATED 03/06/2016. THE CONTRACTOR IS RESPONSIBLE
FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK
IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE
OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE
AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING
TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE,
AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND
SUBMIT IT TO THE OWNER FOR REVIEW.

CAUTION - NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING
UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY
COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE
INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE
CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS
BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL
BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES
WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

SHEET INDEX

CVR-1	COVER SHEET
C-1.0	OVERALL CLEARING, GRADING, UTILITY AND SITE PLAN
C-1.1	CLEARING, GRADING, UTILITY AND SITE PLAN
C-1.2	CLEARING, GRADING, UTILITY AND ROAD PLAN
C-1.3	FIRE TRUCK ROUTE
C-1.4	SIGHT DISTANCE PLAN
SHEET 1 OF 7	TOPOGRAPHIC & BOUNDARY SURVEY
SHEET 2 OF 7	TOPOGRAPHIC & BOUNDARY SURVEY
SHEET 3 OF 7	TOPOGRAPHIC & BOUNDARY SURVEY
SHEET 4 OF 7	TOPOGRAPHIC & BOUNDARY SURVEY
SHEET 5 OF 7	TOPOGRAPHIC & BOUNDARY SURVEY
SHEET 6 OF 7	TOPOGRAPHIC & BOUNDARY SURVEY
SHEET 7 OF 7	TOPOGRAPHIC & BOUNDARY SURVEY

EXISTING LEGEND

⊙	AREA DRAIN	C.O.C.	CENTER OF CHANNEL	IE	INVERT ELEVATION	SSS	SANITARY SIDE SEWER (RECORD)
▬	ASPHALT (ASPH)	DWY	DRIVEWAY	☼	LIGHT POLE (DECORATIVE)	↑	SIGN/STREET NAME SIGN
▬	BUILDING LINE	ECD	ELECTRICAL CONDUIT	LSCAPE/PA	LANDSCAPE/PLANTER	Tc/SL	TRAFFIC CONTROL/STREET LIGHT HANDHOLE
⊕	CATCH BASIN (CB)	ED	ELECTRICAL DUCT	⊕	MANHOLE	⊕	TEMPORARY BENCHMARK (TBM)
▬	CONCRETE SURFACE	EM	ELECTRICAL METER	⊕	PROPERTY LINE (PL)	⊕	TELEPHONE CONDUIT (BURIED)
CC	CONCRETE	EV/ET	ELECTRICAL VAULT/TRANSFORMER	SD	STORM DRAIN	TD	TELEPHONE DUCT
▬	CHAIN LINK FENCE (CLF)	⊕	FOUND SURVEY MONUMENT (AS NOTED)	⊕	PRIVATE CATCH BASIN	TV	TELEPHONE VAULT
CTV	CABLE TV	☼	FIRE HYDRANT	▬	GRAVEL SURFACE	TMH	TELEPHONE MANHOLE
COL	COLUMN	☼	FIRE DEPT. CONNECTION (FDC)	▬	ROCKERY	TS	TELEPHONE SENTRY
⊕	CENTERLINE/MONUMENT LINE	FO	FIBER OPTICS	SCL/CLHH	SEATTLE CITY LIGHT HANDHOLE	WV	WATER VAULT
CON	CONIFEROUS TREE	FOMH	FIBER OPTIC MANHOLE	SD	SERVICE DRAIN (STORM)	W	WATER MAIN
DEC	DECIDUOUS TREE	☼	IRRIGATION CONTROL BOX	CO	CLEANOUT	WM	WATER METER
CMP	CORRUGATED METAL PIPE	⊕	IRRIGATION VALVE	STM/V	STEAM LINE/VAULT	⊕	WATER VALVE



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CLIENT/OWNER

SAMBICA

PROJECT NAME

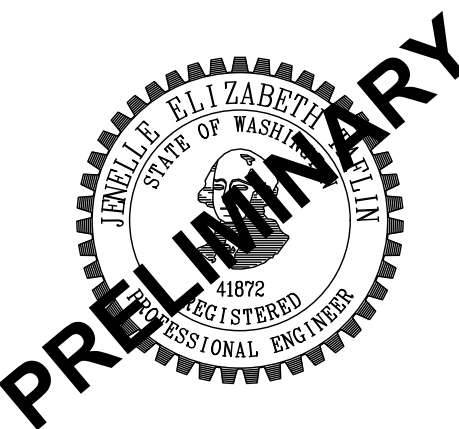
SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

4114 W LAKE
SAMMAMISH PKWY SE
BELLEVUE, WA 98008

STAMP



REVISIONS

REV	ISSUED FOR:	DATE
1	ADR AND MDP PLANS	03.27.19
2	ADR AND MDP PLANS	02.19.19
3	ADR AND MDP PLANS	10.25.19



SECTION, TOWNSHIP, RANGE:
NE 1/4 OF NE 1/4 SECTION 13,
TOWNSHIP 24 NORTH, RANGE 05
EAST, W.M.

