



DEVELOPMENT SERVICES DEPARTMENT
ENVIRONMENTAL COORDINATOR
450 110th Avenue NE, P.O. BOX 90012
BELLEVUE, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPONENT: International Society for Krishna Consciousness

LOCATION OF PROPOSAL: 12501 Bellevue-Redmond Road

DESCRIPTION OF PROPOSAL: Approval of an Administrative Conditional Use permit to establish an International Society for Krishna Consciousness Temple and a primary school. Minor exterior improvements to the existing building structure are proposed. Two outdoor play areas will also be added to the existing parking lot to serve the primary school.

FILE NUMBERS: 14-124283-LA **PLANNER:** Laurie Tyler, Associate Planner

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

- There is no comment period for this DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's office by 5:00 p.m. on _____.
- This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision. A written appeal must be filed in the City Clerk's Office by 5 p.m. on **3/23/2017**
- This DNS is issued under WAC 197-11-340(2) and is subject to a 14-day comment period from the date below. Comments must be submitted by 5 p.m. on _____. This DNS is also subject to appeal. A written appeal must be filed in the City Clerk's Office by 5:00 p.m. on _____.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project); or if the DNS was procured by misrepresentation or lack of material disclosure.

Care Utellord
Environmental Coordinator

3/9/17
Date

OTHERS TO RECEIVE THIS DOCUMENT:

- State Department of Fish and Wildlife / Stewart.Reinbold@dfw.gov; Christa.Heller@dfw.wa.gov;
- State Department of Ecology, Shoreline Planner N.W. Region / Jobu461@ecy.wa.gov; sepaunit@ecy.wa.gov
- Army Corps of Engineers Susan.M.Powell@nws02.usace.army.mil
- Attorney General ecyolyef@atg.wa.gov
- Muckleshoot Indian Tribe Karen.Walter@muckleshoot.nsn.us; Fisheries.fileroom@muckleshoot.nsn.us

A. Background [\[help\]](#)

1. Name of proposed project, if applicable: [\[help\]](#)
International Society for Krishna Consciousness/ Primary School
2. Name of applicant: [\[help\]](#)
ISKCON of WA
3. Address and phone number of applicant and contact person: [\[help\]](#)
1420 228th Ave SE, Sammamish, WA 98075
Contact: Harry Terhanian, (425) 499-6408
4. Date checklist prepared: [\[help\]](#)
October 10, 2016
5. Agency requesting checklist: [\[help\]](#)
City of Bellevue
6. Proposed timing or schedule (including phasing, if applicable): [\[help\]](#) **ACUP**
Construction to begin upon approval of building permit & ~~CUP~~
7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. [\[help\]](#)
None anticipated
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. [\[help\]](#)
None known
9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. [\[help\]](#)
None known
10. List any government approvals or permits that will be needed for your proposal, if known. [\[help\]](#)
~~*Conditional Use Approval (in progress)*~~ **Administrative Conditional Use Permit**
Buildind Permit (in progress)
11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)
[\[help\]](#)
1.15 acre site with existing 23,246 sq. ft. office building. Proposed project will convert 10,946 sq. ft. of building into a Krishna Temple and 6,485 sq. ft. into a Primary School. An existing 5,815 sq. ft. medical office will remain.
12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or

boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. [\[help\]](#)

Address: 12501 Bel-Red Road, Bellevue, WA 98005

Legal Description: Kietz home acres add parcel 2 Bellevue short plat no 77-51 rec no 7707130879

Property Tax No: 385490-0022

B. Environmental Elements [\[help\]](#)

1. Earth [\[help\]](#)

- a. General description of the site: [\[help\]](#) (select one): Flat, rolling, hilly, steep slopes, mountainous, other: *Site is an existing office development. No significant changes to grades are proposed.*
- b. What is the steepest slope on the site (approximate percent slope)? [\[help\]](#)
No changes to slopes proposed for site.
There is a small, non-significant slope to the west between the subject property and adjacent property to the west, due to the grade change between the two properties.
- c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. [\[help\]](#)
No significant soil removal proposed.
- d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. [\[help\]](#)
None known.
- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. [\[help\]](#)
Excavation is limited to installation of foundations at trash corral and new exterior stair. No proposed significant changes to grading are proposed. **Minor grading will occur for installation of outdoor play areas for the primary school.**
- f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. [\[help\]](#)
Erosion control during Construction is expected to be minimal. The drawings include temporary erosion control measures. No new erosion is anticipated related to the proposed uses.
- g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? [\[help\]](#)
81.7% impervious surface existing. No net change proposed.
- h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: [\[help\]](#)
Temporary control during construction, as proposed on drawings.

2. Air [\[help\]](#)

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- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. [\[help\]](#)
No significant new emissions are anticipated. There will be some exhaust emissions from construction equipment (temporary) and car traffic (long-term), but these are similar to the emissions from the existing use.
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. [\[help\]](#)
None known
- c. Proposed measures to reduce or control emissions or other impacts to air, if any: [\[help\]](#)
None anticipated.

Construction dust mitigation measures per Clear & Grade Code: BCC 23.76

3. Water [\[help\]](#)

a. Surface Water :

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. [\[help\]](#)
None known
- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. [\[help\]](#)
None anticipated
- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. [\[help\]](#)
None anticipated
- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. [\[help\]](#)
None anticipated
- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. [\[help\]](#)
Not within flood plain
- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. [\[help\]](#)
None proposed or anticipated

Project subject to Utility Code BCC 24.06 and any required Utility permits.

b. Ground Water:

- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities

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withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known. [\[help\]](#)

None proposed

- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals...; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. [\[help\]](#)

None proposed

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. [\[help\]](#)

Exisiting storm water system to be maintained and upgraded to accommodated storm water flow. No additional significant runoff anticipated.

- 2) Could waste materials enter ground or surface waters? If so, generally describe. [\[help\]](#)

None anticipated. Storm water upgrades proposed to meet requirements for new work proposed.

- 3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe. [\[help\]](#)

No changes anticipated or proposed

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any: [\[help\]](#)

Storm water system upgrades per submitted storm water report.

4. Plants [\[help\]](#)

- a. Check the types of vegetation found on the site: [\[help\]](#)

deciduous tree: alder, maple, aspen, other: *Click here to enter text.*

evergreen tree: fir, cedar, pine, other: *Click here to enter text.*

shrubs

grass

pasture

crop or grain

Orchards, vineyards or other permanent crops.

wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other: *Click here to enter text.*

water plants: water lily, eelgrass, milfoil, other: *Click here to enter text.*

other types of vegetation: *Click here to enter text.*

- b. What kind and amount of vegetation will be removed or altered? [\[help\]](#)

Minimal changes are proposed for Landscaping. Removed landscape to be replaced & exisitgn repaired to meet current

standards.

- c. List threatened and endangered species known to be on or near the site. [\[help\]](#)
None known
- d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: [\[help\]](#)
Existing landscaping will be maintained/ repaired.
- e. List all noxious weeds and invasive species known to be on or near the site. [\[help\]](#)
None known

5. Animals [\[help\]](#)

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site. [\[help\]](#)

Examples include:

birds: hawk, heron, eagle, songbirds, other: *Click here to enter text.*
mammals: deer, bear, elk, beaver, other: *Click here to enter text.*
fish: bass, salmon, trout, herring, shellfish, other: *None observed*

- b. List any threatened and endangered species known to be on or near the site. [\[help\]](#)
None known
- c. Is the site part of a migration route? If so, explain. [\[help\]](#)
None known
- d. Proposed measures to preserve or enhance wildlife, if any: [\[help\]](#)
None proposed. Site is an existing office development. Change of use does not create any anticipated impact to local wildlife, which is minimal due to commercial character of area.
- e. List any invasive animal species known to be on or near the site. [\[help\]](#)
None known

6. Energy and Natural Resources [\[help\]](#)

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. [\[help\]](#)
The Building energy use will remain similar to existing conditions: electricity & gas for lighting, heating, and cooking at small temple/ School kitchen.
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. [\[help\]](#)
No affect anticipated.

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- c. What kinds of energy conservation features are included in the plans of this proposal?
List other proposed measures to reduce or control energy impacts, if any: [\[help\]](#)
No proposed changes to energy control.

7. Environmental Health [\[help\]](#)

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal?
If so, describe. [\[help\]](#)
None anticipated

- 1) Describe any known or possible contamination at the site from present or past uses. [\[help\]](#)
None anticipated, existing office building is a long exositng condition on site.
- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. [\[help\]](#)
None known
- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. [\[help\]](#)
None anticipated
- 4) Describe special emergency services that might be required. [\[help\]](#)
None known
- 5) Proposed measures to reduce or control environmental health hazards, if any: [\[help\]](#)
None anticipated as necessary, beyond typical erision control during construction.

- b. Noise [\[help\]](#)

- 1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? [\[help\]](#)
Bel-Red is a busy road, with associated traffic noise.
- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)?
Indi-cate what hours noise would come from the site. [\[help\]](#)
*Short term construction noise will occur in daytime hours.
Long term traffic noise from Temple attendance & noise from Children's recess anticipated, but are in keeping with commercial character of the area.*
- 3) Proposed measures to reduce or control noise impacts, if any: [\[help\]](#)
Abticipated noise is minimal and keeping in nature of commercial surroundings.

Construction noise will be limited to the City's Noise Ordinance BCC 9.18

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8. Land and Shoreline Use [\[help\]](#)

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe. [\[help\]](#)
Current use is Office. Nearby sites are also office/commercial. The proposed land use includes a new shared parking agreement with a neighbor for evenings & weekends.
- b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use? [\[help\]](#)
No farm lands or forest nearby or in recent past.
- 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how: [\[help\]](#)
No.
- c. Describe any structures on the site. [\[help\]](#)
Existing office building to remain. Alterations are primarily internal.
- d. Will any structures be demolished? If so, what? [\[help\]](#)
No
- e. What is the current zoning classification of the site? [\[help\]](#)
~~Office/ Residential Transit~~ **Bel-Red - Office, Residential Transition (BR-ORT)**
- f. What is the current comprehensive plan designation of the site? [\[help\]](#)
~~Office/ Residential Transit~~ **Bel-Red - Office, Residential Transition (BR-ORT)**
- g. If applicable, what is the current shoreline master program designation of the site? [\[help\]](#)
Not Applicable
- h. Has any part of the site been classified as a critical area by the city or county? If so, specify. [\[help\]](#) **Not applicable.**
None known
- i. Approximately how many people would reside or work in the completed project? [\[help\]](#)
No residences proposed. Current medical office staff to remain, teachers for 100 students, and a few priests.
- j. Approximately how many people would the completed project displace? [\[help\]](#)
No people or businesses to be displaced
- k. Proposed measures to avoid or reduce displacement impacts, if any: [\[help\]](#)
Not applicable

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- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: [\[help\]](#)
Proposed uses are allowed in this area by Conditional Use review, which is in progress. Temple hours are offset from typical office/ commercial hours of adjacent uses.
- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance, if any: [\[help\]](#)
Not applicable - surrounding area is built up and commercial.

9. Housing [\[help\]](#)

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. [\[help\]](#)
None proposed
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. [\[help\]](#)
No housing existing on site
- c. Proposed measures to reduce or control housing impacts, if any: [\[help\]](#)
Not applicable

10. Aesthetics [\[help\]](#)

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? [\[help\]](#)
No change in height is proposed. No proposed change in principal exterior materials
- b. What views in the immediate vicinity would be altered or obstructed? [\[help\]](#)
No changes proposed that will alter or obstruct views
- c. Proposed measures to reduce or control aesthetic impacts, if any: [\[help\]](#)
Not applicable

11. Light and Glare [\[help\]](#)

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur? [\[help\]](#)
No changes proposed that will impact light or glare
- b. Could light or glare from the finished project be a safety hazard or interfere with views? [\[help\]](#)
No new hazards are anticipated
- c. What existing off-site sources of light or glare may affect your proposal? [\[help\]](#)
None known

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- d. Proposed measures to reduce or control light and glare impacts, if any: [\[help\]](#)
Not applicable

12. Recreation [\[help\]](#)

- a. What designated and informal recreational opportunities are in the immediate vicinity? [\[help\]](#)
None known
- b. Would the proposed project displace any existing recreational uses? If so, describe. [\[help\]](#)
No displacement proposed
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: [\[help\]](#)
Not applicable

13. Historic and cultural preservation [\[help\]](#)

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? If so, specifically describe. [\[help\]](#)
None known
- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. [\[help\]](#)
None known
- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc. [\[help\]](#)
Proposed work preserves most existing site conditions and is confined to construction of trash enclosure and of small PPlaygrand area, both within existing parking lot.
- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required. [\[help\]](#)
Not applicable

14. Transportation [\[help\]](#)

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any. [\[help\]](#)
The project site is primarily served by an existing driveway access to Bel-Red Road.
- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop? [\[help\]](#)
Yes the project site is served by public transit with a bus

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stop located 1 block to the west on Bel-Red Road that serves King County Metro route 226.

- c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate? [\[help\]](#)
The existing site has 76 parking stalls. With the proposed development, on-site parking would be reduced to a total of 64 parking stalls.
- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private). [\[help\]](#)
No
- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. [\[help\]](#)
No
- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates? [\[help\]](#)
The project proposal would generate a total of 438 vehicle trips per weekday (78 trips for Temple and 360 trips for school). A total of 34 vehicle trips are expected to be generated during the 4:00-5:00 p.m. peak hour on a weekday. The trip generation estimates were based on City trip rates, anticipated school enrollment, and estimated temple attendance on a weekday.
- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe. [\[help\]](#)
No
- h. Proposed measures to reduce or control transportation impacts, if any: [\[help\]](#)
A shared parking agreement has been established with the adjacent building to help accommodate potential parking spillover.

See transportation analysis in staff report.

15. Public Services [\[help\]](#)

- a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe. [\[help\]](#)
None anticipated
- b. Proposed measures to reduce or control direct impacts on public services, if any. [\[help\]](#)
No impacts anticipated


16. Utilities [\[help\]](#)

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- a. Circle utilities currently available at the site: [\[help\]](#)
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system,
other
*Electricity, gas, water, refuse service, telephone & sanitary
sewer all existing*
- c. Describe the utilities that are proposed for the project, the utility providing the service,
and the general construction activities on the site or in the immediate vicinity which might
be needed. [\[help\]](#)
Existing utilities to be continued; no new proposed

C. Signature [\[help\]](#)

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature:  _____

Name of signee: *Jamie Trendera*

Position and Agency/Organization: *Freiheit & Ho Architects Inc., P.S.*

Date Submitted: *October 13, 2016*

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**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: International Society for Krishna Consciousness Temple and Primary School

Proposal Address: 12501 NE Bellevue-Redmond Road

Proposal Description: Request for Administrative Conditional Use approval to establish a religious facility and a primary school. Proposal includes utilization of the existing structure on the site. A small exterior improvement to the building structure to accommodate a stairway is proposed, along with modifications to the existing parking lot layout to accommodate the installation of two outdoor play areas for the school.


File Number: **14-124283-LA**

Applicant: Freiheit & Ho Architects (Jamie Trenda)

Decisions Included: Administrative Conditional Use, Process II
Land Use Code 20.30E

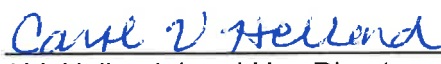
Planner: Laurie Tyler, Associate Land Use Planner

State Environmental Policy Act
Threshold Determination: **Determination of Non-Significance (DNS)**



Carol V. Helland
Environmental Coordinator

Director's Recommendation: **Approval with Conditions**
Michael A. Brennan, Director
Development Services Department

By: 

Carol V. Helland, Land Use Director

Application Date: February 10, 2014
Notice of Application: March 27, 2014
14-day Comment Period: April 10, 2014
Decision Publication Date: March 9, 2017
Appeal Deadline: March 23, 2017

For information on how to appeal the project, visit the Permit Center at City Hall or call (425) 452-6864. Appeal of the decision must be received in the City Clerk's office by 5 p.m. on the date noted for the appeal deadline.

I. REQUEST AND PROJECT DESCRIPTION

A. Proposal:

The applicant, International Society for Krishna Consciousness (ISKCON), has requested an Administrative Conditional Use (ACU) permit to establish a Krishna Temple to be located within a new existing office building at 12501 Bellevue-Redmond Road. In addition, DBA Synergy International School has requested an Administrative Conditional Use (ACU) permit to establish a small primary school within the same structure. Both the religious facility and primary school are permitted uses subject to an ACU permit. A portion of the lower level of the building is currently occupied by a physical therapy clinic, which is anticipated to remain. Upon approval, the existing structure would have three uses within the building.

The existing two-story office structure is approximately 23,246 gross square feet in size, and was recently constructed in 2012 after a fire destroyed a previously existing office building on the same site. The Krishna Temple is proposed to be located on the second floor of the structure, and will include an open space for worship, a kitchen, and a multi-purpose room. The primary school is proposed to be located on the east side of the first floor of the structure, and will include four classrooms; however, the school intends to share use of the second floor kitchen for daily lunches. The existing physical therapy clinic is proposed to remain on the lower level.

The interior of the structure will be converted to accommodate the Temple and school uses through tenant improvement permits, which are currently under review (14-134331-BY & 14-134333-BY). The applicant proposes minor modifications to the exterior of the building and site conditions to accommodate these new uses. These include construction of a secondary stairwell on the east side of the building which is required by building code due to the proposed occupant load of the temple use on the second floor, and modification of the parking areas in the southwest corner of the site to accommodate the installation of two small playgrounds for use by the school. As the property is located within the Bel-Red Office Residential Transition land use district, a Land Use Exemption (14-130890-LJ) will be processed for these modifications to the exterior of the building and site conditions. **Refer to Section XI.1 and XI.11 and XI.7 for Conditions of Approval regarding Noise & Construction Hours and Signage and Changes to the Building Exterior and Site.**

The Temple will be open on Saturday and Sunday between 5:00AM and 9:30PM. The majority of Temple activities are scheduled to occur during weekends, with three (3) weekend services proposed. During the week, a caretaker will be onsite; however, no weekday services or temple activities are proposed. Weeknight activities will occur between 6:30PM and 10:00PM, no more than once per week. In addition, twice a year the Temple proposes to hold a major festival based on the lunar calendar. Typically one is held in January and the other is held in April.

The primary school will operate Monday through Friday, 8:00AM to 3:30PM. The proposed student population is anticipated to be no more than 100 students, with approximately 10 teachers and 2 administrators on site from 8:00AM to 4:00PM, and 2 parent volunteers on site between 10:30AM and 11:30AM each day. Approximately 80% of the students will be picked up after school ends at 3:30PM. The remaining 20% will be enrolled in after school programs, which end at 6:00PM.

It should be noted that the existing physical therapy clinic currently operates Monday through Friday, 7:00AM to 7:30PM, and holds a morning exercise class for approximately 6 students on Saturdays, 7:00AM to 12:00PM.

B. Review Process:

An ACU is a Process II decision made by the Director of the Development Services Department. The process includes public noticing with a minimum 14-day comment period. The Director’s decision shall be written in a staff report to indicate whether the application has been approved, approved with conditions, or denied. The decision will be publically noticed with a mandatory 14-day appeal period. Process II decisions may be appealed by parties who submitted written comments on the application. Any appeal submitted shall be heard at a public hearing before the City Hearing Examiner.

II. SITE CONTEXT AND ZONING

The subject site is located east of the intersection of 124th Avenue NE and NE Bellevue-Redmond Road. The site is currently improved with a two-story office building, which is occupied by a single tenant, which is a physical therapy clinic. Entrance to the site is through a shared driveway entrance via NE Bellevue Redmond Road, with the adjacent property to the east, located at 12505 NE Bellevue Redmond Road. The site is located within the Bel-Red-Office Residential Transition (BR-ORT) land use district and has a Comprehensive Plan Designation of Bel-Red-Office Residential Transition (BR-ORT). The site is surrounded by commercial/industrial uses to the north in the BR-OR land use district, and office uses to the east, south and west in the BR-ORT and O land use districts.

Figure 1 – Zoning Map

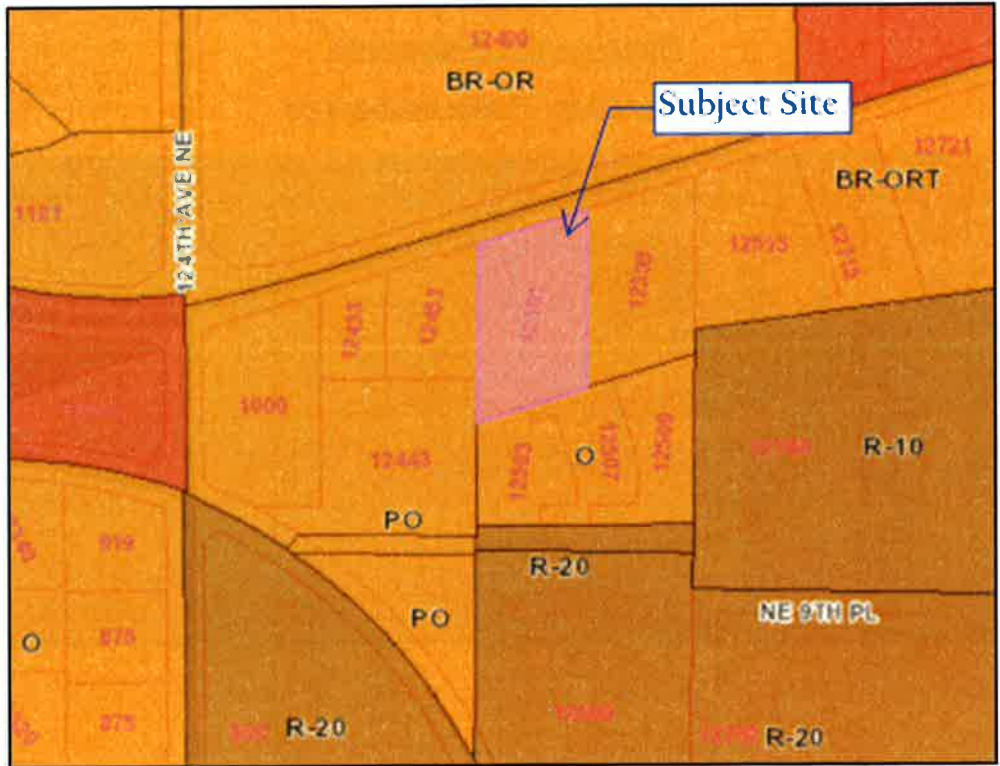
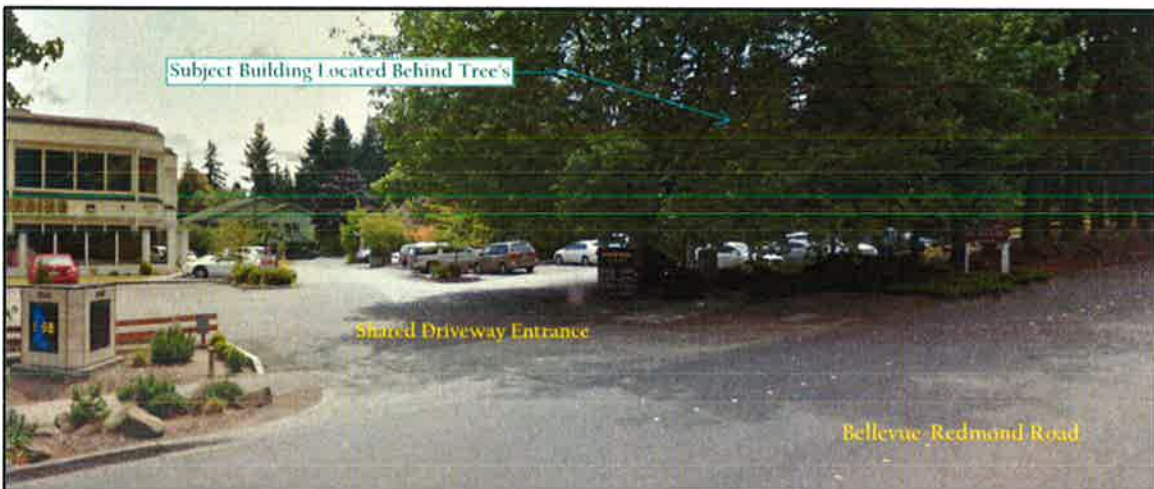


Figure 2 – Aerial Photograph



Figure 3 – Site Photographs

Looking South – Project Site Entrance



Looking South – Frontage of Site



III. PROPOSED SITE AND BUILDING MODIFICATIONS

The site is currently developed with an existing office structure and associated parking and landscaping. The site contains 74 standard parking stalls, 2 of which are ADA accessible. Existing trash receptacles are located in the southwest corner of the site. An existing gazebo proposed for removal is located on the west side of the site, adjacent to the southwest corner of the building.