PROJECT TEAM

REVIEWED BY: J.TAFLIN
DESIGNED BY: J.GREEN
T.PRUSA

SHEET NAME

COVER SHEET

SHEET NUMBER

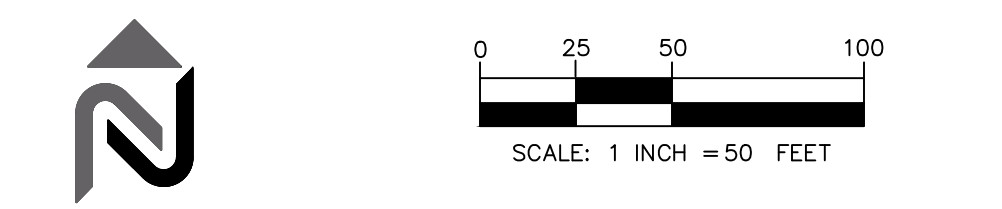


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LEGEND:

- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED EDGE OF ASPHALT
- PROPOSED SAWCUT LINE
- PROPOSED RETAINING WALL
- PROPOSED STANDARD DUTY PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPE AREA
- PROPOSED GRAVEL AREA
- PROPOSED ASPHALT GRIND AND OVERLAY



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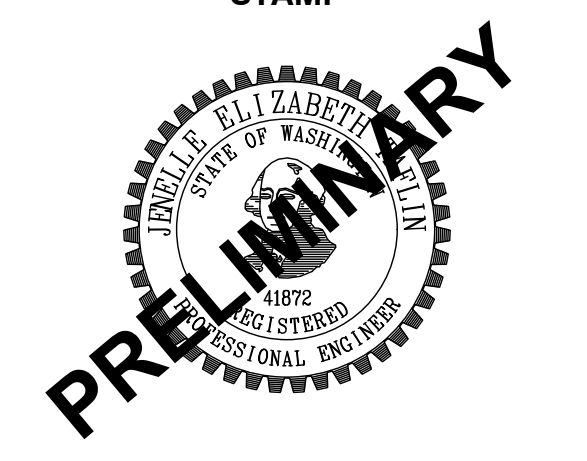
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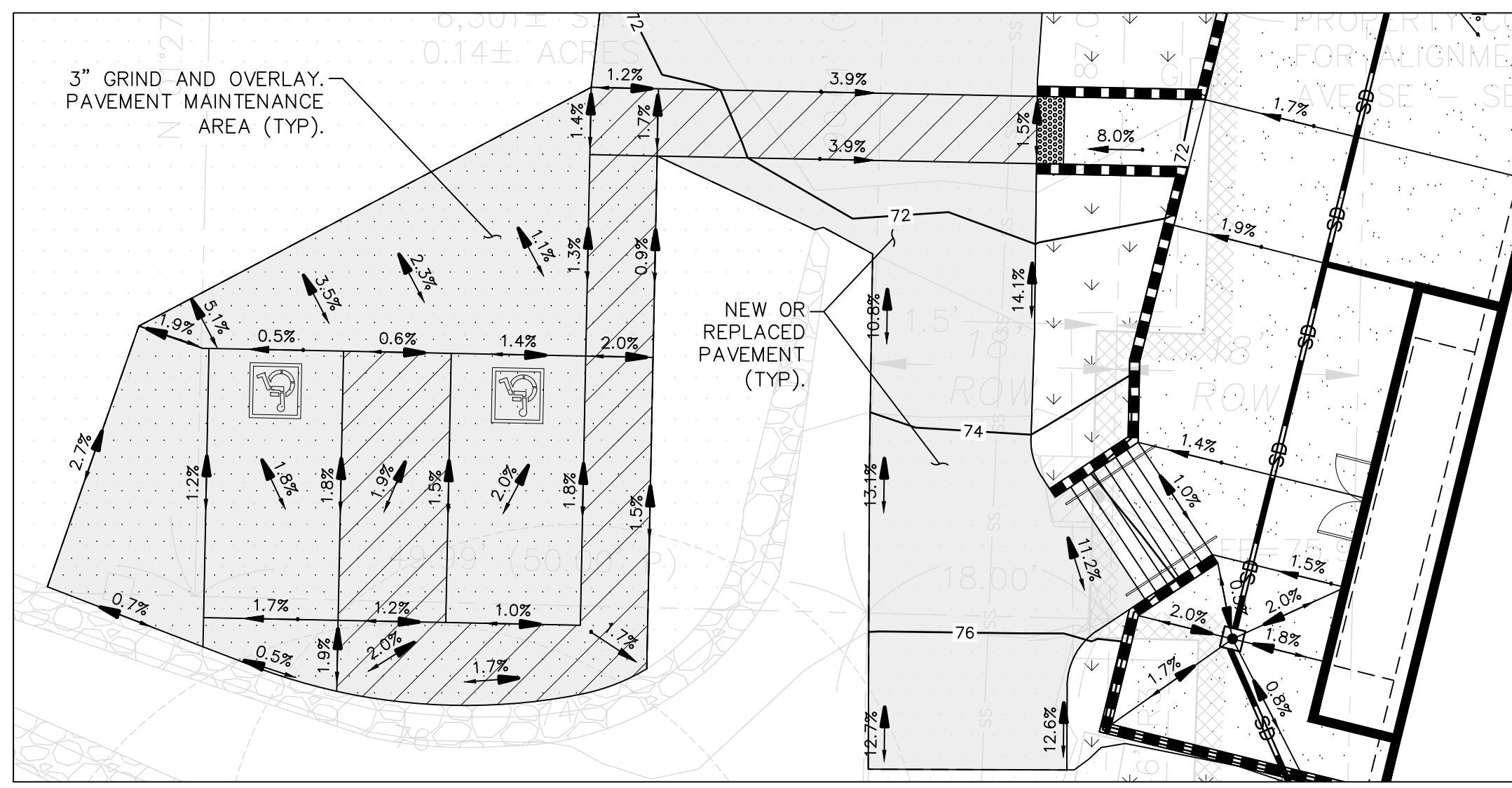
SECTION, TOWNSHIP, RANGE:
 NE 1/4 OF NE 1/4 SECTION 13,
 TOWNSHIP 24 NORTH, RANGE 05
 EAST, W.M.