The building currently has two entrances; a front entrance located on the east side of the structure facing the shared drive aisle, and one back entrance located on the south side of the building. In order to locate the temple hall in the second level of the building, an additional stairwell is required to be constructed to meet adequate egress requirements. This new stairwell is proposed to be located on the east side of the building, adjacent to the south east corner of the structure, south of the main entrance to the building. This is the only proposed modification to the building structure.

In order to facilitate the installation of two approximately 1,400 square foot outdoor play areas for use by the school, a reduction of about 12 parking stalls would occur. The on-site parking would be reduced to a total of 64 standard stalls, but would add 1 ADA stall for a total of 3 ADA stalls on-site. The existing trash receptacles would be relocated closer to the northwest corner of the building, and would be located within an enclosure using development standards provided by Republic Services which provides solid waste pick up for the site. Removal of the existing gazebo will provide an additional parking stall to get to a total of 64 stalls.

IV. CONSISTENCY WITH LAND USE CODE REQUIREMENTS:

A. General Provisions of the Land Use Code (LUC)

1. Use

The subject site is located within the Bel-Red-Office Residential Transition (BR-ORT) land use district. As such, the Land Use Code (LUC) 20.25D.070 Services (chart)

permits religious facilities and primary schools subject to Administrative Conditional Use approval. The applicant has fulfilled this requirement by submitting this application for review and approval for both use types.

2. Dimensional Requirements

All applicable dimensional requirements of the LUC will be met. Refer to the following chart for specific information and the Project Plans attached at the end of this report.

Category	LUC Requirements	Proposal by Applicant
Site Area (BR-ORT District)	Not Applicable	50,093 SF (1.15 Acre)
Lot Coverage	75%	9,668 sf (19.3%) No Change
Impervious Surface	75%	14,379 sf (29%)
Building Height	30 Feet	Not applicable – no change to building height
Building Setbacks Front (North) Rear (South) Side (East) Side (West)	20 Feet 30 Feet 20 Feet 20 Feet	No change – existing setbacks meet standards
Parking	Medical Office Minimum 4/1,000 nsf Maximum 5/1,000 nsf Religious Facility Unspecified Use School Unspecified Use	3,543 nsf = Min 14, Max 18 Parking Study submitted. See discussion in Section IV.D Parking Study submitted. Also, applicant has obtained a shared parking agreement for 30 stalls
Landscaping Perimeter Buffers (School) Front (North) Rear (South) Side (East) Side (West)	20 Feet 10 Feet 10 Feet 10 Feet	Existing conditions – no change. 30 Feet 3 Feet Not Applicable – Ingress/Egress Easement Varies 5-18 Feet Note: Applicant will utilize Alternative Landscape Option (ALO) in 20.20.520.J

B. Schools

LUC 20.20.740 provides development standards for schools located in the Bel-Red Office/Residential Transition land use district. The proposal meets the dimensional standards for schools regarding site and building design guidelines, with the exception of perimeter landscaping. See discussion below under Alternative Landscape Option.

C. Alternative Landscape Option

Schools located within the BR-ORT land use district are required to have 10 feet of landscaping along the street frontage and interior property lines. The subject site cannot support landscaping along the east (side) property line, as this area is within a shared drive aisle between two properties and contains a portion of a 25 foot wide ingress/egress easement. The existing west (side) landscape buffer varies in size, due to existing parking stalls and a change in topography from the adjacent parcel to the west. Landscaping along the rear (south) property line is currently minimal in order to support existing parking stalls. A wood fence separates the subject site from the adjacent property to the south. Strict application of the code would require removal of the existing parking stalls along the rear property line to accommodate a 10 foot landscape buffer, yet these parking stalls are needed to support the various uses on site. Therefore, the applicant is requesting a reduction of the required landscape buffers through an Alternative Landscape Option, as prescribed in LUC 20.20.740.A.5.

Per LUC 20.20.520.J, the Director may administratively approve a modification of the landscaping requirements if:

1. The proposed landscaping represents an equal or better result than that which could be achieved by strictly following the requirements of this section.

As the existing front landscape buffer is approximately 30 feet in lieu of the required 10 feet, and the side (west) landscape buffer varies in size from 5-18 feet in lieu of the required 10 feet, these two landscape buffers represent an equal or better result than that which could be achieved by strictly following the requirements of the code. Both of these landscape buffers provide screening from the adjacent property to the west in addition to screening from Bel-Red Road. However, the front landscape buffer is currently minimally landscaped. Therefore, staff is requiring the front landscape buffer to receive increased shrub and groundcover plantings to further buffer the site from Bel-Red Road. The existing evergreen trees shall remain and are not permitted to be removed. **Refer to Section XI.8 for Condition of Approval regarding Landscape Buffer.**

2. The proposed landscaping complies with the stated purpose of this section.

The enhanced landscaping along the front of the property and the existing landscape buffer to the west of the property will provide adequate screening between adjacent uses and the public right of way. **Refer to Section XI for Conditions of Approval regarding Landscape Installation Assurance Device and Landscape Maintenance Assurance Device.**

D. Parking Requirements and Site Circulation

The existing conditions on the site include 74 standard parking spaces and 2 ADA parking spaces for a total of 76 stalls. Once the installation of the two outdoor play areas are complete, a reduction of 12 parking stalls will occur, leaving a total of 64 standard stalls which includes 3 ADA stalls on-site. Site circulation would remain as it exists today, which provides for a one-way, counter-clockwise vehicular access around the building. The main drive aisle to the east of the building will continue to support two-way access for parking stalls on the east side of the building.

Religious facilities and schools are considered unspecified uses for parking standards in the Bel-Red land use district. LUC 20.25D.120.H states that for unspecified uses, the applicant shall provide documentation regarding the actual parking demand for the proposed use, or evidence in available planning and technical studies relating to the property use, or required parking for the proposed use as determined by other comparable jurisdictions. However, a medical office is a specified use in the LUC to determine parking standards. Within the BR-ORT land use district, the minimum parking ratio required for a medical office is 4 spaces per 1,000 net square feet, and the maximum is 5 spaces per 1,000 net square feet. The net square footage of the existing medical use is 3,543, which equates to a minimum parking requirement of 14 stalls and a maximum of 18 stalls.

To comply with the standards for unspecified uses, the applicant has provided a Traffic and Parking analysis, dated September 22, 2016 by Transportation Engineering Northwest (TENW). This document analyzed the existing medical office use in conjunction with the proposed temple and school uses to determine whether the on-site parking could accommodate all three uses during peak times. The study concluded that based on a typical weekday, the parking supply is anticipated to meet the demand during the day and typical Temple weeknight events.

To accommodate a larger temple weeknight event or weekend service, a shared parking agreement was recommended with the adjacent property owner for any overflow that may occur. As of the date of this report, a shared parking agreement has been acquired between the subject property owner and the owner of 12505 Bel Red Road (Bel Red Properties, LLC) for 30 additional parking stalls on this adjacent property. The agreement grants the lease of 30 parking stalls on weekdays from 7:00PM to 10:00PM and weekends from 6:00AM to 10:00PM. This agreement has been recorded on the title of both properties under King County Recording # 20160303000892. A copy of this agreement is attached for reference as Exhibit C. Should either party decide to terminate this agreement, the property owner will be required to find adequate overflow parking to continue operation of a larger weeknight event and parking demand during the weekend. **Refer to Section XI.5 for Condition of Approval regarding Off-Site Parking Agreements.**

With adequate parking, circulation and implementation of an adequate drop-off and pick-up procedure, no significant adverse impacts are expected.

V. STATE ENVIRONMENTAL POLICY ACT (SEPA)

The environmental review indicates no probability of significant adverse environmental impacts occurring as a result of the proposal that are beyond those identified in the Bel-

Red Corridor EIS and the Transportation Facilities Plan EIS. The Environmental Checklist together with information submitted (in the official file) adequately discloses expected environmental impacts associated with the proposal. The City codes and requirements, including SEPA, Land Use Code, Noise Ordinance, Building Code and other construction codes adequately mitigate expected environmental impacts. Therefore, issuance of a Determination of Non-Significance (DNS) is the appropriate threshold determination under the State Environmental Policy Act (SEPA) requirements, with incorporation by reference of:

- The Bel-Red Corridor Project Draft and Final Environmental Impact Statement, issued July 19, 2007 and addendum.
- Final Environmental Impact Statement, 2016-2027, Transportation Facilities Plan, December 2015

These documents are available in the Development Services Department, Records Room, Lobby Floor, Bellevue City Hall, 450 110th Avenue NE under file #05-127994-LE.

Adverse impacts which are less than significant are typically subject to City Codes or Standards which are intended to mitigate those impacts. Where such impacts and regulatory items correspond, further documentation is not necessary. For other adverse impacts which are less than significant, Bellevue City Code, Section 22.02.140, provides substantive authority to mitigate impacts disclosed through the environmental review process.

VI. PUBLIC COMMENT AND RESPONSE

Application Date:	February 10, 2014
Notice of Application:	March 27, 2014
Public Notice Sign:	March 27, 2014
Public Meeting:	April 10, 2014
Minimum Comment Period:	April 10, 2014
Notice of Threshold Determination:	October 20, 2016
Minimum Comment Period:	November 3, 2016

The City initially notified the public of this proposal on March 27, 2014 with mailed notice and publication in the Weekly Permit Bulletin. One, double-sided public information sign was also installed at the site entrance on the same day. A public meeting was held at City Hall on April 10, 2014, at which time only one member of the public attended, along with the applicant and applicant's representative. In addition, three emails were received following the public meeting which raised concerns regarding adequate on-site parking, potential traffic queuing on Bel-Red Road and the need to restrict left turns out of the shared driveway entrance. These concerns have been analyzed and addressed as part of this staff report. Refer to Section IV.D and VII.A for detailed discussions regarding parking, site circulation and traffic impacts. Through proper documentation, monitoring and enforcement, staff does not anticipate that there should be any parking or traffic operational issues with the proposed temple and/or school uses in conjunction with the existing physical therapy clinic on the site that would impact adjacent properties or Bel Red Road. However, should either of the proposed uses fall out of compliance with specified conditions in this report, these uses could have the potential to have their use

permits revoked. **Refer to Section XI.3 for Condition of Approval regarding Revocation of Administrative Conditional Use Permit Approval.**

During review of the project, it was determined that the project would result in more than 30 P.M. peak hour trips, which triggered the need for State Environmental Policy Act (SEPA) review. Therefore, staff requested a SEPA checklist from the applicant, and published a second public notice specific to the threshold determination for the project. No comments were received during the 14-day minimum comment period for the threshold determination.

VII. SUMMARY OF TECHNICAL REVIEWS

A. Transportation

This proposal by the International Society of Krishna Consciousness (ISKCON) is to be located at an existing 23,246 gross square foot building, which presently houses a physical therapy business, a now-vacant office space, and associated storage space. The existing physical therapy business use will continue. Primary school and temple uses will be located in the vacant office space. The primary school will accommodate a maximum of 100 students. As a primary education facility, it will provide education for students from kindergarten through fifth grade. School operating hours are from 8:00 a.m. to 3:30 p.m. Approximately 20% of the students will be enrolled in after-school programs lasting until 6:00 pm.

The temple will primarily be used on Saturday and Sunday from 5:00 am until 9:30 pm, but will also have activities on weekday evenings between 6:30 pm and 10:00 pm and periodic large events or festivals.

Site Access and Trip Generation

Access to the proposed project is provided via an existing shared driveway onto NE Bellevue-Redmond Road at the north end of the site. At this time, full access to and from NE Bellevue-Redmond Road is allowed. Access to the south through a neighboring property to NE 10th Place could be available if a shared access easement is obtained.

Traffic operations at the driveway have been examined for the weekday morning and afternoon drop-off and pickup of students, the weekday p.m. peak hours, weekday evenings, and weekend events. Multiple traffic impact analyses have been submitted by the applicant's traffic consultant and are available for review in the project file. The final report, dated September 22, 2016, contained the analysis for the finalized proposal. Because this is a unique combination of uses, the analysis provided a specific trip generation estimate for the site operations. This estimates the number of trips for the peak volumes in the morning and afternoon, as well as in the pm peak period of 4:00-6:00 pm as required for the concurrency review.

The peak trip generation for the school would be in the 8:00 am hour, with an estimated 153 trips. The peak trip generation in the afternoon would be in the 3:00 pm hour with an estimated 128 trips. During the 4:00-6:00 pm period, the school is estimated to have 28 trips in its pm peak hour, and the temple is estimated to have 6 for a total of 34 pm peak hour trips for the development.

The highest weekday volume for the temple is expected in the 9:00 pm hour with 38 trips. Volumes were not projected for weekend activities, however the parking study indicates that demand will be highest from 1:00-3:00 pm and 7:00-9:00 pm on Saturdays, implying higher traffic volumes before and after these times.

No traffic impacts are expected from this development during the pm peak hour; however, there is the potential for morning, afternoon/off-peak or weekend impacts as these are the times when traffic from the development is expected to be higher. Sufficient area on-site will need to be provided to ensure that needs are met for traffic queuing without spilling out into the street system or other nearby properties. Because of this, the development will be required to provide a traffic management plan and monitor operations after it opens. Corrective measures will be required if unanticipated impacts are identified.

Transportation Management Plan

To allow mitigation of potential traffic impacts from the school and/or temple, a traffic management plan will be required to monitor site operations. The school will appoint a Transportation Coordinator who will provide an annual report to the City, and will be responsible for correcting any traffic-related issues that occur.

The plan will address the daily operational issues at the school with respect to pick-up and drop-off queuing with a plan that includes channelization, signing, and personnel needs. Parent education will be provided, and a parent agreement required to show that they will follow the approved plan.

The plan will also address temple activities, with particular attention to large events held at the site. Remote parking sites will be identified as well as a plan for transporting temple-goers to and from the site.

To administer and monitor, a development services application shall be opened prior to the beginning of operations at the either the school or the temple. All reported issues will be required to be reported and corrected immediately, or the operations may be subject to revocation. **Refer to Section XI.15 and XI.16 for Conditions of Approval regarding Pre-Development Services Application and Traffic Management Plan for School and Temple.**

School on-site queuing

The pick-up/drop-off area for students will be provided on-site at the south end of the building, providing approximately 400 feet of queuing around the building after entering the site. It is assumed that some parents will park and walk students to the building while others will queue in the pick-up and drop-off area. The queuing area needs to be of sufficient size to ensure that no queue extends out into NE Bel-Red Road. This will be required to be monitored after the building is occupied, and will need to be documented in the required Traffic Management Plan, and corrected as necessary.

Parent agreements must be generated for each student attending the facility. The applicant shall send this information out at the beginning of each school year for parent signature. To ensure compliance, within 7-days after the start of each school year the school administrator shall provide written notification to the City disclosing the total number of students who are registered and expect to register for that school year. The

signed agreements shall be maintained by the operator and available for inspection upon request by the City of Bellevue. An example of a parent agreement is attached as Exhibit D. **Refer to Section XI.5 for Condition of Approval regarding Implement Drop-off and Pick-up Procedure.**

Temple events

Larger events associated with the Temple are expected to occur mainly on weekends, and may have the potential for off-site queuing impacts as well. No queuing back onto NE Bellevue-Redmond Road will be allowed at any time. These events will also be covered by the traffic management plan, and will be monitored after building occupancy, with impacts corrected as necessary. **Refer to Section XI.16 for Condition of Approval regarding Traffic Management Plan.**

Street Frontage Improvements

Existing street improvements fronting the site, comprising a meandering six foot wide sidewalk along NE Bellevue-Redmond Road, landscaping, and a 36 foot wide driveway entrance, are acceptable. Street lights and landscaping are in place and sight distance is sufficient.

Use of the Right of Way during Construction

Applicants often request use of the right of way and pedestrian easements for materials storage, construction trailers, hauling routes, fencing, barricades, loading and unloading and other temporary uses. A Right of Way Use Permit for such activities must be acquired prior to issuance of any construction permit. **Refer to Section XI.14 for Condition of Approval regarding Right of Way Use Permit.**

B. Utilities

The plans generally conform to the requirements applicable to this stage of the design process. It is the applicant's responsibility to verify the accuracy of all field information and data gathered for the feasibility of this project. Future Utilities permit applications for this development must comply with Bellevue Codes 24.02, 24.04 and 24.06. **Refer to Section XI.13 for Condition of Approval regarding Utilities.**

Surface Water

The site currently drains east through a private off-site conveyance system before reaching NE Bel-Red Road where it's directed south into the West Tributary of Kelsey Creek. Kelsey Creek conveys the flow to Lake Washington.

Water and Sewer

Domestic water will be provided by a connection to an existing 8" main located on-site. The water meter should be sized per the Uniform Plumbing code. Sanitary sewer will be provided by a connection to an existing 8" main in Bel-Red Road.

C. Clearing and Grading

The clearing and grading department has reviewed the plans and materials submitted for this project and have determined that the clearing and grading portion of this land use application can be approved. The associated Clearing and Grading Permit application for this development must comply with the City of Bellevue Clearing and Grading Code (BCC 23.76).

D. Fire

The Fire Department has reviewed and approved this permit. Technical review will occur under the associated building and fire permits for this proposal. **Refer to Section XI.12 for Condition of Approval regarding Fire Department Conditions.**

IX. APPLICABLE DESIGN CRITERIA

Administrative Conditional Use: The Director may approve or approve with modifications an application for Administrative Conditional Use if it complies with the decision criteria of Land Use Code Section 20.30E.140. The approval of an Administrative Conditional Use may at any time be revoked if the uses of on-site facilities are changed from the stated application. **Refer to Section XI.3 for Condition of Approval regarding Revocation of Administrative Conditional Use Permit Approval.**

After conducting the various administrative reviews of this project, including Comprehensive Plan goals and policies and the Land Use Code provisions, the following conclusions are made with regard to the Administrative Conditional Use decision criteria:

A. The administrative conditional use is consistent with the Comprehensive Plan.

This proposal is consistent with the Comprehensive Plan's goals and policies for the Bel-Red subarea. The following are the most relevant policies:

S-BR-5: Develop land uses consistent with the Bel-Red Land Use Plan map.

S-BR-8: Encourage mixed use development, promoting opportunities to live, work, shop and recreate within close proximity.

S-BR-10: Accommodate the continued operation of existing, and allow new, service uses that are compatible with planned future land uses. Accommodate existing service uses that are less compatible with residential and higher intensity, mixed use development (i.e., those that create noise, odor, fumes, aesthetic or other impacts), but preclude the new establishment of these types of service uses in transit nodes and in stand-alone residential areas.

Finding: The applicant has proposed to incorporate two new uses into an existing structure which currently has a medical office use. This will result in the operation of mixed-uses within one structure. The surrounding area is within the Bel-Red subarea, and as such, is continuing to change with the incorporation of transit oriented development within The Spring District, in addition to redevelopment of older office and industrial buildings being replaced with new multi-family and mixed use developments. Establishing additional education and religious uses will, therefore, be compatible with the surrounding environment as the Bel-Red subarea continues to redevelop and expand, further promoting opportunities to live, work, shop and recreate within close proximity to one another.

B. The design is compatible with and responds to the existing or intended character, appearance, quality of development and physical characteristics of the subject property and immediate vicinity.

Finding: The applicant is proposing to utilize the existing office structure and parking areas on the site. No significant expansion of the structure is proposed; however, the parking areas in the southwest corner of the site will be modified in order to accommodate two outdoor play areas for the proposed school. As these modifications overall are minor, the remaining structure, parking and landscaping will remain compatible with the physical characteristics of the subject property and immediate vicinity.

C. The administrative conditional use will be served by adequate public facilities including streets, fire protection, and utilities.

Finding: The site will be served by existing adequate public facilities, including streets, fire protection and utilities.

D. The administrative conditional use will not be materially detrimental to uses or property in the immediate vicinity of the subject property.

Finding: As conditioned, the proposed temple hall and primary school will not be materially detrimental to uses or property in the immediate vicinity of the subject property. The school is proposed to have only 100 students and approximately 10 teachers, 2 administrators and 2 parent volunteers on site each day. No more than 25% of the student population will be pre-kindergarten age. **Refer to Section XI.4 for Condition of Approval regarding Preschool Population Restriction.**

According to the parking analysis provided by the applicant, it is estimated that 75% of the students will be dropped-off and picked-up by parents without parking, which will not impact the existing parking supply on-site. In addition, traffic queuing on Bel-Red Road NE is not anticipated to be a concern as a result of the combination of uses on the site, and through a thorough analysis prepared by the applicant's traffic consultant.

Any increase in student population will be dependent upon a new parking analysis to ensure that the site can handle an increase in student population. Should the school decide in the future to expand the number of students and/or staff beyond 20%, the applicant shall be required to apply for a full conditional use permit. **Refer to Section XI.2 for Condition of Approval regarding Student Population/Future Land Use Review.**

E. The administrative conditional use complies with the applicable requirements of this Code.

Finding: Religious facilities and primary schools are permitted uses in the BR-ORT land use district through Administrative Conditional Use approval. As conditioned, the proposal meets the requirements of the LUC.