PROJECT TEAM

REVIEWED BY: J.TAFLIN
 DESIGNED BY: J.GREEN
 T.PRUSA

SHEET NAME
**OVERALL
 CLEARING,
 GRADING, UTILITY,
 AND SITE PLAN**

SHEET NUMBER
C-1.0

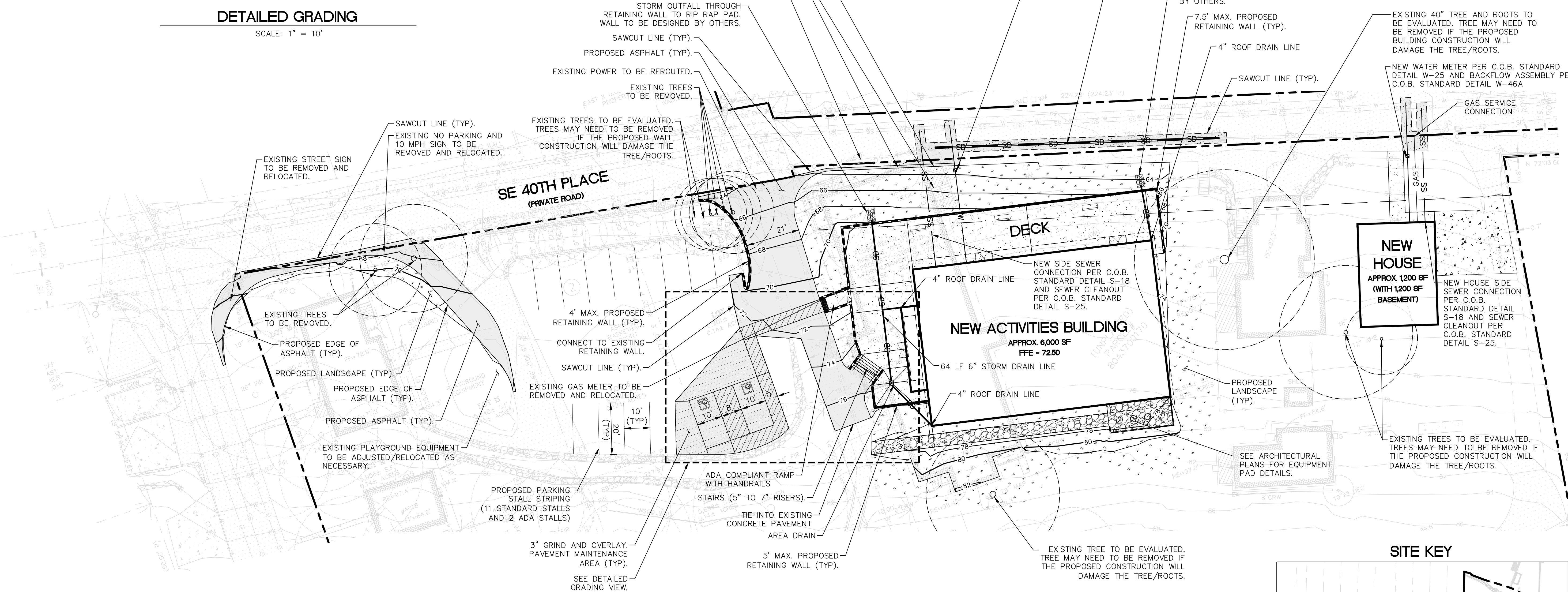


DETAILED GRADING

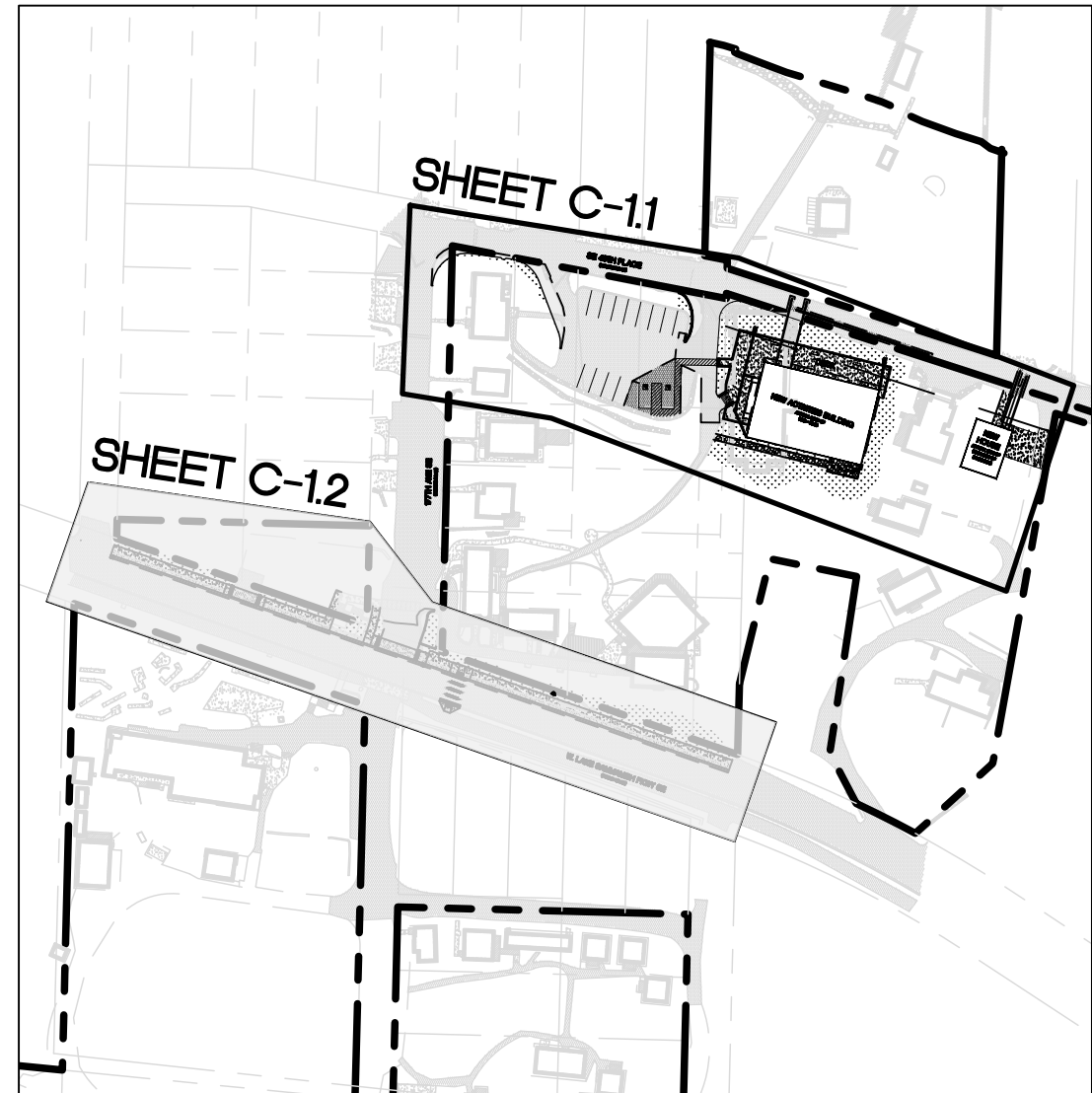
SCALE: 1" = 10'