X. DECISION

After conducting the various administrative reviews associated with this proposal, including applicable land use consistency, SEPA, and City Code and Standard compliance reviews, the Development Services Department does hereby **APPROVE** the proposal subject to the following conditions:

XI. CONDITIONS OF APPROVAL:

The following conditions are imposed under authority referenced:

Compliance with Bellevue City Codes and Ordinances

The applicant shall comply with all applicable Bellevue City Codes, Standards, and Ordinances, including but not limited to:

Applicable Codes, Standards & Ordinances

Clearing & Grading Code – BCC 23.76
Construction Codes – BCC Title 23
Fire Code – BCC 23.11
Land Use Code – BCC Title 20
Noise Control – BCC 9.18
Sign Code – BCC Title 22
Right-of-Way Use Code 14.30
Transportation Develop. Code – BCC 14.60
Traffic Standards Code 14.10
Utility Code – BCC Title 24

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1. Noise & Construction Hours

The proposal will be subject to normal construction hours of 7 a.m. to 6 p.m., Monday through Friday and 9:00 a.m. to 6:00 p.m. on Saturdays, except for Federal Holidays and as further defined by the Bellevue City Code. Upon written request to the Development Services Department (DSD), work hours may be extended to 10:00 p.m. if the criteria for extension of work hours as stated in BCC 9.18 can be met and the appropriate mitigation employed. The use of best available noise abatement technology consistent with feasibility is required during construction to mitigate construction noise impacts to surrounding uses.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Bellevue City Code 9.18.020.C & 9.18.040

2. Student Population/Future Land Use Review

School growth shall be capped at 100 students with this application. To ensure compliance, within 7-days after the start of each school year the school administrator shall provide written notification to the City disclosing the total number of students who are registered and expect to register for that school year. Modification of this student limitation shall only be considered if a new parking and traffic analysis is performed and submitted to the City for review. The applicant shall be required to apply for a full Conditional Use permit if the number of students increases beyond 20 percent of the 100 students approved for this facility.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.10.440 (Services), Note 25, b.i & ii

3. Revocation of Administrative Conditional Use Permit/Approval

Approval of an Administrative Conditional Use permit may at any time be revoked if the uses of the on-site facilities, traffic pattern/parking vehicle loading/unloading or transportation methods are changed from the submitted application.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.30.E.170.B

4. Preschool Population Restriction

At no time shall the proportion of pre-kindergarten age children to the children in the K-6 elementary school exceed 25 percent.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.50.46 - School

5. Implement Drop-off and Pick-up Procedure

The applicant must implement and continue to enforce a drop-off and pick-up procedure. Additionally, the applicant shall be required to provide Parent Agreements in the form of Exhibit D for each student attending the facility. The applicant shall send this information out at the beginning of each school year for parent signature. A copy of the information distributed to parents each year shall be provided to the City with the annual enrollment numbers required by condition XI.2 above. The signed agreements shall be maintained by the operator and made available for inspection upon request by the City of Bellevue.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.20.740.A.6

6. Off-Site Parking Agreements

Should either party decide to terminate the shared parking agreement, ISCON will be required to acquire a new shared parking agreement with another property owner, which will also be required to be recorded against the title of each property. Failure to secure a shared parking agreement may result in the termination of temple operations due to inadequate overflow parking for evening and weekend temple events.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.20.590.J.3

7. Changes to the Building Exterior and/or Site

Any future changes made to the building exterior (including painting, installation of new windows or doors, etc.) or to the landscaping shall be approved through a Land Use Exemption.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.30E.175.C

8. Landscape Buffer

Prior to temporary certificate of occupancy or certificate of occupancy for the school and temple uses, the existing 30 foot front setback of the property adjacent to Bel-Red Road shall receive additional plantings to meet the landscape standards of Type III landscaping, with the exception of additional tree plantings. Existing evergreen trees shall remain and are not permitted to be removed as part of this landscape buffer. Tree protection measures shall be put into place during any landscaping work that could impact the tree roots. The existing sidewalk shall also remain. Careful attention shall be made regarding mature planting heights to avoid sight-line obstructions for vehicles entering and exiting the site. A final landscape plan shall be submitted with construction permits to ensure compliance with the landscape buffer requirements.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.20.740.A.5 & 20.20.520.G.3

9. Landscape Installation Assurance Device

Site landscaping shall be 100% complete per the plan approved by the City. Alternatively, the following may be submitted: 1) a red-marked plan identifying which landscape areas are incomplete; 2) an estimate for the total cost to complete these areas; and 3) a notarized Assignment of Savings dedicated to the City for 150% of the estimated cost to complete these areas per the approved Landscape Plan. The assurance device will be released upon complete installation, inspection and approval by the land use reviewer for the project.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.40.490

10. Landscape Maintenance Assurance Device

File with the Development Services Department a landscape maintenance assurance device for a one-year period in the form of an assignment of savings or letter of credit for 20% of the cost of labor and materials for all required landscaping.

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Land Use Code 20.20.520.K and 20.40.490

11. Signage

Design Review of individual signs shall occur through review of a sign permit application (SA permit), and shall include the following information:

1. Location(s)
2. Size/dimensions
3. Illumination (if any)
4. Color and Materials
5. Method of installation

REVIEWER: Laurie Tyler, Development Services Department
AUTHORITY: Bellevue Sign Code, BCC 22B.10

12. Fire Department Conditions

- a) A jobsite pre-construction inspection by Fire is required before the TI work can commence.
- b) An emergency voice/alarm communications system is required throughout the building, activated by the sprinkler system and manual activation by a normally occupied location. IFC 907.2.3(3)
- c) Provide an alerting system. Washington State Amendment IFC 915
- d) Provide a Fire Safety and Evacuation plan and Shelter in Place plans. Washington State Amendment IFC Chapter 4.
- e) Demolition and construction shall conform to the requirements of International Fire Code Chapter 33.
- f) A separate permit is required for revision or extensions of the following:
 - Automatic Sprinkler (IFC 903 & NFPA 13)
 - Fire Alarm System (IFC 907 & NFPA 72)
- g) Fire Watch (see public information handout F-20) is required for any Fire Protection System Impairment. Fire protection shall be placed back in service during all periods of non-work. Details concerning Fire Protection Impairments can be found at www.bellevuewa.gov/firepreventionwatch.htm
- h) Inspection and testing of all fire systems is required when revised or modified. To schedule inspections, go to www.mybuildingpermit.com or 425-452-6875 at least 24 hours in advance (FA systems=48 hours notice). Ensure all requested inspections are ready for inspection by 0600 on the day requested. Please leave an approximate time you would like your inspection. We will honor requested time to the best of our ability. (Rev 7/2014).

REVIEWER: Travis Ripley, Fire
AUTHORITY: As noted above

13. Utilities

Utility Department approval of the administrative conditional use permit is based on the conceptual design only. Changes to the site layout may be required to accommodate the utilities after utility engineering is approved. The water, sewer and storm drainage systems shall be designed per the current City of Bellevue Utility Codes and Utility Engineering Standards. Utilities Department design review, plan approval, and field inspection is performed under Utilities Permit Processes. All connection charges will be due with Utility permits prior to issuance.

REVIEWER: Brad Ayers, Utilities
AUTHORITY: Bellevue City Code 24.02, 24.04, 24.06

14. Right of Way Use Permit

Prior to issuance of any construction permit, the applicant shall secure applicable right-of-way use permits from the City's Transportation Department, which may include:

- a) Designated truck hauling routes.
- b) Truck loading/unloading activities.
- c) Location of construction fences.
- d) Hours of construction and hauling.
- e) Requirements for leasing of right of way or pedestrian easements.

- f) Provisions for street sweeping, excavation and construction.
- g) Location of construction signing and pedestrian detour routes.
- h) All other construction activities as they affect the public street system.

In addition, the applicant shall submit for review and approval a plan for providing pedestrian access during construction of this project. Access shall be provided at all times during the construction process, except when specific construction activities such as shoring, foundation work, and construction of frontage improvements prevent access. General materials storage and contractor convenience are not reasons for preventing access.

The applicant shall secure sufficient off-street parking for construction workers before the issuance of a clearing and grading, building, a foundation or demolition permit.

REVIEWER: Tim Stever, Right of Way
AUTHORITY: Bellevue City Code 11.70 & 14.30

15. Pre-Development Services Application

The applicant must apply for and obtain a Predevelopment Services (DC) application when City of Bellevue Staff determine that modifications to either the school or the temple Traffic Management Plans are required in order to address transportation impacts resulting from on-site activities that occur during the monitoring period. The applicant will be required to pay for staff time for review of the Traffic Management Plans per the provisions of the City's adopted Development Services Fees.

REVIEWER: Molly Johnson, Transportation
AUTHORITY: Bellevue City Code 14.60.060.B

16. Traffic Management Plan for School and Temple

Design and execute an acceptable Traffic Management Plan addressing access, circulation, and parking elements for all activities associated with either the school or the temple at this site. The plan must be reviewed and approved by the City prior to issuance of the building permit for the school use within this building. The plan must be recorded after approval. The City may require changes to elements of the plan when needed to mitigate for any negative impacts to adjacent right of way caused by site activities. Revisions and amendments to the plan must also be approved and recorded.

The Traffic Management Plan must:

- Provide for appropriate pedestrian monitoring/enforcement/education.
- Establish and enforce ingress and egress procedures and restrictions as needed through signing, barricades, and traffic control personnel in such a way as to preclude queuing on NE Bellevue-Redmond Road caused by arriving vehicles.
- Provide a plan for major events that includes transporting people to and from remote parking locations, identification of shuttle vehicles, estimates for number of passengers, identification of pick-up and drop-off locations, supplemental traffic control, and other measures as needed,
- Establish a "Transportation Coordinator" staff position within the ISKCON management structure. The Transportation Coordinator will:

1. Act as a liaison between the City and the public for all traffic complaints and nonconformance with the recorded TP;
2. Be responsible for the execution of the approved TP;
3. Provide an annual traffic report, including a schedule of proposed activities for the following year,
4. Be responsible for all needed changes to the TP at the discretion of City staff;
5. Be responsible for educational efforts to assist ISKCON attendees in complying with the TP.

For the school, the applicant and school administrators shall monitor and manage on-site parking and circulation, and pickup and drop-off activity, as needed to ensure safe and smooth traffic flow and to prevent traffic queues from spilling back onto NE Bellevue-Redmond Road. The applicant shall provide information as needed to parents regarding proper traffic behavior and safety during pickup and drop-off periods.

For temple activities, the applicant shall monitor and manage on-site parking and circulation during smaller events, and provide additional off-site parking and shuttles for major events as determined in the Traffic Management Plan.

The monitoring period for site activities shall be a minimum of five years, or as directed by the Transportation Department.

REVIEWER: Molly Johnson, Transportation; Laurie Tyler, Land Use
AUTHORITY: BCC 14.60.180; BCC 14.60.080, BCC 20.30E.140

- Exhibits:**
- A. Project Plans
 - B. TENW Traffic and Parking Analysis dated September 22, 2016
 - C. Shared Parking Agreement, King Co. Rec. # 20160303000892
 - D. Parent Agreement Example
 - E. Certificate of Concurrency



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SITE PLAN NOTES

- (SP-01) REMOVE EXISTING CURBS AND LANDSCAPING TO EXTENT NECESSARY TO INSTALL NEW PLAYGROUND AREA WITH SAFETY SURFACE TYPED BY TENANT. PLAYGROUND LEVEL TO BE BUILT ON EXISTING ASPHALT WITH NEW RAISED CONCRETE CURBS FOR PROTECTION. PLAYGROUND EQUIPMENT IN AREA 'A' TO INCLUDE A SMALL SLIDE, MONKEY BAR, AND SEA-SAW. PLAYGROUND AREA 'B' SHALL INCLUDE A SMALL OBSTACLE COURSE AND MONKEY BAR. SEE DETAILS 2 & 3/A2.1.
- (SP-02) PROVIDE NEW CROSSWALK TO ALLOW ACCESS TO NEW PLAYGROUND AREA AS SHOWN. ENSURE A MAX 5% SLOPE IN DIRECTION OF TRAVEL AND 2% CROSS SLOPE; REGRADE AS NECESSARY.
- (SP-03) PATCH & REPAIR EXISTING/INSTALL NEW LANDSCAPING AS NECESSARY FOR NEW CONSTRUCTION. ANY DAMAGED PLANTINGS TO BE REPLACED WITH SAME SPECIES OF SIMILAR SIZE TO EXISTING.
- (SP-04) STUDENT DROP-OFF AND PICK-UP STALLS: PROVIDE SIGN AT EACH STALL READING "DROP-OFF/PICK-UP ONLY MON-FRI, 7-8AM AND 3-4PM." VERIFY EXACT TEXT WITH OWNER/TENANT. INSTALL SIMILAR TO DETAIL 1/A2.1.
- (SP-05) RELOCATE EXISTING TRASH AND RECYCLING RECEPTACLES TO NEW LOCATION AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION.
- (SP-06) ADA DROP-OFF STALL DURING TEMPLE SERVING HOURS (M-F 7PM - 10PM & SAT/SUN 6AM - 10PM). TEMPORARY INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE TO BE PLACED AT 60" AFF MIN. ABOVE ADJACENT PARKING SURFACE AT THESE HOURS.
- (SP-07) NEW 4'-8" HIGH PERIMETER FENCING AT PLAYGROUND WITH A 3'-0" MIN. WIDE GATE FOR RESTRICTED ACCESS. MATERIAL: VINYL; COLOR: WHITE SEE DETAIL 5/A2.1 FOR MORE INFORMATION.
- (SP-08) REMOVE EXISTING WOOD DECK & GAZEBO STRUCTURE AND RESTRIPE PARKING AS SHOWN.
- (SP-09) RELOCATE ACCESSIBLE PARKING TO NEW LOCATION SHOWN. RESTRIPE PARKING TO PROVIDE 15'-0" X 96" MIN. WIDE STALLS WITH 96" MIN. WIDE ACCESS BETWEEN STALLS. ENSURE A 2% MAX SLOPE IN ALL DIRECTIONS AT ACCESSIBLE STALLS TO ACCESS AISLE; REGRADE AS NECESSARY AND ENSURE NO ABRUPT TRANSITION TO ADA PARKING. PROVIDE PAINTED ISA SYMBOL AT EACH STALL PER DETAIL 4/A2.1. PROVIDE ISA SIGNAGE MOUNTED AT 60" MIN. FROM ADJACENT PARKING SURFACE TO BOTTOM OF SIGN AT EACH STALL.
- (SP-10) REMOVE EXISTING CURB RAMP AND PORTION OF SIDEWALK AS NECESSARY AND INSTALL NEW IN-LINE CURB RAMP AND CONCRETE, BROOM FINISH SIDEWALK AS SHOWN. SEE DETAILS 8 & 9/A2.1. AT CURB RAMP, SLOPE IN RUN DIRECTION SHALL BE 0% MAXIMUM AND CROSS SLOPE SHALL BE NO GREATER THAN 1.5%. TOP AND BOTTOM LANDINGS TO BE ENTIRE WIDTH OF CURB RAMP AND EXTEND 60' WITHOUT EXCEEDING 2% SLOPE IN ANY DIRECTION.
- (SP-11) INSTALL REDUCED PRESSURE BACKFLOW ASSEMBLY IN HOT BOX OR ROCK. VERIFY RPBA & INSTALLATION MEET ALL JURISDICTION REQUIREMENTS. SEE CIVIL DRAWINGS FOR MORE INFORMATION.

LEGEND

	EXISTING CONCRETE CURBING TO REMAIN
	NEW CONCRETE CURBING
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING STRIPINGS TO REMAIN
	NEW STRIPINGS
	EXISTING CONCRETE TO REMAIN
	NEW CONCRETE
	EXISTING LANDSCAPE TO REMAIN
	NEW LANDSCAPE TO MATCH EXISTING
	NEW PLAYGROUND SAFETY SURFACE

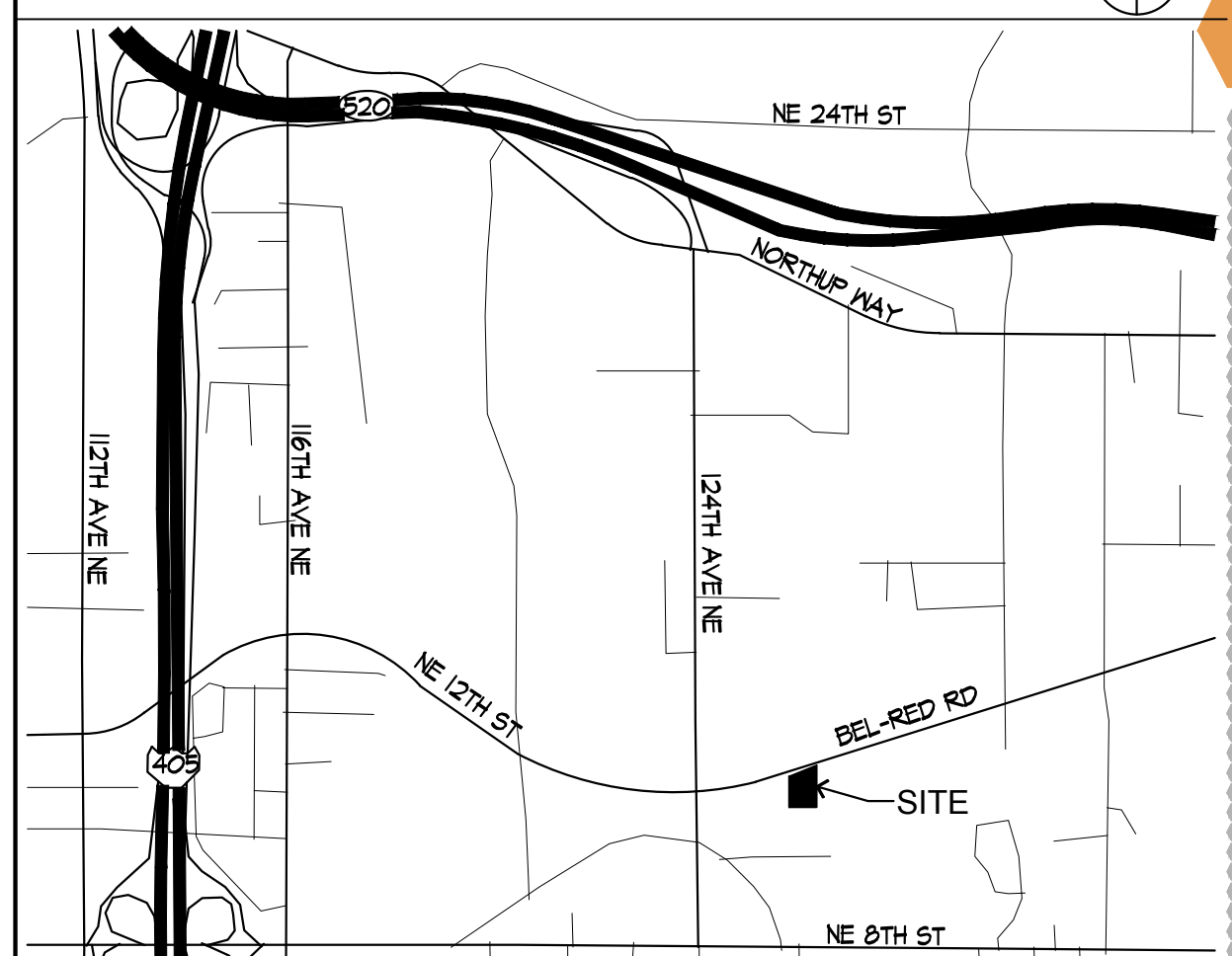
PROJECT DATA

PROPERTY TAX NO.:	385440-0022
ZONING:	BR-ORT
LOT SIZE:	1.15 ACRE (50,043 SF)
OVERALL BUILDING AREA:	BASEMENT LEVEL 3,717 SF, (NO CHANGE) 1ST FLOOR 9,764 SF, (NO CHANGE) 2ND FLOOR 9,680 SF, (NO CHANGE) TOTAL 23,246 SF, (NO CHANGE)
TYPE OF CONSTRUCTION:	V-B (SPRINKLED W/ QUICK RESPONSE HEADS) (EXISTING)
OCCUPANCY:	A-3/ E/ B/ S-2
PROPOSED OCCUPANCY AREA:	EXISTING OFFICE (B): 4,544.4 SF SCHOOL (E): 5,214.6 SF TEMPLE (A-3): 9,680 SF SHARED STORAGE (S-2): 3,717 SF
EXISTING PARKING:	71 STALLS
PROPOSED PARKING:	64 STALLS (LOSS OF 12 STALLS) +30 STALLS OFFSITE PER SHARED PARKING AGREEMENT (7PM-10PM M-F, 6AM-10PM S/S)
ACCESSIBLE PARKING REQUIRED:	3 STALLS (BASED ON 64 TOTAL STALLS)
ACCESSIBLE PARKING PROVIDED:	3 STALLS + 1 ADA DROP OFF (7PM-10AM M-F, 6AM-10PM S/S)

LEGAL DESCRIPTION

KIETZ HOME ACRES ADD PARCEL 2 BELLEVUE SHORT PLAT NO TT-51 REG NO T107130879.

VICINITY MAP (N.T.S.)