LEGEND:

- PROPERTY LINE
- PROPOSED BUILDING
- PROPOSED CONCRETE CURB AND GUTTER
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SITE KEY



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CLIENT/OWNER

SAMBICA

PROJECT NAME

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NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

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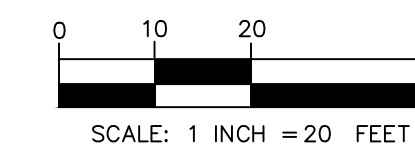
SHEET NAME

**CLEARING,
 GRADING, UTILITY
 AND SITE PLAN**

SHEET NUMBER

C-1.1

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LEGEND:

- PROPERTY LINE
- ▬ PROPOSED BUILDING
- ▬ PROPOSED CONCRETE CURB AND GUTTER
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CLIENT/OWNER

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PROJECT NAME

SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

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 SAMMAMISH PKWY SE
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 EAST, W.M.

PROJECT TEAM

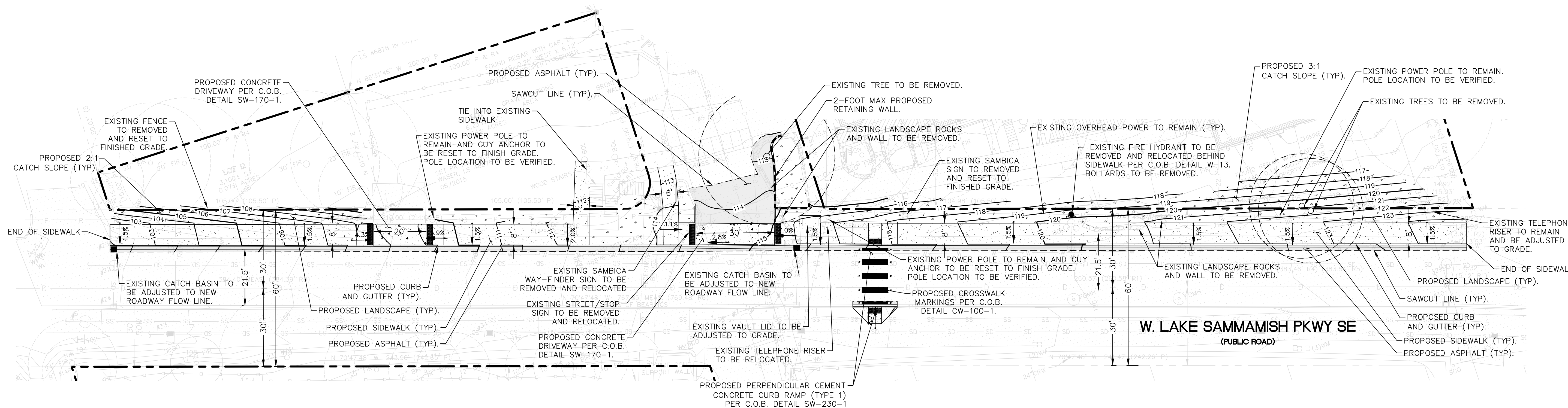
REVIEWED BY: J.TAFLIN
 DESIGNED BY: J.GREEN
 T.PRUSA