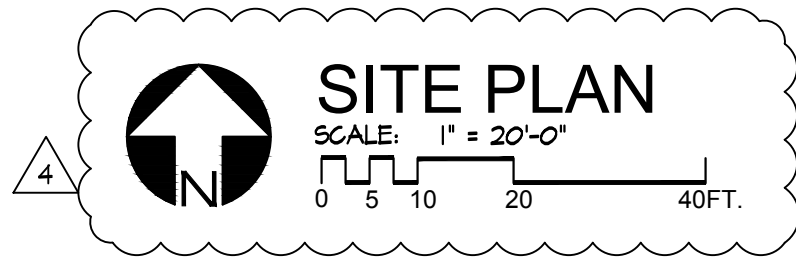
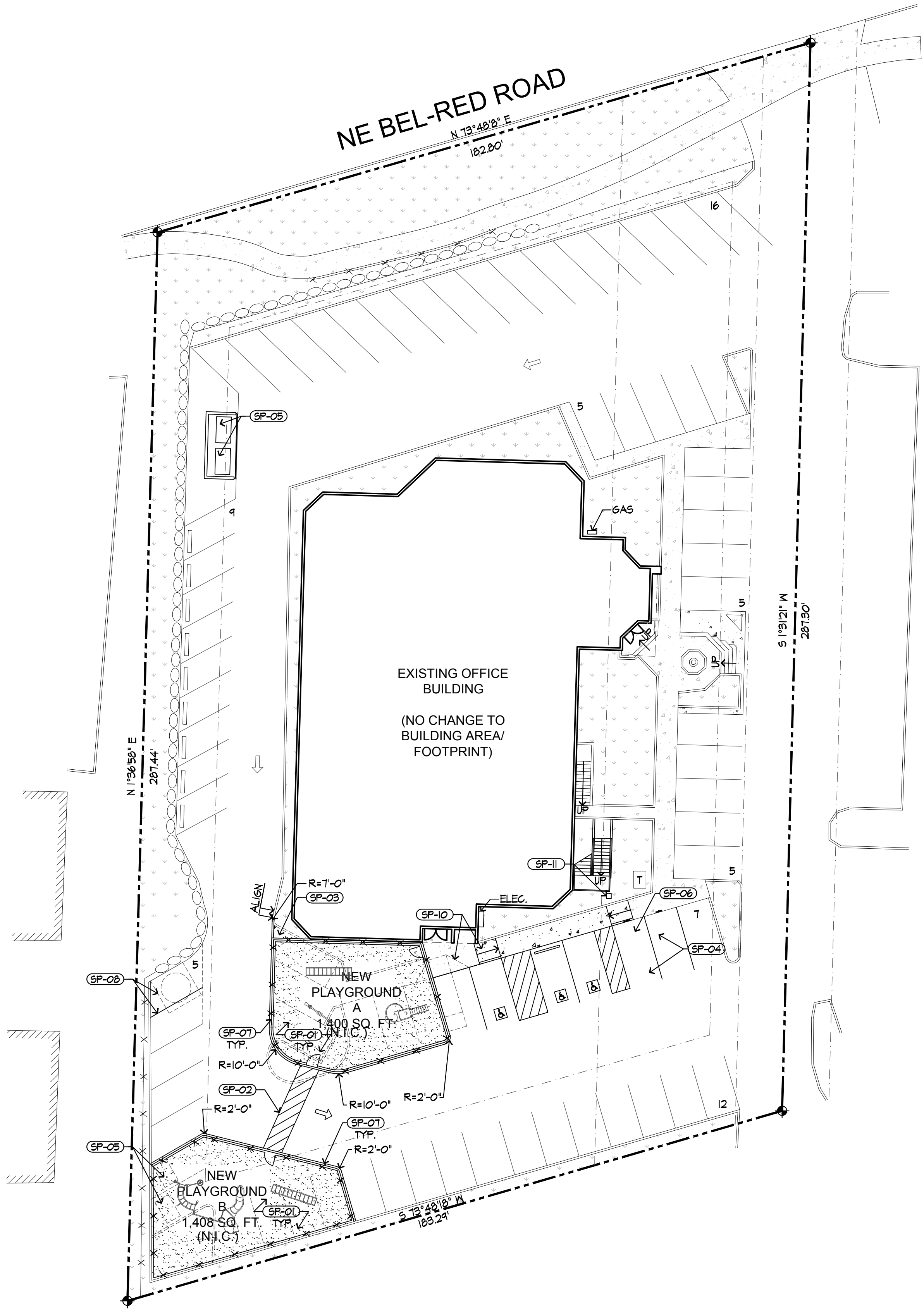


REV	DESCRIPTION	DATE
1	ADMINISTRATIVE CONDITIONAL USE	5/9/14
1	CONDITIONAL USE RESPONSE	5/15/14
2	PERMIT SET	6/2/14
2	CONDITIONAL USE RESPONSE 2	7/29/14
3	BUILDING PERMIT RESPONSE	9/30/14
4	CUP BLDG RESPONSE	8/12/15

SITE PLAN

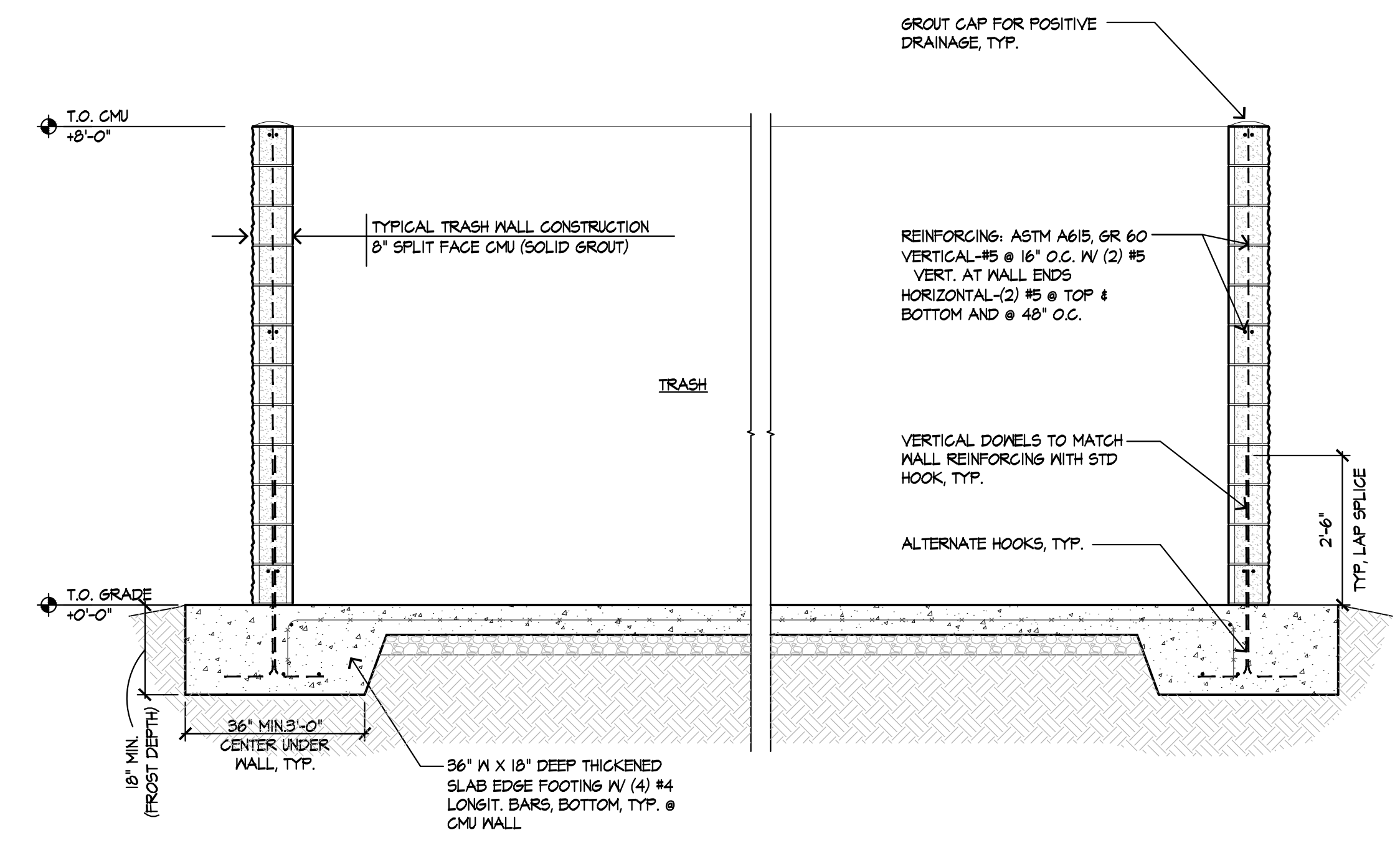
A2.0

PROJECT NUMBER: A12-475 8/12/15
 © FREIHEIT & HO ARCHITECTS, INC., P.S.

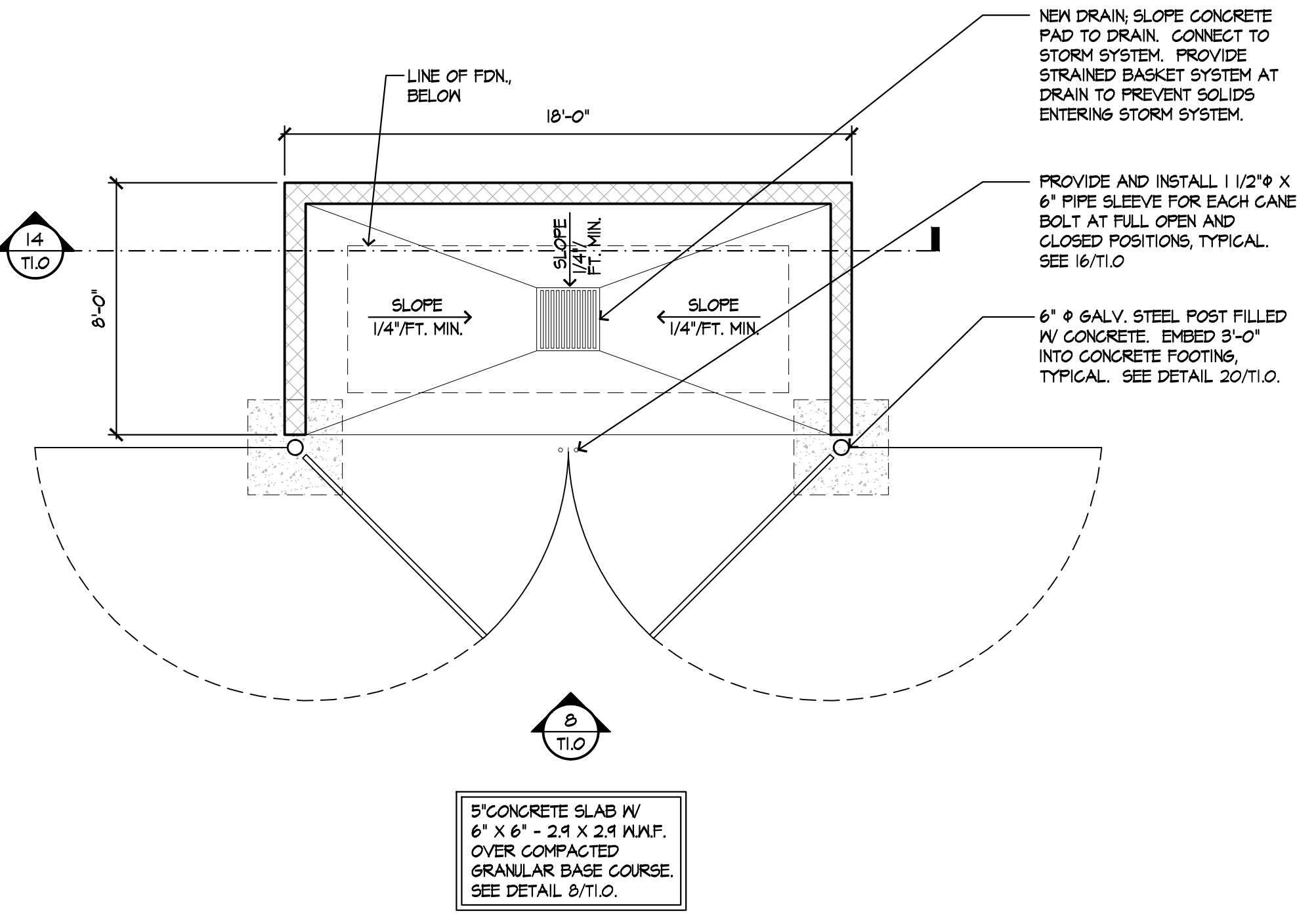


REV	DESCRIPTION	DATE
4	CUPI BLDG RESPONSE	8/12/15

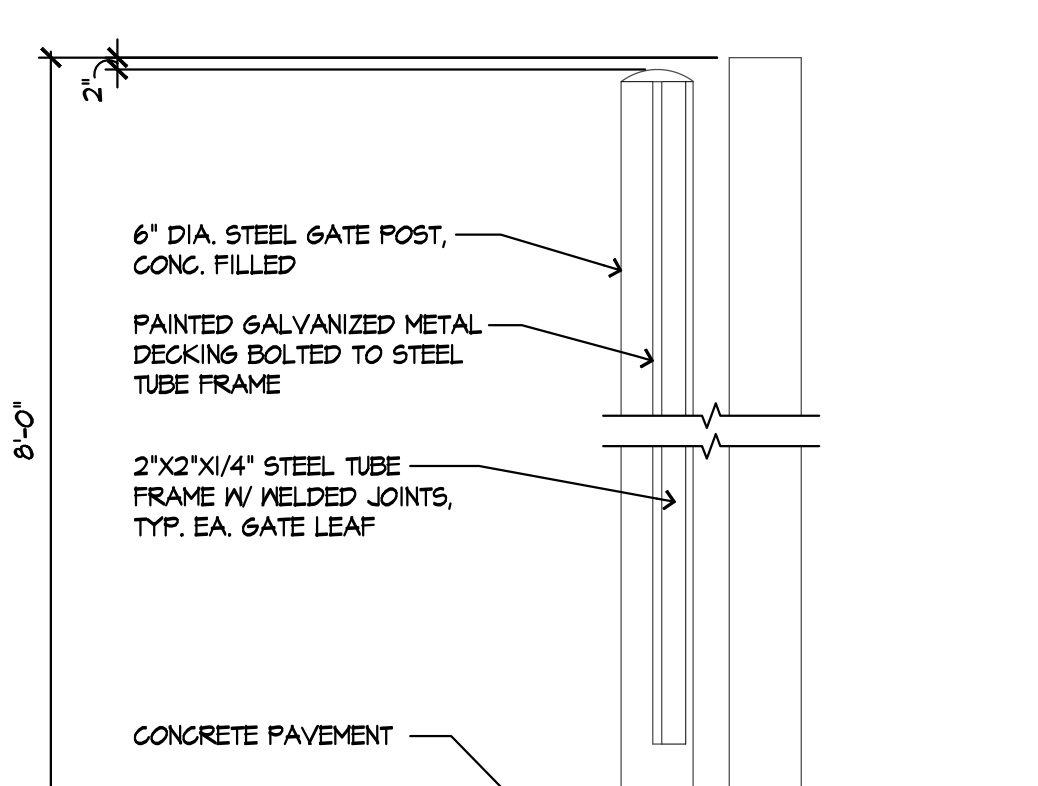
NOTE: EXTEND WATER AND ELECTRICAL LINES TO NEW LOCATION OF TRASH CORRAL.



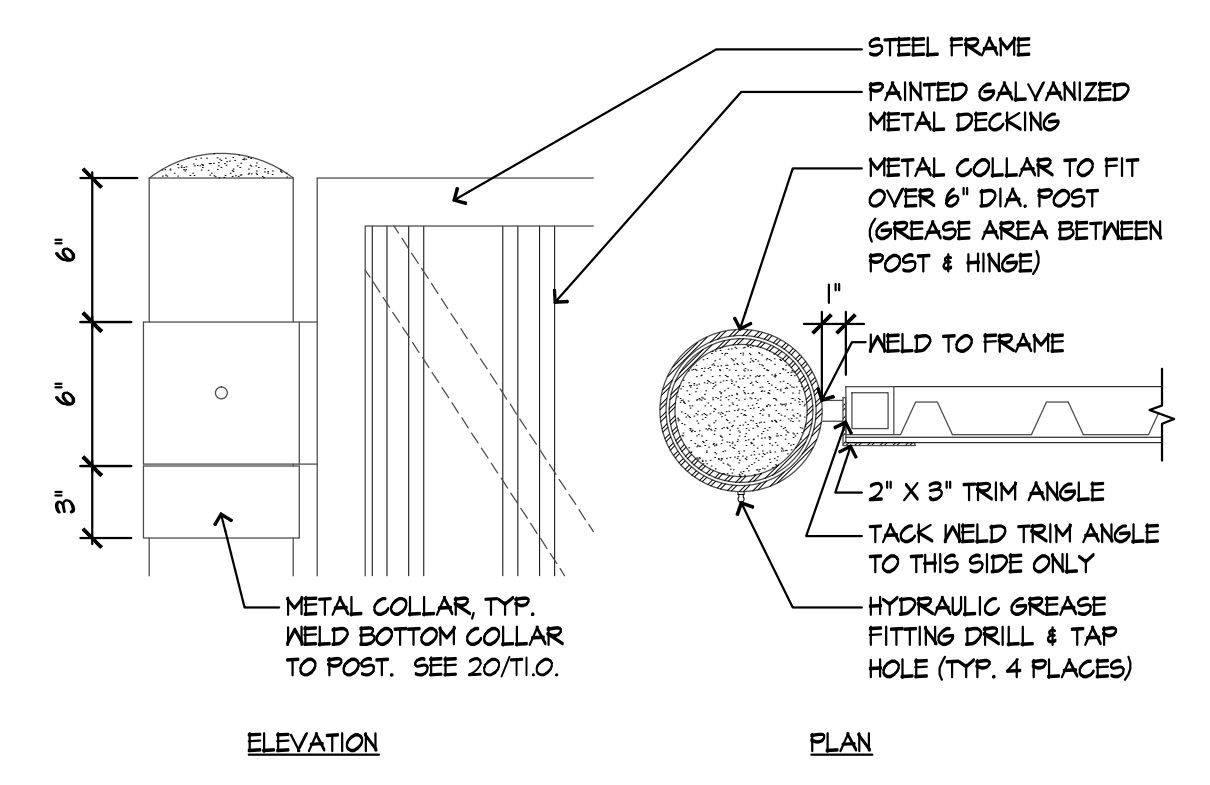
14 SECTION
 T1.0 SCALE: 1/2" = 1'-0"



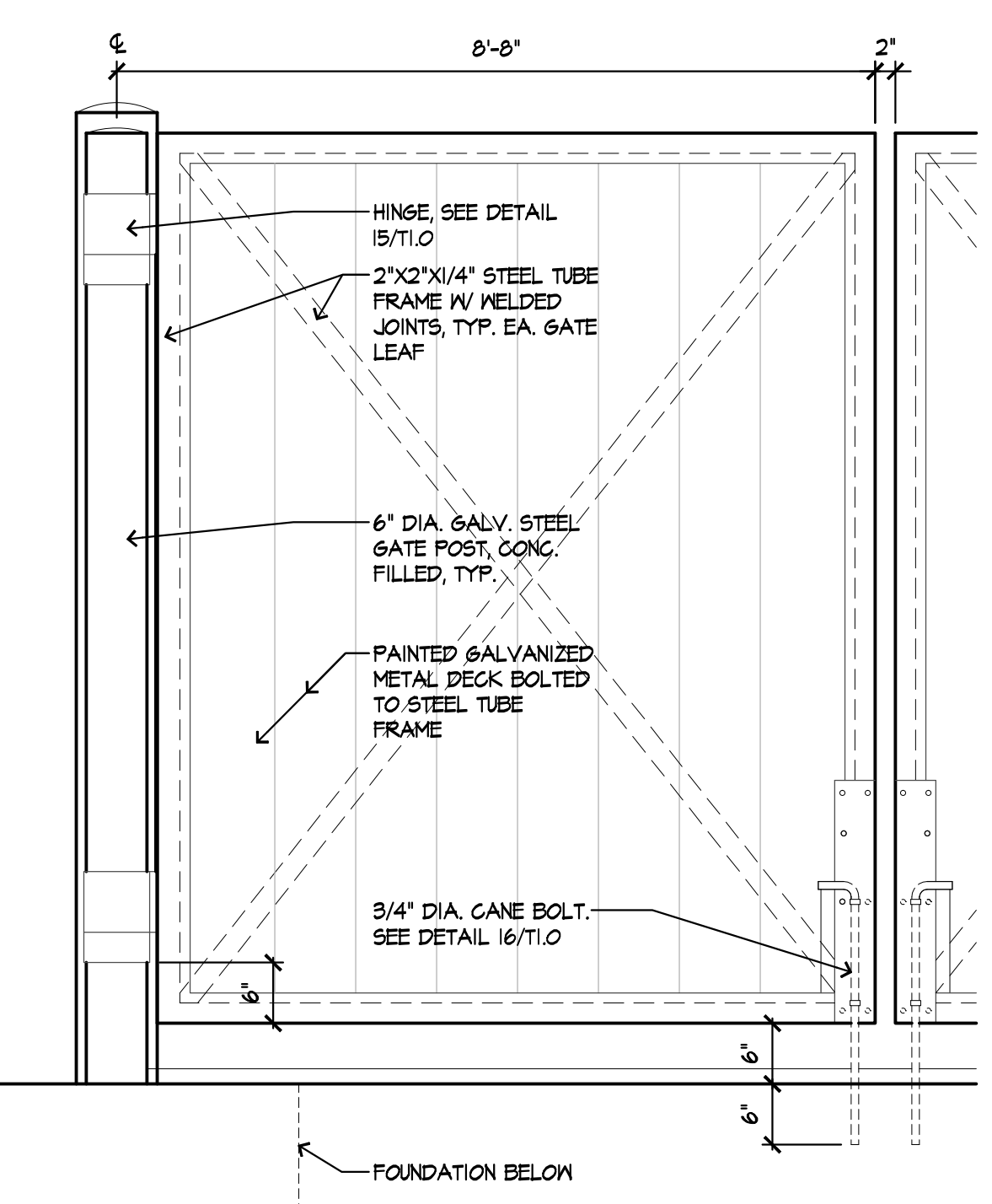
6 TRASH ENCLOSURE
 T1.0 SCALE: 1/4" = 1'-0"



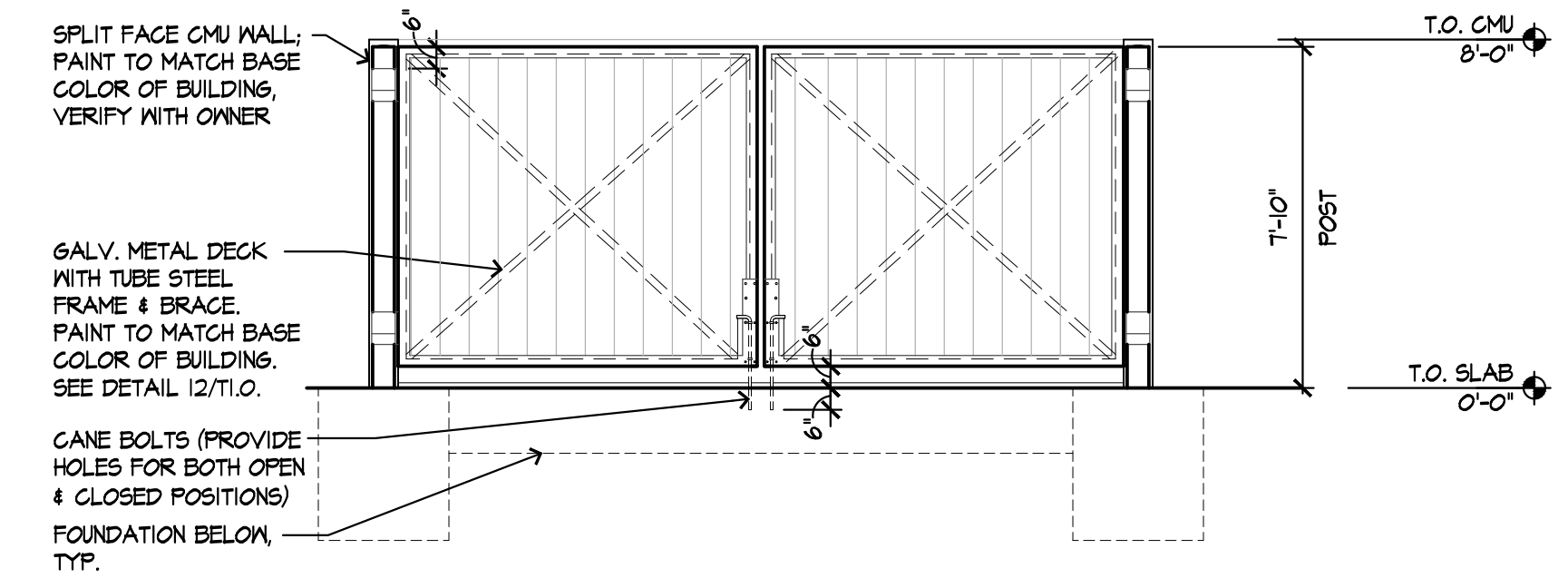
20 POST DETAIL
 T1.0 SCALE: 3/4" = 1'-0"



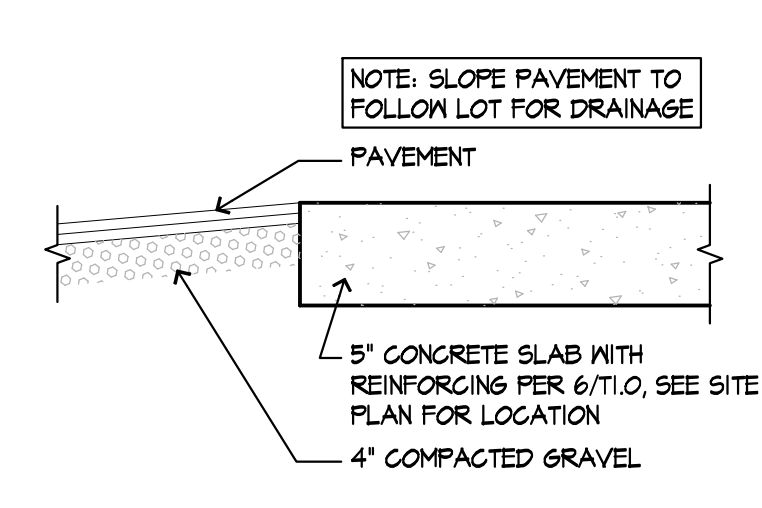
15 GATE HINGE DETAIL
 T1.0 SCALE: 1 1/2" = 1'-0"



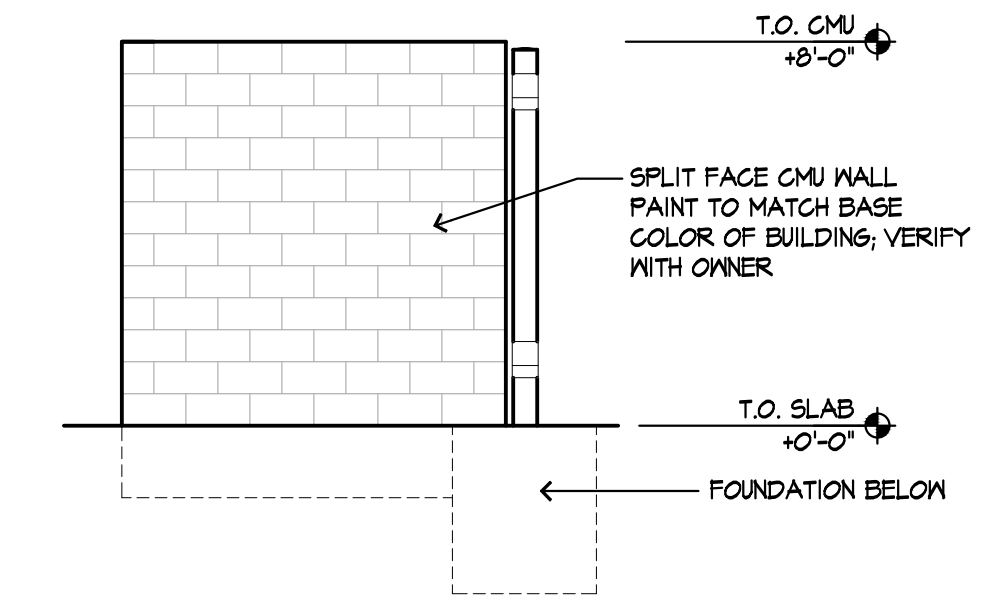
12 GATE LEAF DETAIL
 T1.0 SCALE: 3/4" = 1'-0"



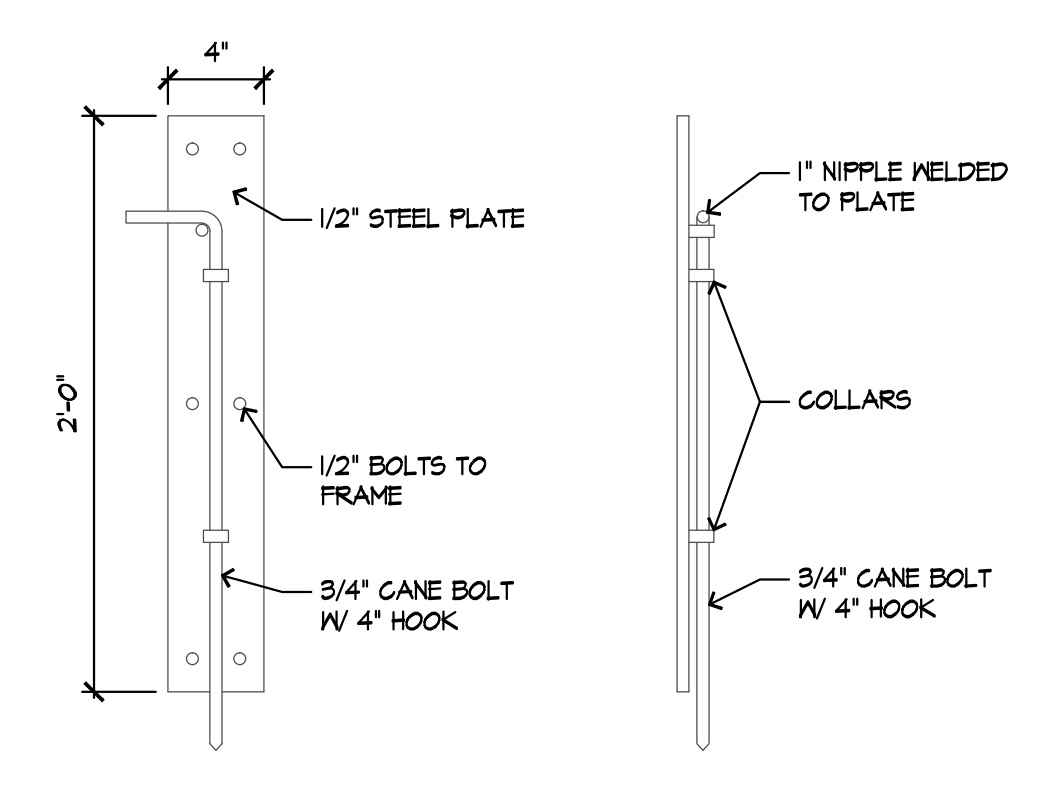
7 TRASH ENCLOSURE FRONT ELEVATION
 T1.0 SCALE: 1/4" = 1'-0"



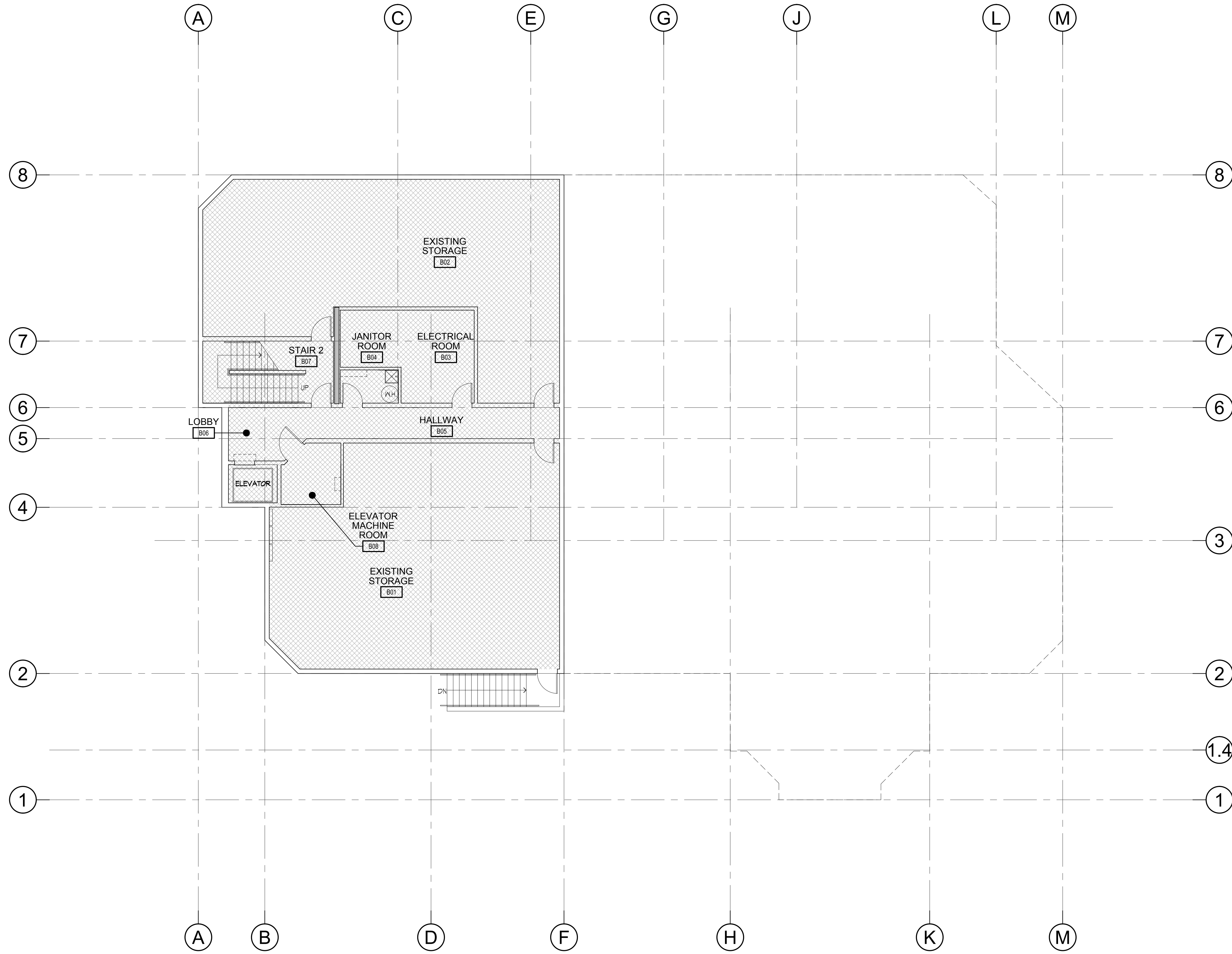
8 TRASH CORRAL PAD DETAIL
 T1.0 SCALE: 1 1/2" = 1'-0"



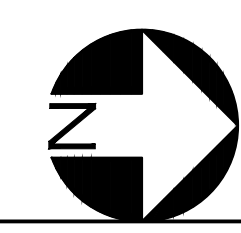
4 TRASH ENCLOSURE SIDE ELEVATION
 T1.0 SCALE: 1/4" = 1'-0"



16 CANES BOLT DETAIL
 T1.0 SCALE: 1 1/2" = 1'-0"



A3.3 BASEMENT FLOOR PLAN (REFERENCE ONLY)
SCALE: 1/8" = 1'-0"



REV	DESCRIPTION	DATE
4	CUP/BLDG RESPONSE	8/12/15

FLOOR PLAN GENERAL NOTES

- UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE MEASURED FROM:
 A. FACE OF CMU OR CONCRETE.
 B. FACE OF G.W.B.
 C. CENTERLINE OF COLUMNS.
 FIELD VERIFY PRIOR TO ANY FABRICATION.
- ALL ELEVATIONS ARE FROM DATUM ELEVATION, 0'-0" (FINISH FLOOR).
- GENERAL CONTRACTOR SHALL COORDINATE PREPARATION OF EXISTING AREAS FOR NEW CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO COORDINATE WITH THE OTHER TRADES. FAILURE TO DO SO WILL NOT CONSTITUTE GROUNDS FOR A CHANGE ORDER.
- PROVIDE PLYWOOD BACKING AT WALLS TO RECEIVE HUNG ARTWORK OR SHELVING; REFER TO OWNER FOR LOCATIONS.
- SEE DETAIL 12-14/A6.0 FOR TYPICAL FLOORING TRANSITION DETAILS.
- SEE DETAIL 11/A6.0 FOR TYPICAL LOW WALL BRACE DETAIL.
- ROOM IDENTIFICATION SIGNAGE TO BE PROVIDED AND INSTALLED AT EACH ROOM. SEE DETAIL 10/A6.0 FOR MORE INFORMATION.
- COORDINATE DOOR ROUGH OPENINGS WITH SELECTED MANUFACTURER.
- PROVIDE WATER RESISTIVE TYPE 'X' GYPSUM WALL BOARD AT ALL NET AREAS, FOR ALL AREAS WITH NEW TILE ON WALL SURFACE, PROVIDE CEMENT BOARD AS SUBSTRATE. ALL NEW FLOORING SHALL BE FIRM, STABLE AND SLIP-RESISTANT.
- ALL EXISTING WALLS TO REMAIN UNLESS OTHERWISE NOTED.
- VERIFY EXTENT OF EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM & ALERTING SYSTEM. MODIFY EXISTING/INSTALL NEW SYSTEM AS NECESSARY TO MEET ALL CODE REQUIREMENTS.
- ALL INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH IBC SECTION 803.

FLOOR PLAN KEY NOTES

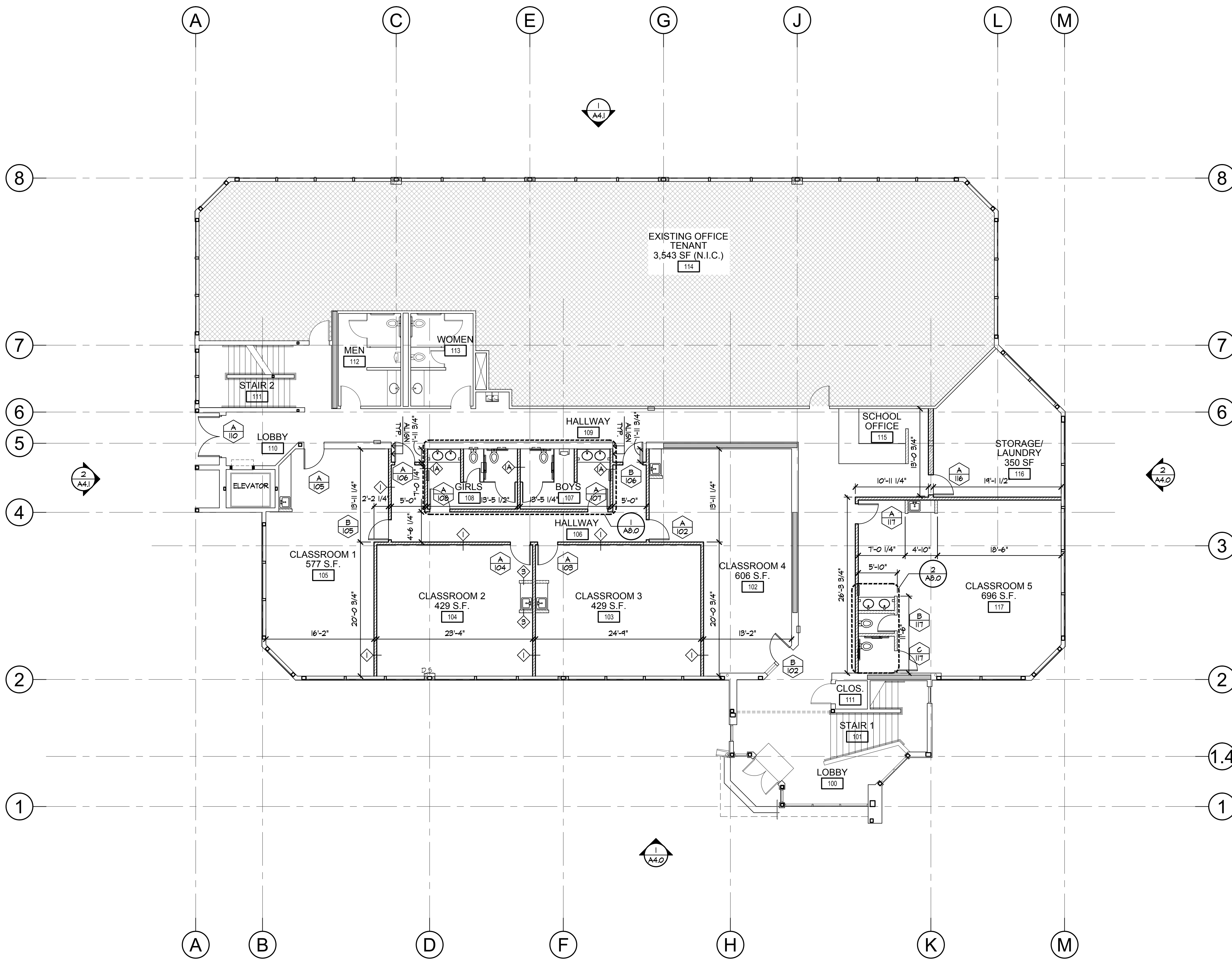
- (KN-01) INSTALL RESILIENT FLOORING FINISH WITH RUBBER BASE PER MANUFACTURER'S RECOMMENDATIONS. COLOR TO BE DETERMINED BY OWNER.
- (KN-02) PROVIDE WHITE BOARDS IN CLASSROOMS. VERIFY SIZE AND LOCATION WITH OWNER. MOUNT PER MANUFACTURER REQUIREMENTS. PROVIDE BACKING AS REQUIRED.
- (KN-03) PARTIALLY ENCLOSED SPACE ABOVE DEITY BELOW. SPACE NOT TO BE USED. FINISH TO MATCH ADJACENT SPACE.
- (KN-04) PROVIDE DESK AT SCHOOL OFFICE. VERIFY SIZE AND FINISH WITH OWNER.
- (KN-05) INSTALL TILE FLOORING PER MANUFACTURER'S RECOMMENDATIONS. VERIFY TILE SIZE, DESIGN, AND FINISH WITH OWNER.
- (KN-06) PROVIDE LOW WALL RESTROOM FOR CLASSROOM 5. PROVIDE TILE FLOOR AND WALL FINISHES. VERIFY TILE SIZE, DESIGN, AND FINISH WITH OWNER. ENSURE A MINIMUM 65" WIDE X 66" DEEP CLEAR FLOOR SPACE IN FINISHED RESTROOM.
- (KN-07) PROVIDE LAYER 5/8" TYPE 'X' G.W.B. TO EXTENT NECESSARY AT EXISTING WALLS; VERIFY EXACT EXTENT WITH FIELD PRIOR TO BID. FINISH TO MATCH ADJACENT.
- (KN-08) PROVIDE FLOOR DRAIN IN RESTROOMS WITH 2 OR MORE FIXTURES. CONNECT TO EXISTING SYSTEM PER PLUMBING DRAWINGS. SLOPE FLOOR TOWARDS DRAIN AT 1/8" / FT. MINIMUM.
- (KN-09) PROVIDE CLASSROOM IDENTIFICATION SIGNAGE PER DETAIL 10/A6.0.
- (KN-10) PAINT G.W.B. WALLS THROUGHOUT. COLORS TO BE DETERMINED BY OWNER.
- (KN-11) PROVIDE TILE MAINSCOT 48" A.F.F. AND PAINT G.W.B. ABOVE. PAINT COLORS & TILE SIZE, DESIGN, AND FINISH TO BE DETERMINED BY OWNER.
- (KN-12) PROVIDE PLASTIC LAMINATE AT ALL COUNTER TOPS, CABINETS FACES AND SCHOOL OFFICE DESK. VERIFY TYPE/EXTENT/ COLOR WITH OWNER.
- (KN-13) SEMI-RECESSED FIRE EXTINGUISHER CABINET. WRAP BACK OF BOX W/ 5/8" TYPE 'X' G.W.B. PER 8/A6.0. VERIFY LOCATION W/FIRE MARSHAL PRIOR TO INSTALLATION. PROVIDE (1) FIRE EXTINGUISHER PER 3,000 SQUARE FEET, AND ENSURE THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER IS 75' PER I.B.C. TABLE 906.3(1).
- (KN-14) PROVIDE SECOND HANDRAIL ON EACH SIDE OF EXISTING STAIRS @ 22'-26" ABOVE THE NOSE OF THE STAIRS FOR CHILDREN. ENSURE 1" CLEAR BETWEEN LOW AND HIGH HANDRAILS TO PREVENT ENTRAPMENT. SEE DETAILS 19 & 20/A6.0 AND 1/A6.1 FOR MORE INFORMATION.