SHEET NAME

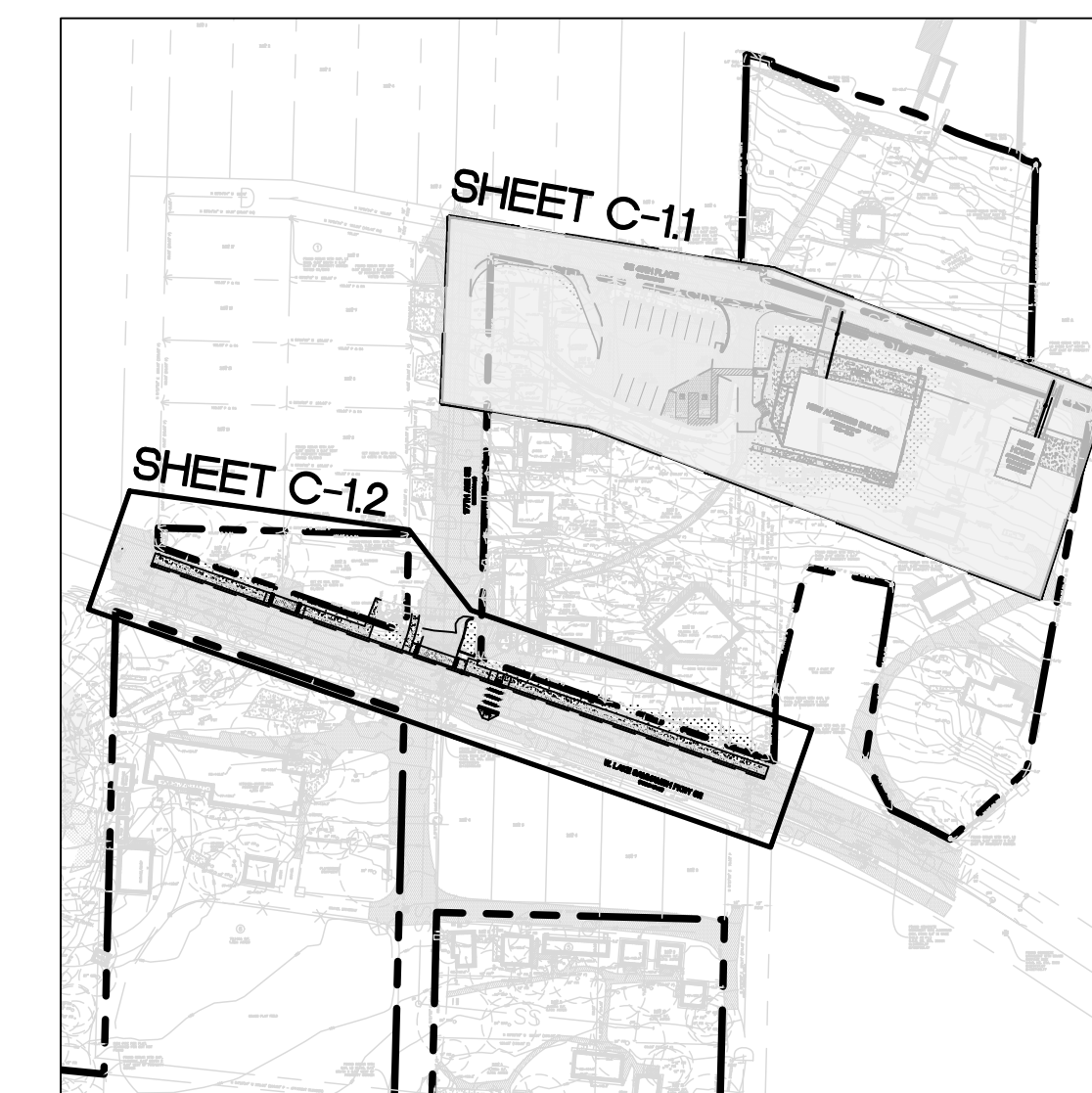
**CLEARING,
 GRADING, UTILITY
 AND SITE PLAN**

SHEET NUMBER

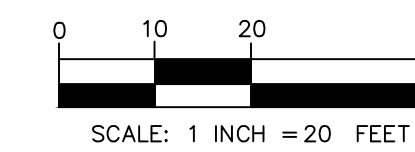
C-1.2



SITE KEY

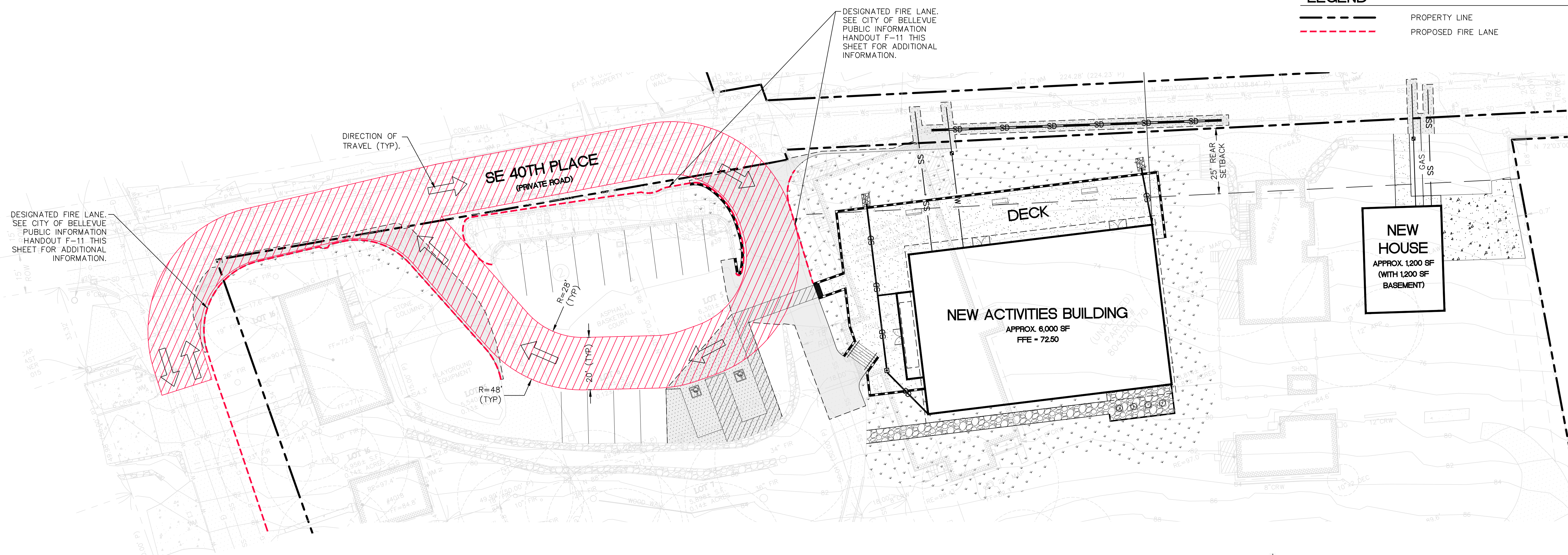


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LEGEND:

- PROPERTY LINE
- PROPOSED FIRE LANE



DESIGNATED FIRE LANE. SEE CITY OF BELLEVUE PUBLIC INFORMATION HANDOUT F-11 THIS SHEET FOR ADDITIONAL INFORMATION.

DESIGNATED FIRE LANE. SEE CITY OF BELLEVUE PUBLIC INFORMATION HANDOUT F-11 THIS SHEET FOR ADDITIONAL INFORMATION.



Fire Lanes

August 2013

Fire Lane Requirements

In general, fire lanes must be at least 20 feet in width, not less than 13' 6" in unobstructed height and able to support fire vehicles.

Designated fire lanes shall be marked by both of the following:

- signs posted at a minimum height of 7' measured from the street or sidewalk to the bottom of the sign. When signs are wall/ fence mounted the top of the sign may be no lower than 5' above the street or sidewalk.



Place signs at a maximum center-to-center spacing of 150 feet on both sides of the fire lane or put an additional sign beneath the fire lane sign lettered as "both sides." Signs must be a type "R8-31" or equivalent reflective sign no less than 12" x 18" in size, with a white background and the wording **NO PARKING FIRE LANE** in red letters.

- curbing painted red with 3-inch minimum white lettering to read **NO PARKING FIRE LANE** at 50-foot intervals. Where no curb exists, stenciling shall be placed on pavement with minimum 10" white block lettering on continuous 16" red background to read: **NO PARKING FIRE LANE** at 50-foot intervals. See illustration below.

Before marking any new fire lanes, submit for the fire official's approval a plan which indicates

all fire lanes and proposed fire lane sign placements for the project site.

It is the property owner's responsibility to prevent the parking of vehicles or placement of other obstructions in such fire lanes.

Towing Notification
At each entrance to property where fire lanes have been designated, post in a clearly conspicuous location signs which indicate the name, telephone number, and address of the towing firm where the vehicle may be redeemed.

Violation - Civil Infraction
Any person who fails to make or maintain the markings of a designated fire lane or who parks a vehicle in, obstructs, or allows the obstruction of a designated fire lane commits a **civil infraction** to which the provisions of R.C.W.7.80 apply. The **penalty for parking** a vehicle in, allowing the parking of a vehicle in, or obstructing a designated fire lane is **\$100.00**.

Call 425.577.5656 to report fire lane violations.

Impoundment
Any vehicle or object obstructing a designated fire lane, whether on public or private property, is hereby declared a hazard and may be abated without prior notification to its owner by impoundment pursuant to the applicable state law.

For reference, see Bellevue City Code 23.11.503.

For additional clarification or information please contact the Fire Prevention Division of the Bellevue Fire Department at 425-452-6872.



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CLIENT/OWNER

SAMBICA

PROJECT NAME

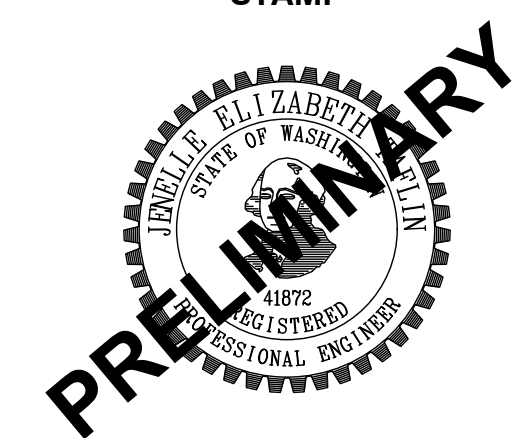
SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

4114 W LAKE
SAMMAMISH PKWY SE
BELLEVUE, WA 98008

STAMP



REVISIONS

REV	ISSUED FOR:	DATE
1	ADR AND MDP PLANS	03.27.18
2	ADR AND MDP PLANS	02.19.19
3	ADR AND MDP PLANS	10.25.19



SECTION, TOWNSHIP, RANGE:

NE 1/4 OF NE 1/4 SECTION 13,
TOWNSHIP 24 NORTH, RANGE 05
EAST, W.M.