WALL TYPE SCHEDULE

	DESCRIPTION	SIZE
◇	TYPICAL INTERIOR WALL CONSTRUCTION: VERIFY FINISH WITH OWNER (1) LAYER 5/8" TYPE 'X' G.W.B. 3 5/8" METAL STUDS @ 24" O.C. SOUND BATT INSULATION IN CAVITY (1) LAYER 5/8" TYPE 'X' G.W.B. VERIFY FINISH WITH OWNER	TO UNDERSIDE OF CEILING; SEE DETAIL 9/A6.0. **TO UNDERSIDE OF FLOOR DECK ABOVE, INCLUDING G.W.B. & SOUND BATT AT 'A' DESIGNATION. SEE DETAIL 17/A6.0**
◇	TYPICAL INTERIOR WALL CONSTRUCTION: VERIFY FINISH WITH OWNER (1) LAYER 5/8" TYPE 'X' G.W.B. 3 5/8" METAL STUDS @ 24" O.C. (1) LAYER 5/8" TYPE 'X' G.W.B. VERIFY FINISH WITH OWNER	TO UNDERSIDE OF CEILING
◇	TYPICAL INTERIOR LOW WALL CONSTRUCTION: VERIFY FINISH WITH OWNER (1) LAYER 5/8" TYPE 'X' G.W.B. 3 5/8" METAL STUDS @ 24" O.C. (1) LAYER 5/8" TYPE 'X' G.W.B. VERIFY FINISH WITH OWNER	HEIGHT PER PLAN

LEGEND

- EXISTING WALL CONSTRUCTION TO REMAIN
- EXISTING SHEAR WALL CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION
- NEW LOW WALL CONSTRUCTION
- OVERHEAD CONSTRUCTION
- EXISTING EQUIPMENT TO REMAIN
- NEW OR RELOCATED EQUIPMENT
- ACCESSIBILITY CLEARANCES
- SINGLE DETAIL TAG - SEE SHEET LISTED IN TAG FOR DETAIL
- DOOR TAG - SEE SHEET A9.0 FOR DOOR SCHEDULE
- WALL TYPE TAG - SEE WALL SCHEDULE, THIS SHEET



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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REV DESCRIPTION DATE
 4 CUP/BLDG RESPONSE 8/12/15



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FLOOR PLAN GENERAL NOTES

- UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE MEASURED FROM:
 A. FACE OF CMU OR CONCRETE
 B. FACE OF 6"LB.
 C. CENTERLINE OF COLUMNS
- ALL ELEVATIONS ARE FROM DATUM ELEVATION 0'-0" (FINISH FLOOR)
- GENERAL CONTRACTOR SHALL COORDINATE PREPARATION OF EXISTING AREAS FOR NEW CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO COORDINATE WITH THE OTHER TRADES. FAILURE TO DO SO WILL NOT CONSTITUTE GROUNDS FOR A CHANGE ORDER.
- PROVIDE PLYWOOD BACKING AT WALLS TO RECEIVE HUNG ARTWORK OR SHELVING; REFER TO OWNER FOR LOCATION.
- SEE DETAIL 12-14/A6.0 FOR TYPICAL FLOORING TRANSITION DETAILS.
- ROOM IDENTIFICATION SIGNAGE TO BE PROVIDED AND INSTALLED AT EACH ROOM. SEE DETAIL 10/A6.0 FOR MORE INFORMATION.
- COORDINATE DOOR ROUGH OPENINGS WITH SELECTED MANUFACTURER.
- PROVIDE WATER RESISTIVE TYPE 'X' GYPSUM WALL BOARD AT ALL WET AREAS. FOR ALL AREAS WITH NEW TILE ON WALL SURFACE, PROVIDE CEMENT BOARD AS SUBSTRATE.
- ALL NEW FLOORING SHALL BE FIRM, STABLE, AND SLIP-RESISTANT.
- ALL EXISTING WALLS TO REMAIN UNLESS OTHERWISE NOTED.
- VERIFY EXTENT OF EMERGENCY VOICE/ALARM COMMUNICATIONS SYSTEM & ALERTING SYSTEM. MODIFY EXISTING/INSTALL NEW SYSTEM AS NECESSARY TO MEET ALL CODE REQUIREMENTS.
- ALL INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH IBC SECTION 808.

FLOOR PLAN KEYNOTES

- KN-01 INSTALL MARBLE TILE FLOORING PER MANUFACTURER'S REQUIREMENTS. VERIFY FINISH WITH OWNER.
- KN-02 PROVIDE LAYER 5/8" TYPE 'X' 6"LB. TO EXTENT NECESSARY AT EXISTING WALLS; VERIFY EXACT EXTENT WITH FIELD PRIOR TO BID. FINISH TO MATCH ADJACENT.
- KN-03 NEW KITCHEN EQUIPMENT BY OTHERS UNDER SEPARATE PERMIT.
- KN-04 INSTALL SLIP RESISTANT VINYL FLOORING PER MANUFACTURER'S REQUIREMENTS. VERIFY EXACT COLOR WITH OWNER.
- KN-05 INSTALL NEW COMMERCIAL CARPET TO MATCH EXISTING AND PER MANUFACTURER'S REQUIREMENTS.
- KN-06 INSTALL TILE FLOORING TO MATCH TILE IN LOBBY BELOW, PER MANUFACTURER'S REQUIREMENTS.
- KN-07 F.R.P. MAINSCOT TO 48" A.F.F. TYP. AT KITCHEN WALLS. PAINT 6"LB. ABOVE. PAINT COLORS & TILE SIZE, DESIGN, AND FINISH TO BE DETERMINED BY OWNER.
- KN-08 PAINT 6"LB. WALLS THROUGHOUT. COLORS TO BE DETERMINED BY OWNER.
- KN-09 EXISTING FLOORING TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION. REPAIR AS NECESSARY.
- KN-10 PROVIDE SOUND BATT INSULATION BETWEEN STUDS OF EXISTING WALL AND LAYER WITH 6"LB. AT EXISTING WALLS. FINISH TO MATCH ADJACENT.
- KN-11 PROVIDE TILE MAINSCOT TO 48" A.F.F. AND PAINT 6"LB. ABOVE. PAINT COLORS & TILE SIZE, DESIGN, AND FINISH TO BE DETERMINED BY OWNER.
- KN-12 DEITY PLATFORM AND FRAMING PER DETAILS ON SHEET A8.1. FINISH WITH MARBLE TILE (EXACT TILE TO BE DETERMINED BY OWNER). INSTALL TILE PER MANUFACTURER'S REQUIREMENTS.
- KN-13 NEW POST & BEAM PER STRUCTURAL DRAWINGS. FURR OUT TO ALIGN WITH ADJACENT CONSTRUCTION.
- KN-14 SEMI-RECESSED FIRE EXTINGUISHER CABINET. WRAP BACK OF BOX 1/4" 5/8" TYPE 'X' 6"LB. PER 8/A6.0. VERIFY LOCATION WITH FIRE MARSHAL PRIOR TO INSTALLATION. PROVIDE (1) FIRE EXTINGUISHER PER 3,000 SQUARE FEET, AND ENSURE THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER IS 75' PER I.B.C. TABLE 906.3(1).
- KN-15 INSTALL NEW RESTROOM TILE TO MATCH EXISTING IN ADJACENT RESTROOMS.
- KN-16 INSTALL SIGN STATING OCCUPANCY LOAD OF ASSEMBLY SPACE NEAR MAIN EXIT DOOR PER IBC SECTION 1004.3.
- KN-17 50 GPM HYDROMECHANICAL GREASE INTERCEPTOR (SCHIER PRODUCTS MODEL #SB-50). CONNECT TO 3" WASTE LINE & THEN TO EXISTING WASTE SYSTEM.

WALL TYPE SCHEDULE

TYPE	DESCRIPTION	SIZE
1	TYPICAL INTERIOR WALL CONSTRUCTION: VERIFY FINISH WITH OWNER (1) LAYER 5/8" TYPE 'X' 6"LB. 3 5/8" METAL STUDS @ 24" O.C. SOUND BATT INSULATION IN CAVITY (1) LAYER 5/8" TYPE 'X' 6"LB. VERIFY FINISH WITH OWNER	TO UNDERSIDE OF CEILING; SEE DETAIL 9/A6.0. **TO UNDERSIDE OF FLOOR DECK ABOVE, INCLUDING 6"LB. & SOUND BATT AT 'A' DESIGNATION SEE DETAIL 11/A6.0**
2	TYPICAL INTERIOR WALL CONSTRUCTION: VERIFY FINISH WITH OWNER (1) LAYER 5/8" TYPE 'X' 6"LB. 3 5/8" METAL STUDS @ 24" O.C. (1) LAYER 5/8" TYPE 'X' 6"LB. VERIFY FINISH WITH OWNER	TO UNDERSIDE OF CEILING

LEGEND

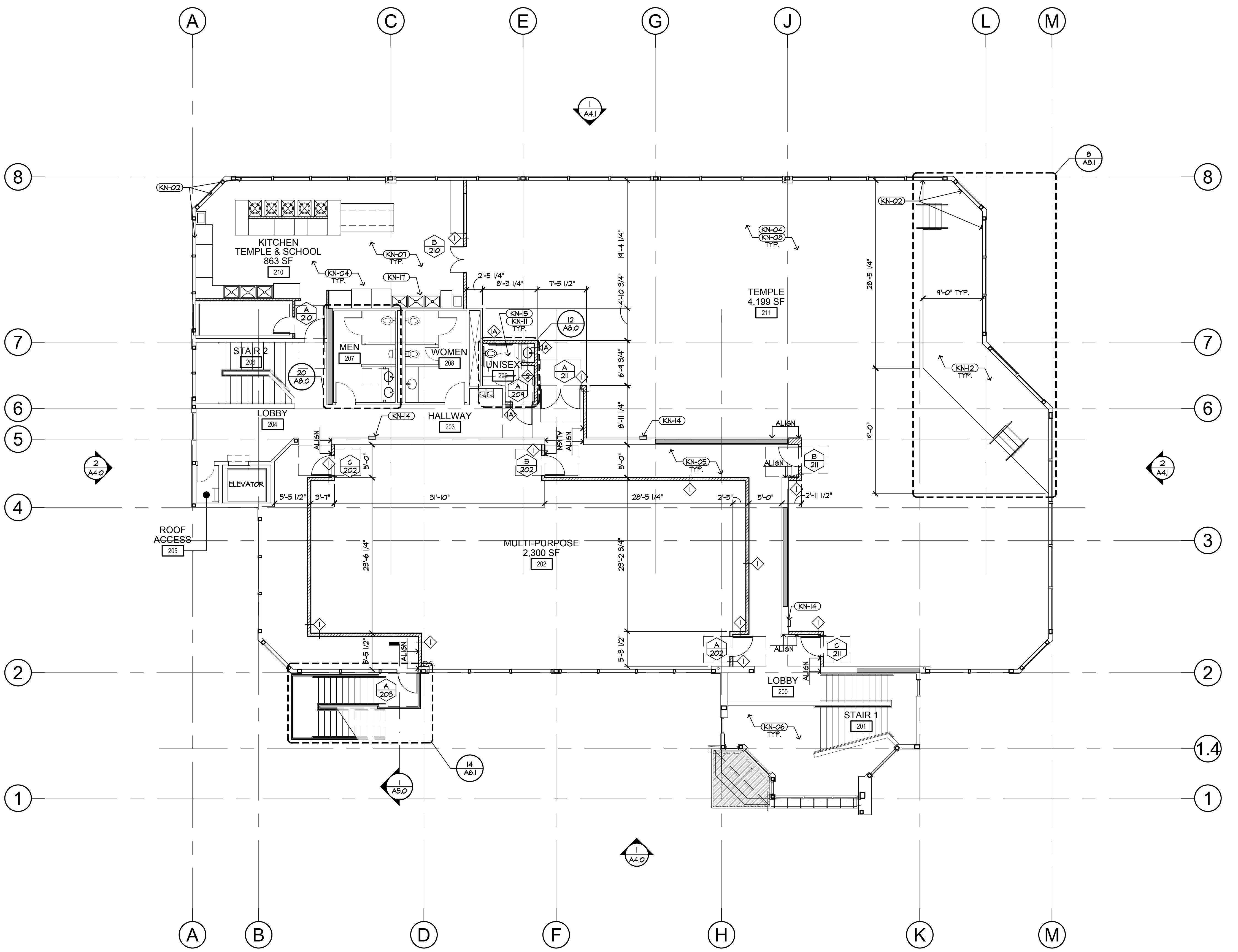
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING SHEAR WALL CONSTRUCTION TO REMAIN
- NEW WALL CONSTRUCTION
- NEW LOW WALL CONSTRUCTION
- OVERHEAD CONSTRUCTION
- EXISTING EQUIPMENT TO REMAIN
- NEW OR RELOCATED EQUIPMENT
- ACCESSIBILITY CLEARANCES
- SINGLE DETAIL TAG - SEE SHEET LISTED IN TAG FOR DETAIL
- DOOR TAG - SEE SHEET A4.0 FOR DOOR SCHEDULE
- WALL TYPE TAG - SEE WALL SCHEDULE, THIS SHEET

REV	DESCRIPTION	DATE
1	ADMINISTRATIVE CONDITIONAL USE PERMIT SET	5/15/14
2	CONDITIONAL USE RESPONSE 2	7/28/14
3	BUILDING PERMIT RESPONSE	9/30/14
4	CUP BLDG RESPONSE	8/12/15

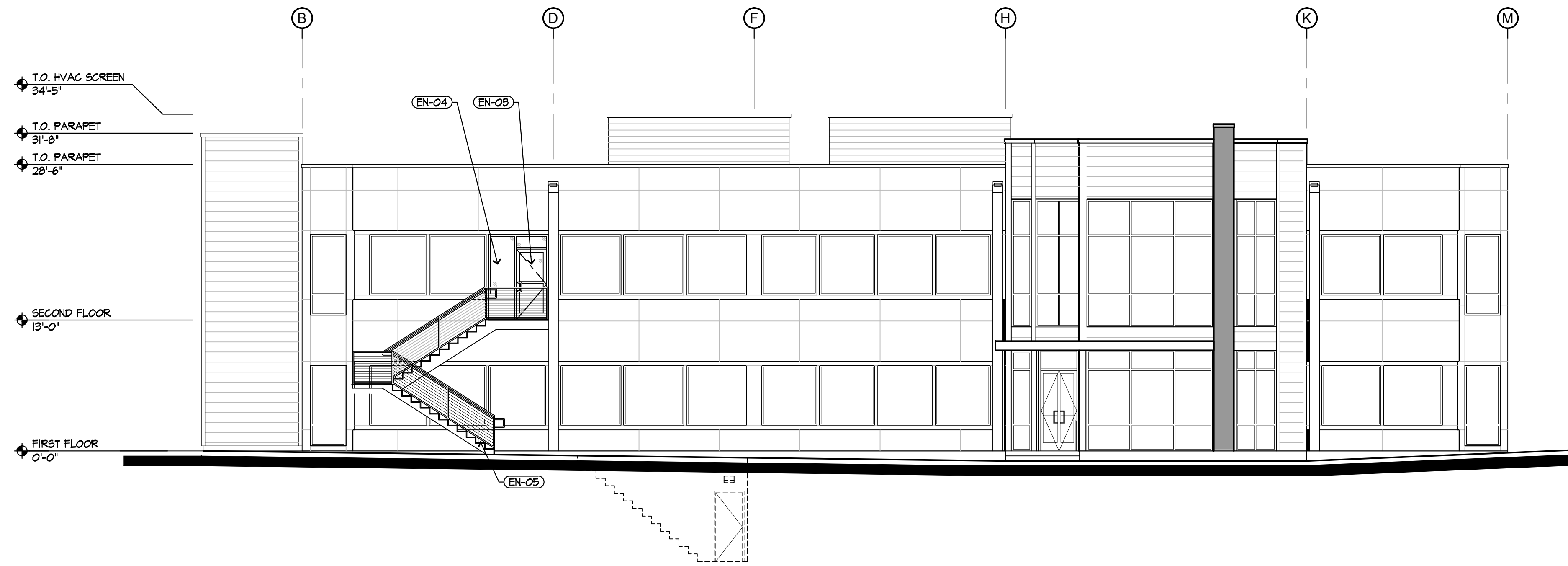
FLOOR PLAN

A3.3

PROJECT NUMBER: A12-475 8/12/15
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SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"

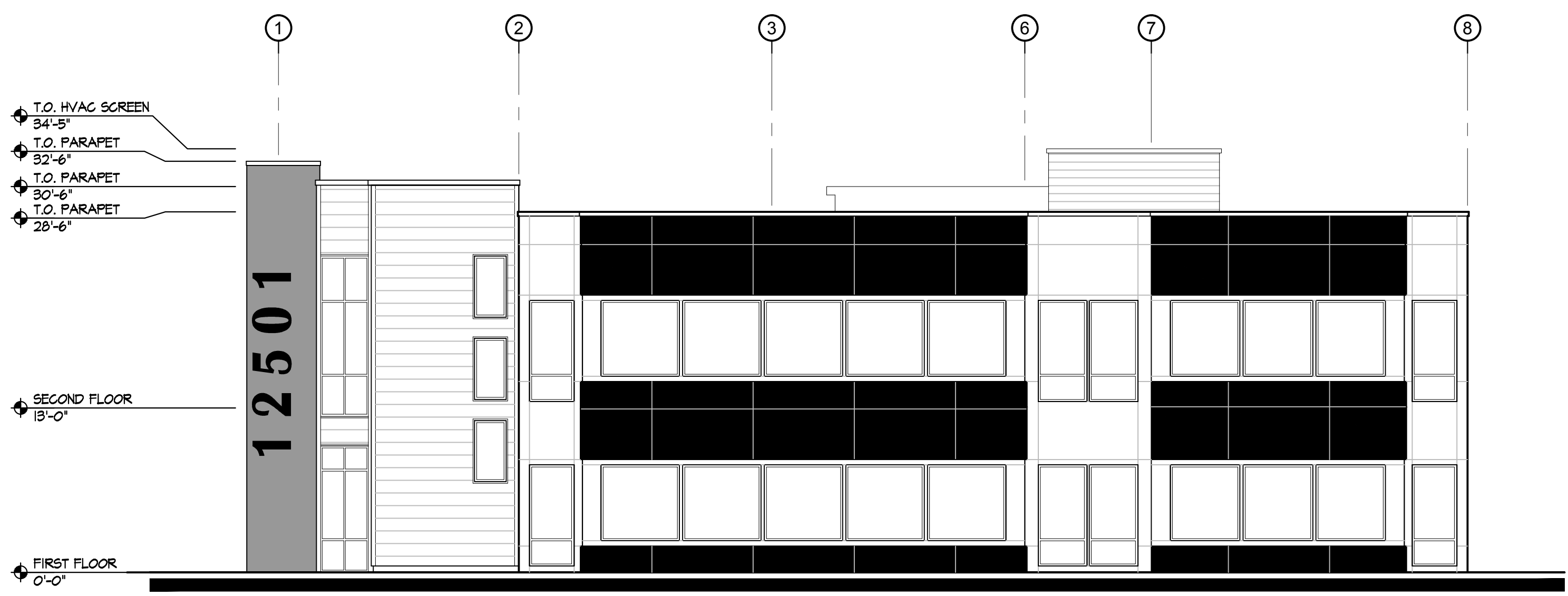
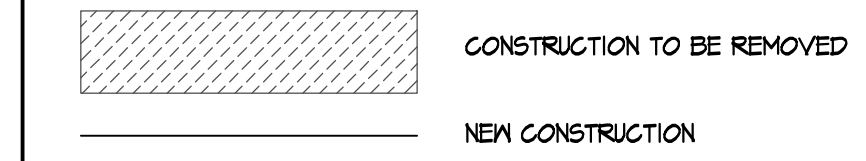
ELEVATION GENERAL NOTES

- DEMOLITION IS TO BE EXECUTED SO AS NOT TO DITURN EXISTING STRUCTURAL & ROOFING SYSTEMS, AND OTHER AREAS THAT ARE INTENDED TO REMAIN INTACT. VERIFY ALL CONSTRUCTION TO BE REMOVED THAT IS NOT INTEGRAL TO STRUCTURAL SYSTEM PRIOR TO DEMOLITION.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY STRUCTURAL ITEMS TO BE REMOVED PRIOR TO REMOVAL.
- ALL DIMENSIONS SHOWN AS EXISTING SHOULD BE FIELD VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION. VERIFY ALL DEMOLITION WORK W/ NEW CONSTRUCTION & INSTALLATION DRAWINGS PRIOR TO BEGINNING CONSTRUCTION.
- DEMOLITION CONTRACTOR TO COORDINATE & REVIEW ALL CONSTRUCTION DOCUMENTS & DETERMINE THE EXTENT OF DEMOLITION WORK & BECOME FAMILIAR WITH THEM THOROUGHLY BEFORE PERFORMING ANY DEMOLITION WORK. BY THE ACT OF STARTING DEMOLITION, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH THE FOREGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE THE NECESSARY ALLOWANCES IN PREPARING HIS BID.
- THIS PLAN INDICATES A GENERAL SCOPE OF WORK TO BE PERFORMED, AND DOES NOT RELIEVE THE CONTRACTOR TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS, INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, & HVAC WORK.
- IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY SUSPEND WORK & NOTIFY THE ARCHITECT BEFORE PROCEEDING.
- ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.

ELEVATION KEYNOTES

- EN-01 REMOVE PORTION OF EXISTING WALL AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.
- EN-02 REMOVE EXISTING STOREFRONT AND FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH BUILDING OWNER. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.
- EN-03 NEW STOREFRONT DOOR TO MATCH EXISTING (10" BOTTOM STILE AT DOORS) PER SCHEDULE.
- EN-04 NEW STOREFRONT WINDOW TO MATCH EXISTING.
- EN-05 NEW EXTERIOR METAL STAIR.

LEGEND



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS FOR:
ISKCON TEMPLE
TENANT IMPROVEMENT
12501 BEL-RED ROAD
BELLEVUE, WA



5209 Lake Washington Blvd NE | Ste 200 | Kirkland | WA | 98033 www.FHOFARCH.COM TEL: 425.827.2100

Freiheit & Ho
architects

REV	DESCRIPTION	DATE
	ADMINISTRATIVE CONDITIONAL USE	5/9/14
1	CONDITIONAL USE RESPONSE	5/15/14
	PERMIT SET	6/2/14
2	CONDITIONAL USE RESPONSE 2	7/29/14
3	BUILDING PERMIT RESPONSE	9/30/14
4	CUP BLDG RESPONSE	8/12/15

ELEVATIONS

A4.0

PROJECT NUMBER: A12-475 8/12/15
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architects

REV DESCRIPTION DATE
 1 ADMINISTRATIVE CONDITIONAL USE 5/8/14
 2 CONDITIONAL USE RESPONSE 5/15/14
 3 PERMIT SET 6/2/14
 4 CONDITIONAL USE RESPONSE 2 7/28/14
 5 BUILDING PERMIT RESPONSE 9/30/14
 6 CUP/BLDG RESPONSE 8/12/15

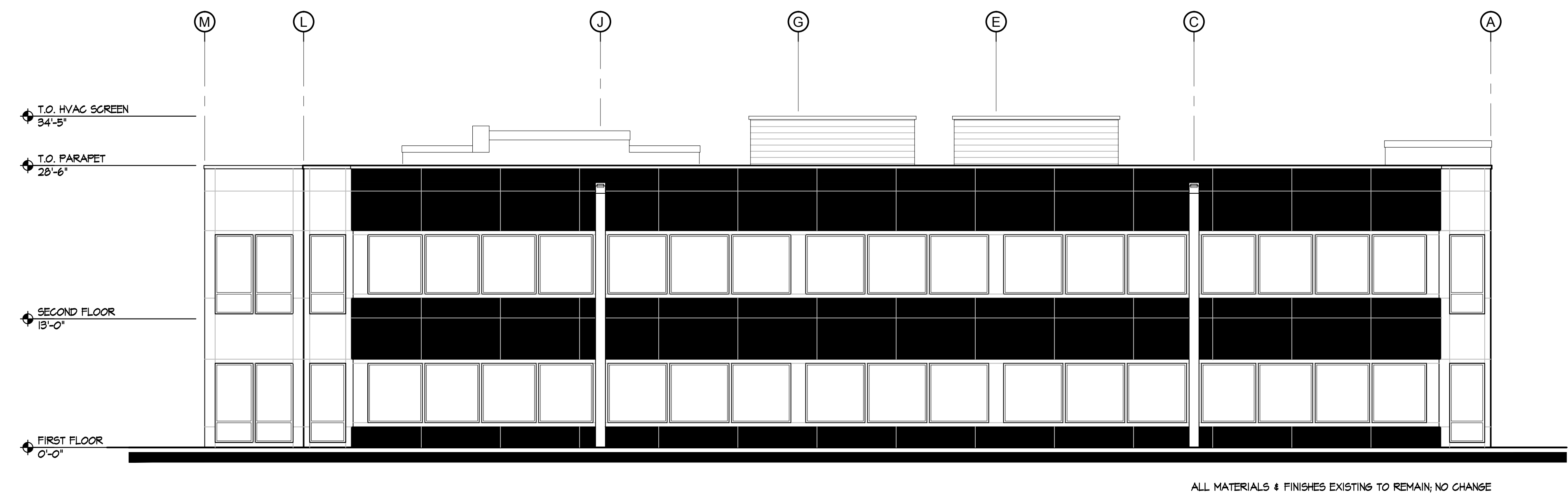
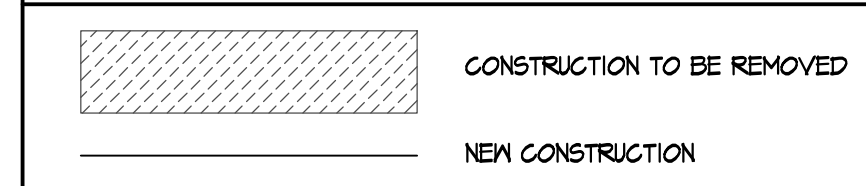
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- ALL DEMOLITION SHALL BE CARRIED OUT IN A SAFE MANNER & IN STRICT ACCORDANCE WITH OSHA REGULATIONS.

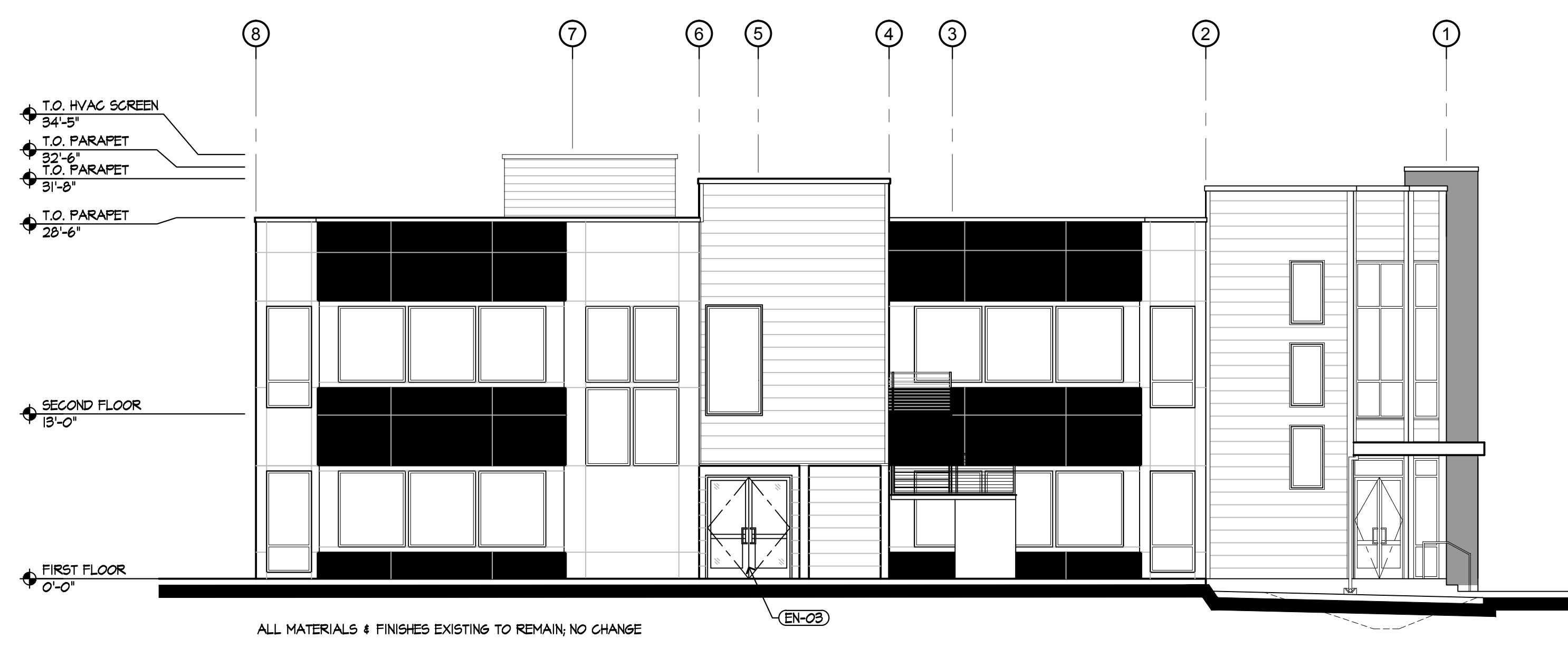
ELEVATION KEYNOTES

- (EN-01) REMOVE PORTION OF EXISTING WALL AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.
- (EN-02) REMOVE EXISTING STOREFRONT AND FRAME AS SHOWN TO ACCOMMODATE NEW CONSTRUCTION. VERIFY SALVAGE OR DISPOSAL WITH BUILDING OWNER. SEE DEMOLITION & FLOOR PLAN FOR EXTENT OF WORK.
- (EN-03) NEW STOREFRONT DOOR TO MATCH EXISTING (10" BOTTOM STILE AT DOORS) PER SCHEDULE.
- (EN-04) NEW STOREFRONT WINDOW TO MATCH EXISTING.
- (EN-05) NEW EXTERIOR METAL STAIR.

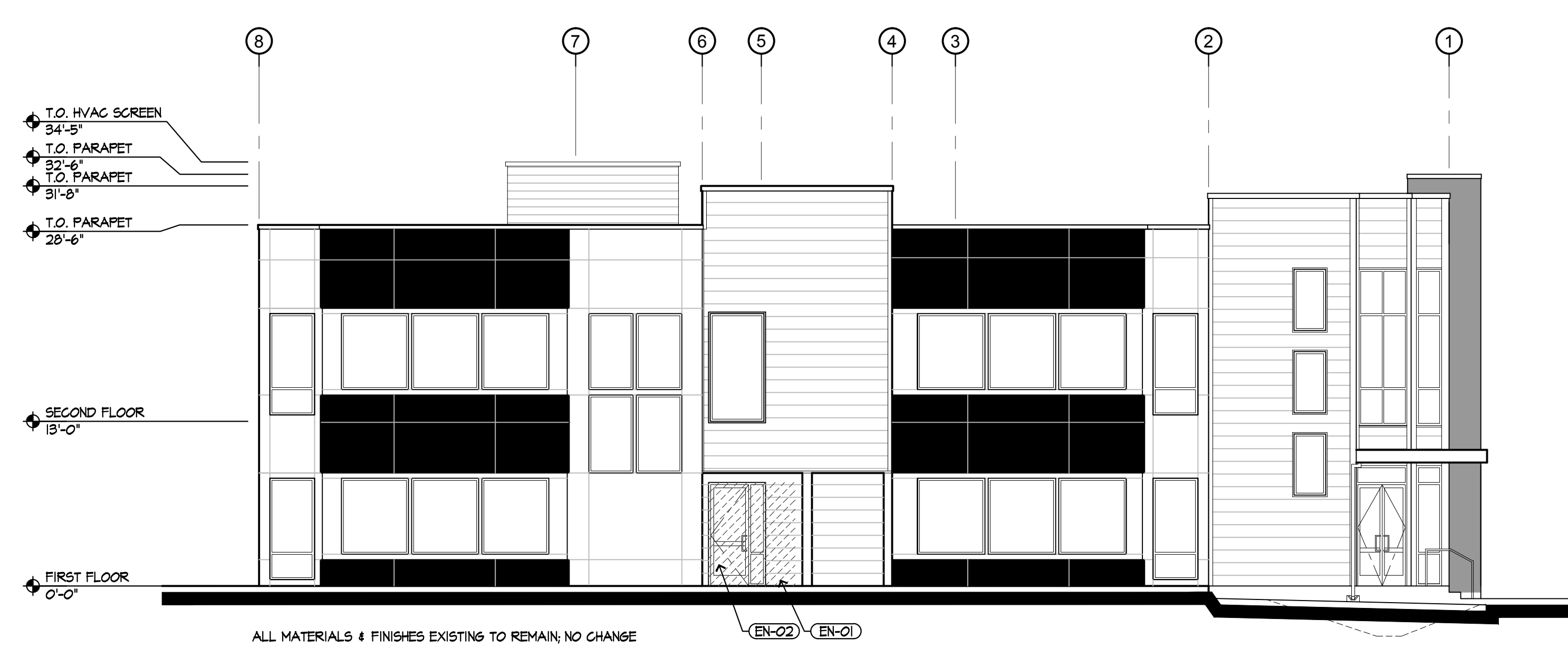
LEGEND



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



2 DEMO SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

KRISHNA TEMPLE & SCHOOL

KING COUNTY, WASHINGTON

LEGAL DESCRIPTION:

PARCEL A:
LOT 2 OF CITY OF BELLEVUE SHORT PLAT NO. 77-51, RECORDED UNDER RECORDING NO. 7707130879, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL B:
AN EASEMENT FOR INGRESS AND EGRESS OVER A STRIP OF LAND 25 FEET IN WIDTH HAVING 12.5 FEET OF SUCH WIDTH ON EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT A POINT ON THE NORTH LINE OF LOT 4, KIETZ' HOME ACRES, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 47 OF PLATS, PAGE 83, RECORDS OF KING COUNTY, WASHINGTON, WHICH IS SOUTH 71°56'10" WEST 182.75 FEET FROM THE NORTHEAST CORNER THEREOF; THENCE SOUTH 00°20'48" EAST PARALLEL TO THE EAST LINE THEREOF 307.29 FEET TO THE TERMINUS OF THE HEREIN DESCRIBED CENTERLINE; EXCEPT THAT PORTION LYING WITHIN THE HEREIN ABOVE DESCRIBED MAIN TRACT.

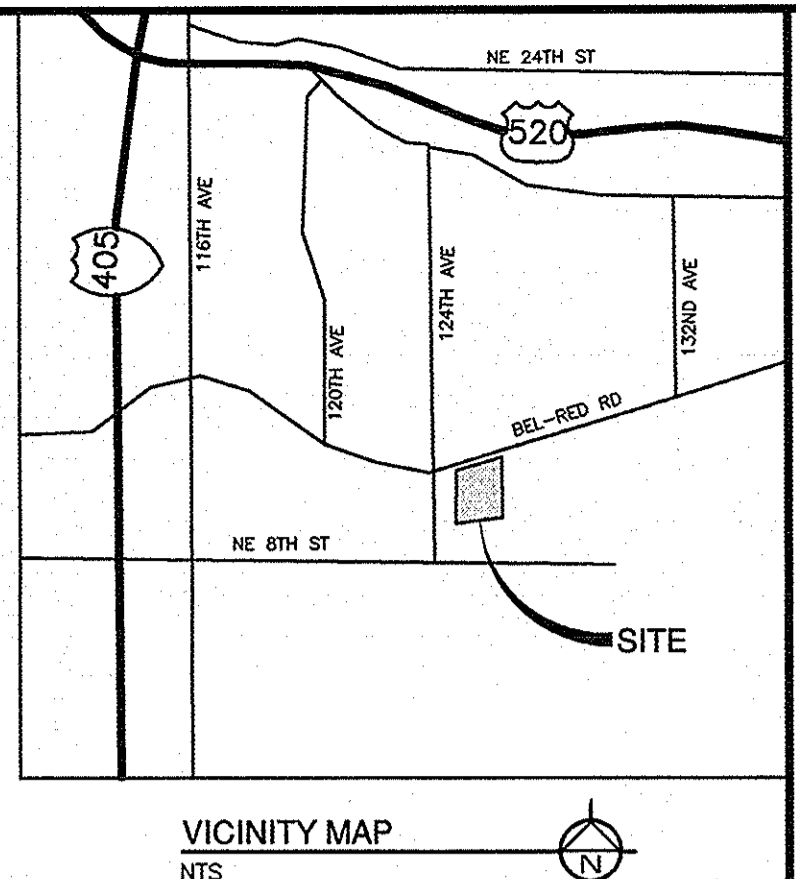
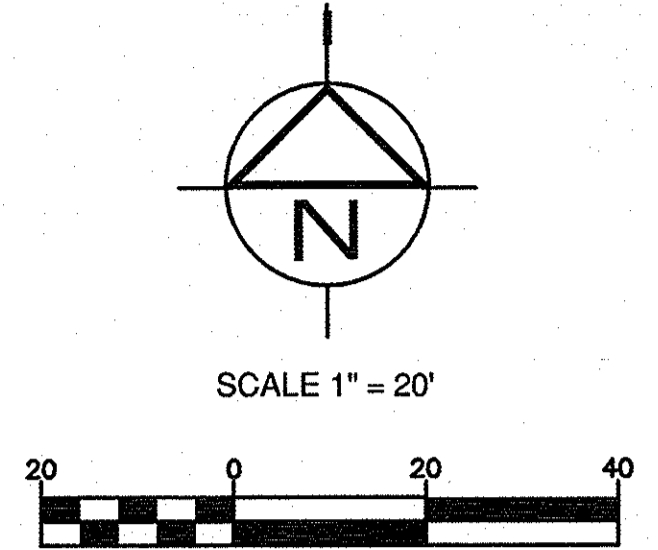
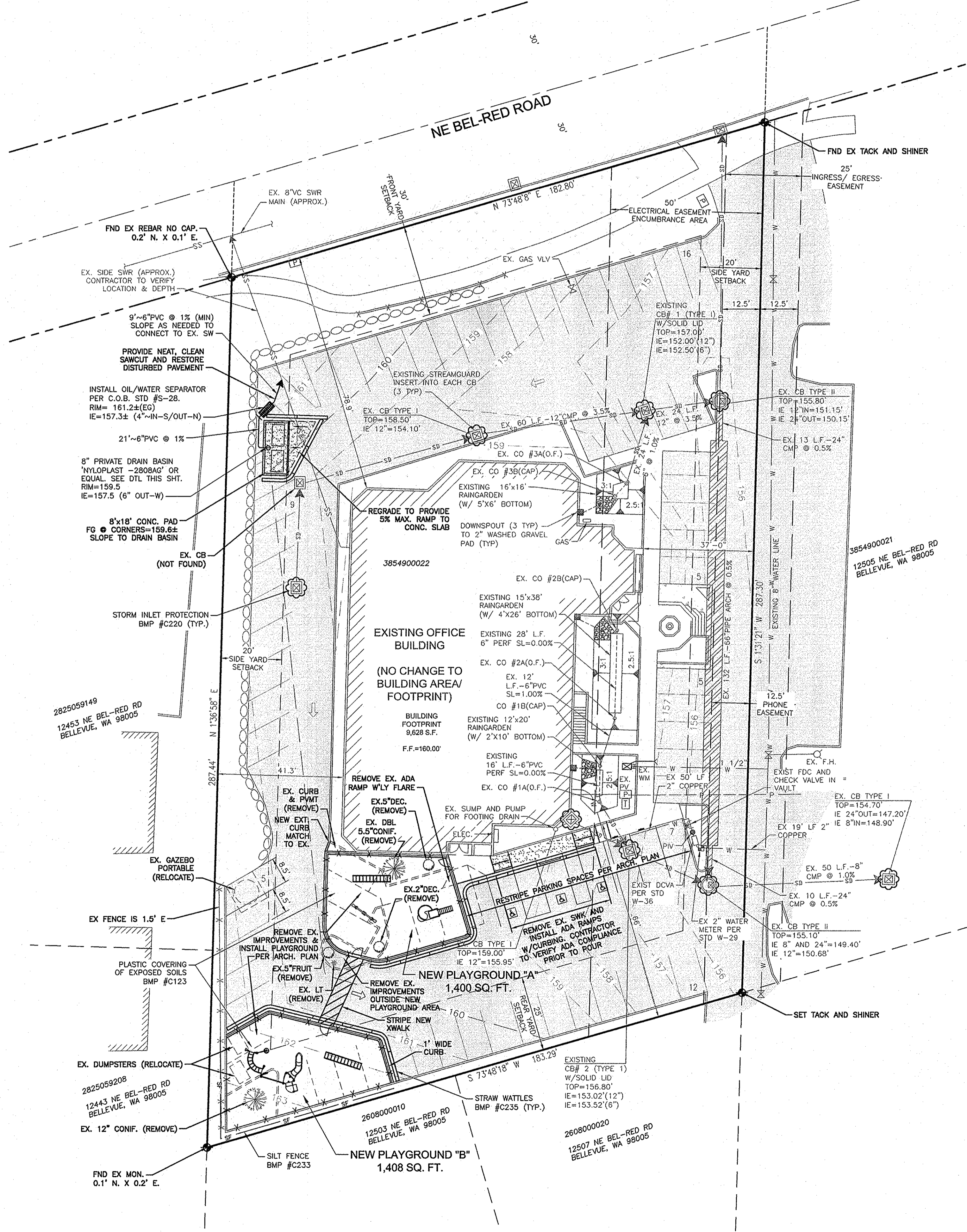
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

CONSTRUCTION SEQUENCE NOTES

- ATTEND PRE-CONSTRUCTION MEETING.
- BEFORE PERFORMING ANY GRADING OR CLEARING, THE APPLICANT SHALL MARK, IN THE FIELD, THE LIMITS OF ALL PROPOSED CLEARING AND GRADING, CRITICAL AREAS AND THEIR BUFFERS, TREES TO BE RETAINED, AND DRAINAGE COURSES. PROVIDE NOTICE TO PDS FOR INSPECTION OF THE NCPA MARKING BEFORE CLEARING STARTS.
- INSTALL FILTER FENCE.
- CLEAR AND GRUB SITE TO LIMITS OF CLEARING AS SHOWN ON THE CLEARING & GRADING PLANS.
- CONSTRUCT SURFACE WATER CONTROLS (TEMPORARY SWALES, TEMPORARY PIPES, CUTOFF SWALES, CHECK DAMS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING.
- FROM MAY 1 TO SEPTEMBER 30, NO SOIL MAY REMAIN EXPOSED FOR MORE THAN SEVEN (7) DAYS. MATERIALS, EQUIPMENT, AND OTHER RESOURCES SHALL BE ON SITE AT ALL TIMES TO IMMEDIATELY STABILIZE ALL SOIL. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITHIN 24 HOURS OF FORMATION TO PREVENT SOIL LOSS. GRADING AND CONSTRUCTION SHALL BE TIMED AND CONDUCTED IN STAGES TO MINIMIZE SOIL EXPOSURE.
- MEASURES SHALL BE EMPLOYED TO PREVENT OR MINIMIZE THE TRANSPORT OF SEDIMENT ONTO PAVED SURFACES (I.E. SPRINKLE THE SITE W/ WATER, CONSTRUCTION ENTRANCE, MINIMIZING SOIL EXPOSURE, SPRAYING EXPOSED SOIL W/APPROVED DUST PALLIATIVE). IF SEDIMENT IS TRANSPORTED ONTO A PAVED SURFACE DURING CONSTRUCTION, IT SHALL BE CLEANED AT THE END OF EACH DAY.
- RELOCATE/REVISE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES AS REQUIRED SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENTATION CONTROL IS ALWAYS IN ACCORDANCE WITH CITY OF BELLEVUE MINIMUM STANDARDS.
- ALL CSWPPP MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY DURING CONSTRUCTION TO ASSURE THEIR CONTINUED PERFORMANCE.
- INSTALL UTILITIES (STORM, SANITARY SEWER, WATER, POWER, ETC.). BETWEEN OCTOBER 1 AND APRIL 30, NO MORE THAN 500 FEET OF CONTINUOUS TRENCH MAY REMAIN OPEN AT ONE TIME UNLESS CHECK DAMS ARE INSTALLED TO REDUCE FLOW VELOCITIES AND PREVENT EROSION. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES, UNLESS INCONSISTENT WITH SAFETY OR SITE CONSTRAINTS.
- DISCHARGE FROM ON-SITE DEWATERING DEVICES (IF REQ'D) SHALL BE DISCHARGED TO THE SEDIMENT POND.
- FINAL GRADE/PAVE. MAINTAIN MINIMAL CB PROTECTION.
- FLUSH STORM DRAINAGE SYSTEM (I.E. CLEAN OUT AND TEST SYSTEM).
- ALL CSWPPP MEASURES MAY BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR WHEN THEY ARE NO LONGER NECESSARY.

THE 12 ELEMENTS OF T.E.S.C. BMP

- ELEMENT #1 - MARK CLEARING LIMITS: LIMIT OF CONSTRUCTION ARE CLEARLY MARKED.
- ELEMENT #2 - ESTABLISH CONSTRUCTION ACCESS: STABILIZED CONSTRUCTION ENTRANCES ARE SHOWN.
- ELEMENT #3 - CONTROL FLOW RATES: SEDIMENT POND IS PROPOSED.
- ELEMENT #4 - INSTALL SEDIMENT CONTROLS: INLET PROTECTION, SILT FENCE AND MULCH ARE PROPOSED.
- ELEMENT #5 - STABILIZE SOILS: SOIL STABILIZATION IS ACHIEVED BY MULCHING, PLASTIC COVERING AND SEEDS.
- ELEMENT #6 - PROTECT SLOPES: SLOPES ARE PROTECTED BY PLASTIC COVERING, MULCHING AND SEEDS.
- ELEMENT #7 - PROTECT DRAIN INLETS: INLET PROTECTIONS ARE PROVIDED.
- ELEMENT #8 - STABILIZE CHANNELS AND OUTLETS: ROCK PAD IS PROPOSED.
- ELEMENT #9 - CONTROL POLLUTANTS: ALL VEHICLES, EQUIPMENT AND PETROLEUM PRODUCT STORAGE/ DISPENSING AREAS WILL BE INSPECTED REGULARLY TO DETECT ANY LEAKS OF SPILLS, AND TO IDENTIFY MAINTENANCE NEEDS AND PREVENT LEAKS OF SPILLS.
- ELEMENT #10 - CONTROL DEWATERING: BAKER TANKS WILL BE USED IF THERE IS DEWATERING AS PART OF THIS CONSTRUCTION PROJECT.
- ELEMENT #11 - MAINTAIN BMP'S: ALL TESC BMP'S SHALL BE MAINTAINED AND REPAIRED AS NEEDED.
- ELEMENT #12 - MANAGE THE PROJECT: THIS COULD BE ACHIEVED BY MINIMIZING THE EXTENT AND DURATION OF THE AREA EXPOSED AND BY EMPHASIZING EROSION CONTROL THEN SEDIMENT CONTROL.