PROJECT TEAM

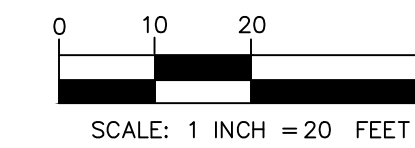
REVIEWED BY: J.TAFLIN
DESIGNED BY: J.GREEN
T.PRUSA

SHEET NAME

**FIRE TRUCK
ROUTE**

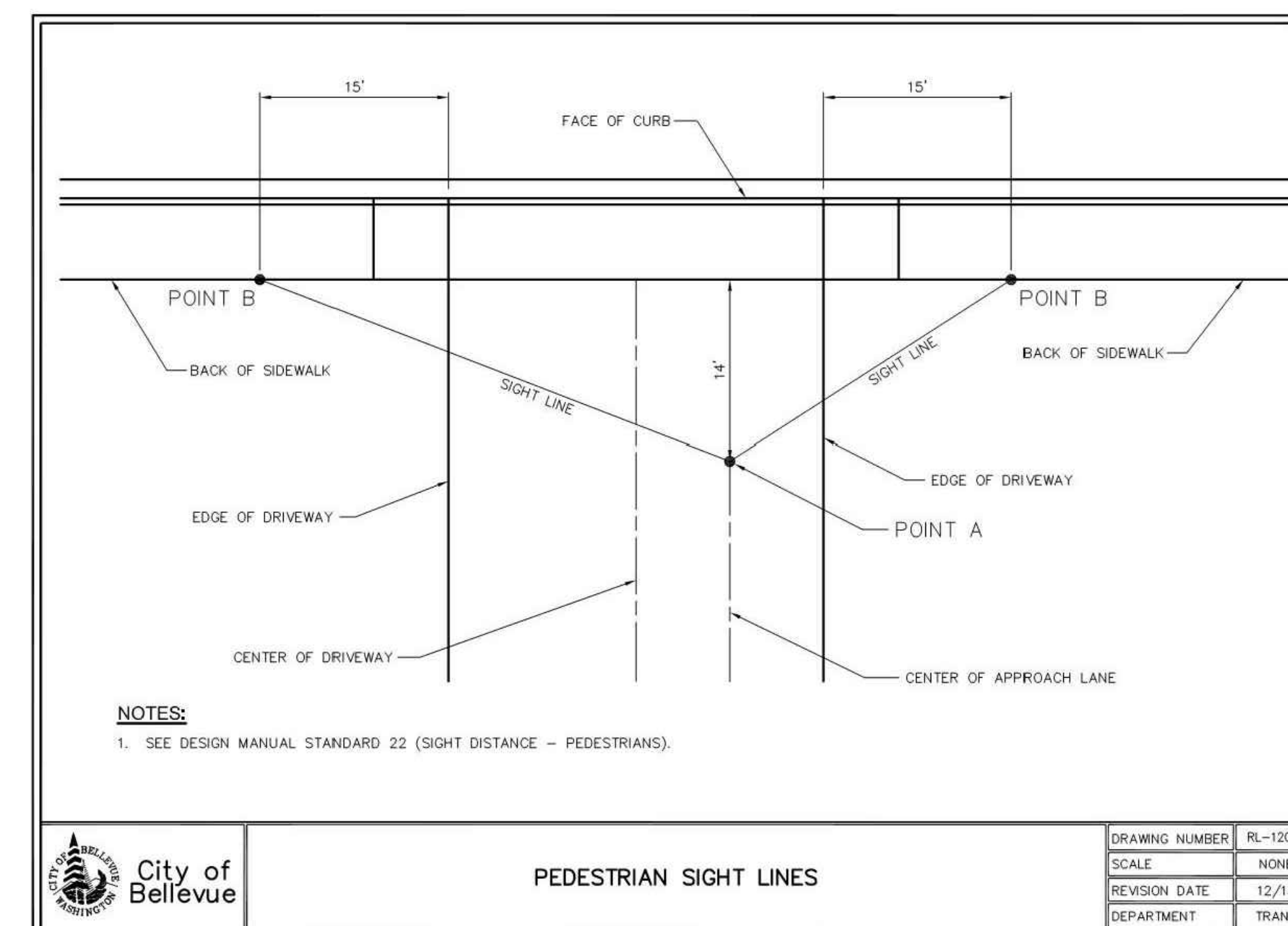
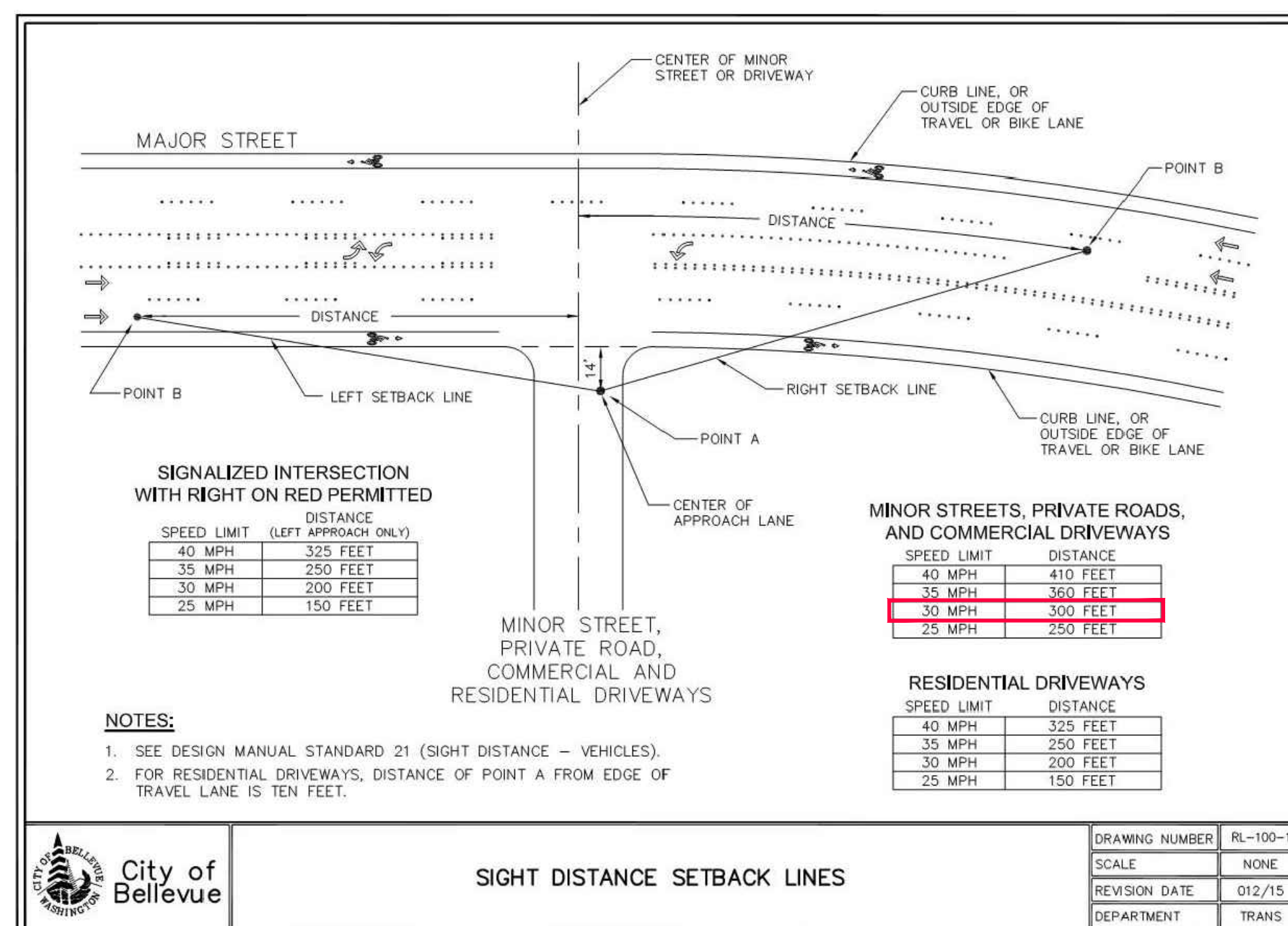
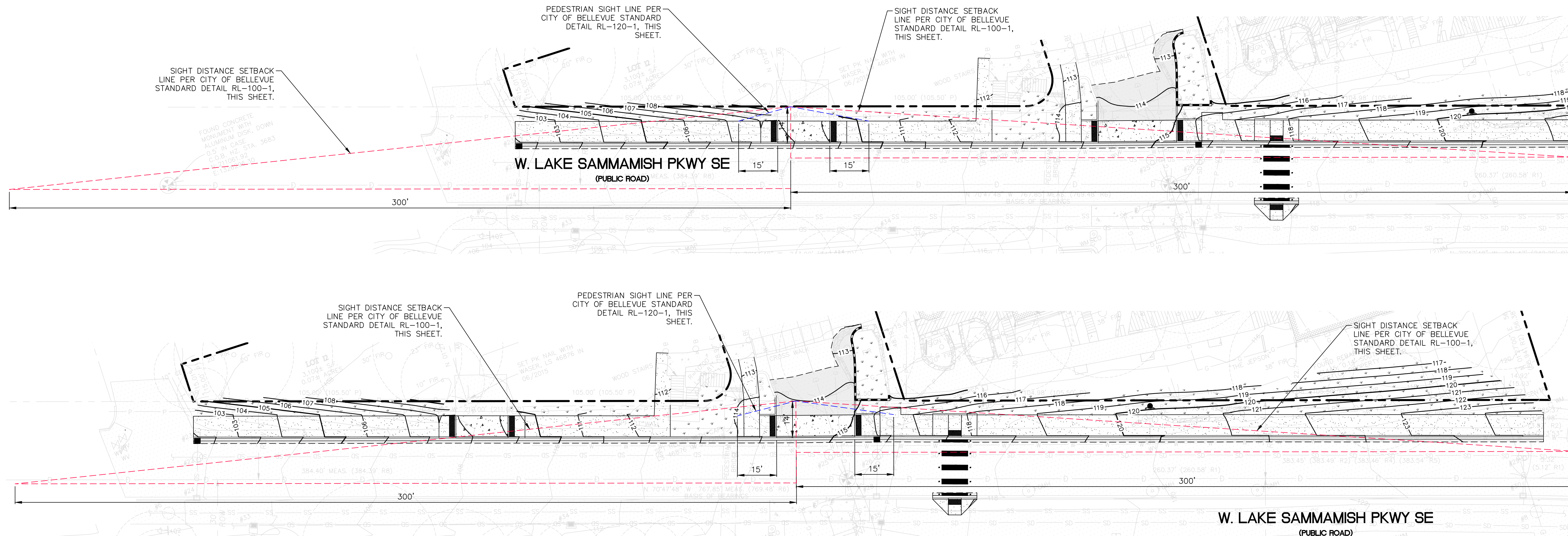
SHEET NUMBER

C-1.3



LEGEND:

- PROPERTY LINE
- SIGHT DISTANCE SETBACK LINE
- PEDESTRIAN SIGHT LINE



11235 s.e. 6th street | suite 150
 Bellevue, wa 98004
 t: 425.453.9501 | f: 425-453-8208
 www.navixeng.com

CLIENT/OWNER

SAMBICA

PROJECT NAME

SAMBICA

NAVIX PROJECT NUMBER: 50-587-001

PROJECT ADDRESS

4114 W LAKE
 SAMMAMISH PKWY SE
 BELLEVUE, WA 98008

STAMP



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PROJECT TEAM

REVIEWED BY: J.TAFLAN
 DESIGNED BY: J.GREEN
 T.PRUSA

SHEET NAME

SIGHT DISTANCE PLAN

SHEET NUMBER

C-1.4

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