PROJECT INFORMATION

APPLICANT/ARCHITECT..... FREIHEIT & HO ARCHITECTS
5209 LAKE WASHINGTON BLVD
KIRKLAND, WA, 98033
CONTACT: JAMIE LOVE
PHONE: (425) 827-2100
EMAIL: JLOVE@FHARCH.COM

OWNER..... FORUM WEST LTD PARTNERSHIP
12301 NE 10TH PLACE, SUITE 303
BELLEVUE, WA, 98005
CONTACT: TOM ARMSTRONG
PHONE: (425) 454-8900, EXT. 124

SURVEYOR/ENGINEER..... GROUP FOUR, INC. P.O.
BOX 1055
LAKE STEVENS, WA, 98258
PHONE: (425) 408-1152
PROJ. MGR.: KEN WILLIAMS

SITE ADDRESS..... 12501 NE BEL-RED RD
BELLEVUE, WA 98005

TAX ACCOUNT NUMBERS..... 385490-0022

SITE AREA..... 50,093 S.F. (1.15 AC)

PROJECT LAND DISTURBING ACTIVITY SUMMARY

CLEARED/DISTURBED AREA..... 3,427 S.F. (0.097 AC)

NEW IMPERVIOUS AREA..... 2,696 S.F. (0.062 AC)

NEW IMPERVIOUS AREA..... 140 S.F.

REPLACED IMPERVIOUS AREA..... 591 S.F.

NEW & REPLACED AREA..... 731 S.F.

PROJECT SUMMARY

CONSTRUCT 2 NEW PLAYGROUNDS, TRASH ENCLOSURE, MODIFY EXISTING PARKING SPACES AND ADA RAMPS.

APPROXIMATE GRADING QUANTITIES

20 CU. YD. (CUT/FILL)

SHEET INDEX

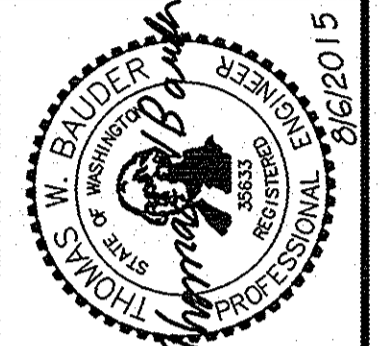
C1 SIZE PLAN
W1 WATER PLAN
SS1 SEWER PLAN

CONSTRUCTION NOTE

PLAYGROUND AREAS SHALL USE PERVIOUS SURFACE. SEE ARCHITECTS PLANS.

UTILITY CONFLICT NOTE:

CAUTION:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS AND THEN SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.



DATE:	08/06/2015
DRAWN:	MMF
DESIGNED:	JPO
CHECKED:	KW
APPROVED:	DKR

GROUP FOUR Inc.
Land Surveying | Civil Engineering
Project Management
P.O. BOX 1059 / 1611 VERNON ROAD SUITE A1, LAKE STEVENS, WA 98258
(425) 408-1152 • FAX (425) 877-1541 • WWW.GROUP4.COM

KRISHNA TEMPLE & SCHOOL
SITE PLAN PLAYGROUND ADDITION
AND CSWPPP

SHEET	OF
C1	1
14-4513	



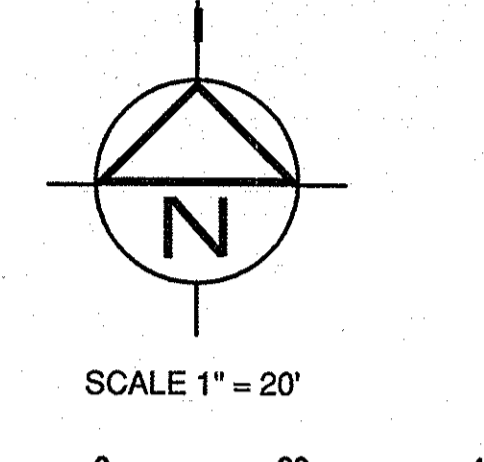
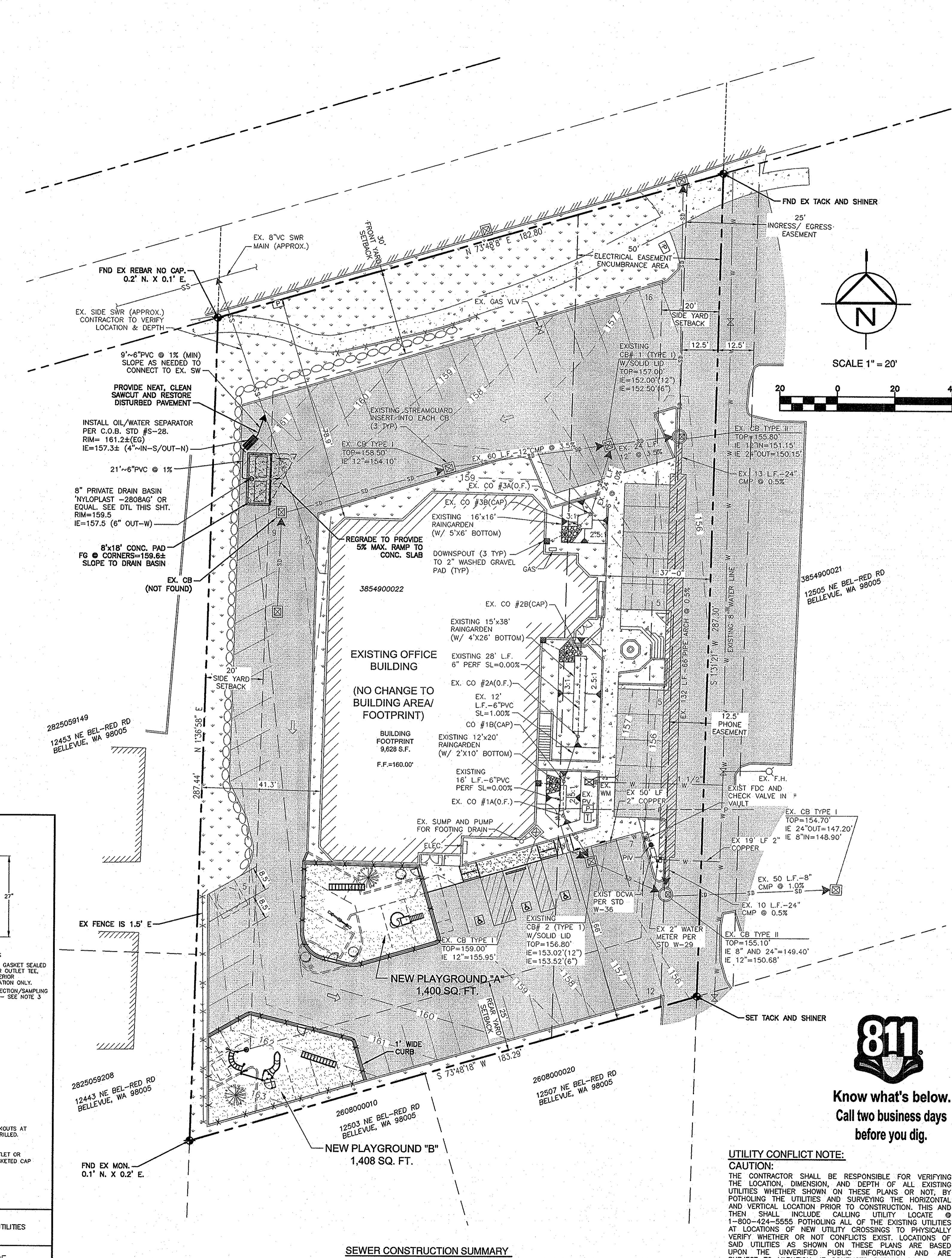
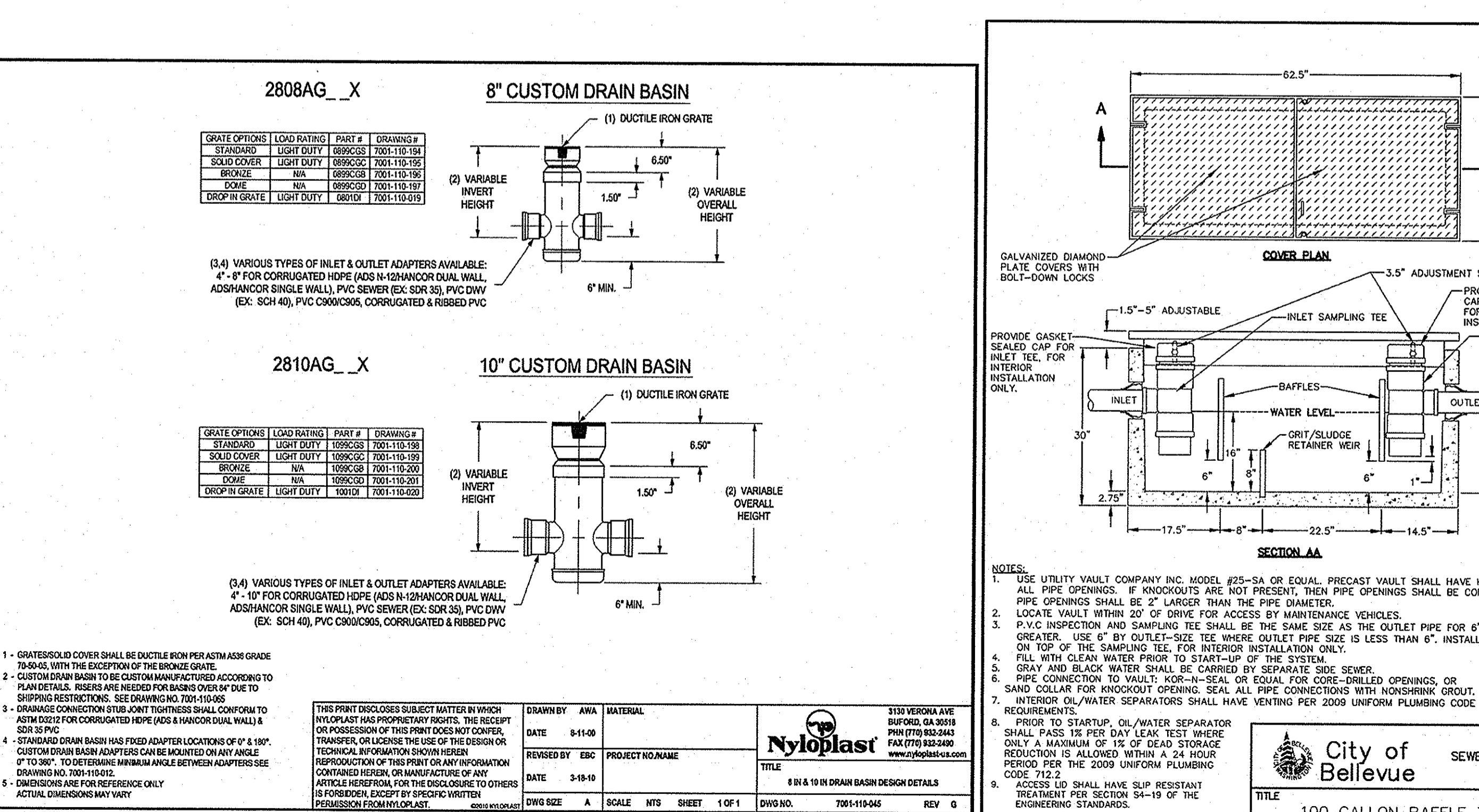
Know what's below.
Call two business days before you dig.

PERMIT #14-124283-LA

GRID NUMBER: H-6

SANITARY SEWER GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE 2015 CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
- ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48" AND SHALL CONFORM TO THE STANDARD DETAILS.
- SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4"-15") OR ASTM F-679 (18"-27"). BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
- WHERE SHOWN AS C900 PVC, THE SEWER PIPE SHALL HAVE DIMENSION RATIO (DR 18) AND CONFORM TO AWWA C900 OR AWWA C905.
- ALL SIDE SEWERS SHALL BE 6" DIAMETER PIPE AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED ON THE STANDARD DETAILS.
- SIDE SEWER STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE.
- LOT CORNERS MUST BE SET AND SIDE SEWER LOCATIONS VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL SIDE SEWER STUBS SHALL BE CAPPED WITH A WATER TIGHT CAP AND GASKET. CAP LOCATION SHALL BE MARKED WITH A 2 X 4 STAKE, 12 FEET LONG, WITH ONE END BURIED AT DEPTH OF THE CAP INVERT AND EXTENDING AT LEAST 3 FEET VERTICALLY OUT OF THE GROUND. THE PORTION OF STAKE ABOVE GROUND SHALL BE PAINTED WHITE AND MARKED WITH THE WORD "SEWER" AND THE DEPTH FROM PIPE INVERT TO GROUND SURFACE. CONNECT PIPE TO STAKE WITH AN 8-GAUGE WIRE AT OR ABOVE FINISHED GROUND LEVEL.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. IMMEDIATELY NOTIFY THE ENGINEER IF A CONFLICT EXISTS.
- ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
- ALL TRENCHES SHALL BE COMPACTED, AND ATB IN PLACE IN PAVED AREAS, PRIOR TO TESTING SEWER LINES FOR ACCEPTANCE.
- SIDE SEWER SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE MAIN SEWER IS TESTED.
- TOPS OF MANHOLES WITHIN PUBLIC RIGHTS-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL JUST PRIOR TO PAVING.
- ALL MANHOLES IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTING RINGS PER STANDARD DETAIL.
- CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
- ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE "STAKED" BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR "LINE AND GRADE" AND CUT SHEETS PROVIDED TO THE ENGINEER, PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING SANITARY SEWER SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
- SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF TEN FEET (10') HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER LINES. ANY CONFLICTS SHALL BE REPORTED TO THE UTILITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ENSURE AND VERIFY THAT NO CONFLICTS EXIST BETWEEN SANITARY SEWER LINES AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- MINIMUM COVER OVER SEWER PIPE SHALL BE FIVE FEET, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
- BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE FILTER FABRIC FOR ALL DOWNHILL STORM DRAIN INLETS AND CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL FILTER FABRIC AND REPLACE AS NECESSARY.
- FOR ALL CONSTRUCTION DURING THE RAINY SEASON, DOWNHILL BASINS AND INLETS MUST BE PROTECTED WITH CATCH BASIN INSERTS. SIMPLY PLACING FILTER FABRIC UNDER THE GRATE IS NOT ACCEPTABLE.
- SIDE SEWER DEMOLITION SHALL BE PERFORMED PRIOR TO REMOVAL OF BUILDING FOUNDATION. THE SIDE SEWER FOR EACH BUILDING SHALL BE EXCAVATED AND REMOVED FROM THE HOUSE CONNECTION TO THE EDGE OF THE PUBLIC RIGHT-OF-WAY, OR PROPERTY LINE. THE CONTRACTOR SHALL CAP THE END OF THE SIDE SEWER TO REMAIN IN PLACE. SIDE SEWER DEMOLITION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY OF BELLEVUE SEWER MAINTENANCE ENGINEERING TECHNICIAN.
- AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
- AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
- WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-8. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO BOTTOM OF THE AC MAIN.
- CALL 1-800-424-5555, OR 811, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATES.
- MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
- THE CONTRACTOR SHALL PROVIDE COLOR CCTV EQUIPMENT SHALL INCLUDE TELEVISION CAMERAS, A TELEVISION MONITOR, CABLES, POWER SOURCES, SIDE-LAUNCH CAPABLE IF NECESSARY, AND OTHER EQUIPMENT. FOCAL DISTANCE SHALL BE ADJUSTABLE THROUGH A RANGE FROM 6 INCHES TO INFINITY. THE CCTV EQUIPMENT SHALL INCLUDE A DISTANCE MEASURING INSTRUMENT (DMI) TO MEASURE THE HORIZONTAL DISTANCE TRAVELED BY THE CAMERA. THE DMI READOUT SHALL APPEAR CONTINUOUSLY ON THE VIDEO PRODUCED BY THE INSPECTION AND SHALL BE ACCURATE TO LESS THAN 1 PERCENT ERROR OVER THE LENGTH OF THE SECTION OF PIPELINE BEING INSPECTED. FOR STORM OR SANITARY SEWERS, THE LENGTH IS MEASURED FROM THE CENTERLINE OF THE MANHOLE OR CATCH BASIN TO THE CENTERLINE OF THE NEXT MANHOLE OR CATCH BASIN.



GROUP FOUR
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Land Use Planning | Project Management
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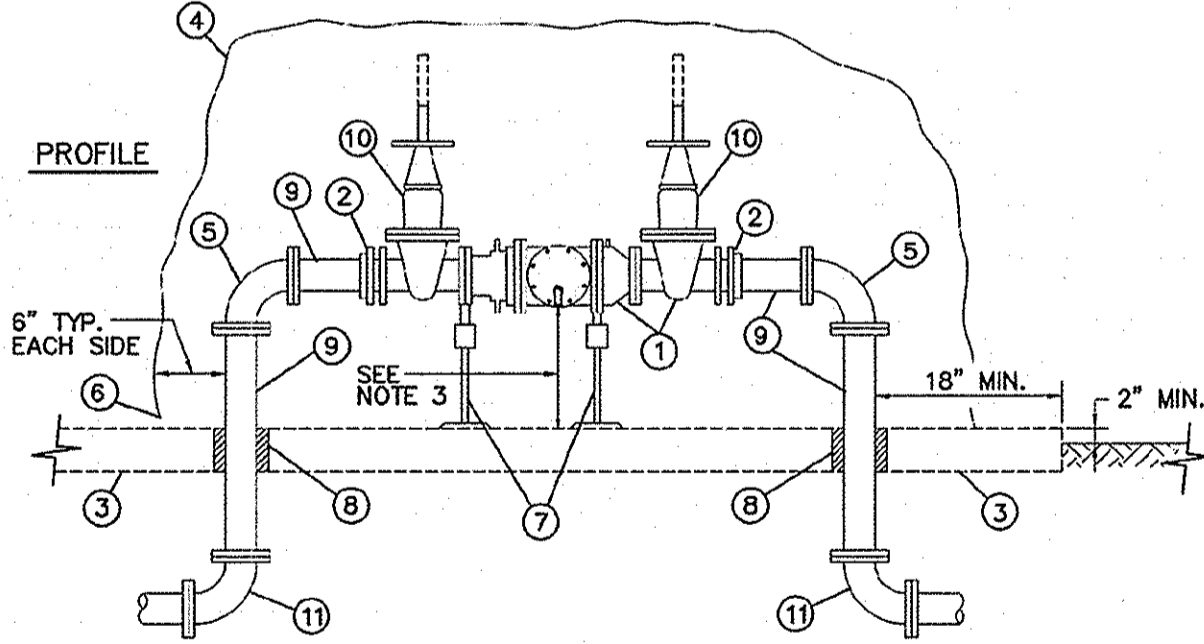
SHEET **SS1** OF **1**

GRID NUMBER: H-6

WATER GENERAL NOTES:

1. ALL WORK SHALL CONFORM TO THE 2015 CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
2. ALL PIPE SHALL BE DUCTILE IRON CLASS 52 UNLESS OTHERWISE SHOWN.
3. ALL PIPE AND FITTINGS NOT TO BE DISINFECTED IN PLACE SHALL BE SWABBED WITH 1% AVAILABLE CHLORINE SOLUTION PRIOR TO INSTALLATION.
4. THE NEW WATER MAIN SHALL BE CONNECTED TO THE EXISTING SYSTEM ONLY AFTER NEW MAIN IS PRESSURE TESTED, FLUSHED, DISINFECTED AND SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS ARE OBTAINED AND RECEIVED BY THE CITY INSPECTOR. SEE STANDARD DETAIL W-9.
5. AFTER DISINFECTING THE WATER MAIN, DISPOSE OF CHLORINATED WATER BY DISCHARGING TO THE NEAREST OPERATING SANITARY SEWER.
6. WATER MAIN SHUT-OFF SHALL BE COORDINATED WITH THE WATER OPERATIONS DIVISION FOR PREFERRED TIMING DURING FLOW CONTROL CONDITIONS. WATER MAIN SHUT-OFFS SHALL NOT BE SCHEDULED TO TAKE PLACE ON FRIDAYS, OR ON THE FIVE DAYS BEFORE NOR ONE DAY AFTER A CITY HOLIDAY, UNLESS OTHERWISE APPROVED BY THE UTILITY.
7. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
8. DEFLECT THE WATER MAIN ABOVE OR BELOW EXISTING UTILITIES AS REQUIRED TO MAINTAIN 3 FT. MINIMUM COVER AND 12 INCH MINIMUM VERTICAL CLEARANCE BETWEEN UTILITIES UNLESS OTHERWISE SPECIFIED.
9. WRAP ALL DUCTILE IRON PIPE AND ADJACENT VALVES AND FITTINGS WITH 8-MIL. POLYETHYLENE CONFORMING TO AWWA C105.
10. THE WATER MAIN SHALL BE INSTALLED ONLY AFTER THE ROADWAY SUBGRADE IS BACKFILLED, GRADED AND COMPACTED IN CUT AND FILL AREAS.
11. TRENCH BACKFILL AND SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.
12. ALL FITTINGS SHALL BE BLOCKED PER STANDARD DETAILS UNLESS OTHERWISE SPECIFIED.
13. ALL SERVICES SHALL BE 1" X 1" PER STANDARD DETAILS UNLESS OTHERWISE SPECIFIED. ADAPTORS FOR 3/4" METERS SHALL BE USED WHERE APPLICABLE.
14. WHEN WORKING WITH ASBESTOS CEMENT PIPE, THE CONTRACTOR IS REQUIRED TO MAINTAIN WORKERS' EXPOSURE TO ASBESTOS MATERIAL AT OR BELOW THE LIMIT PRESCRIBED IN WAC 296-62-07705.
15. CALL 1-800-424-5555, OR 811, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATIONS.
16. UNIFORM PLUMBING CODE REQUIRES THE INSTALLATION OF PRIVATELY OWNED AND OPERATED PRESSURE REDUCING VALVES WHERE THE OPERATING PRESSURE EXCEEDS 80 PSI.
17. THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER. FLUSHING OF STREETS SHALL NOT BE PERMITTED WITHOUT PRIOR CITY APPROVAL.
18. BEFORE COMMENCEMENT OF TRENCHING, THE CONTRACTOR SHALL PROVIDE CATCH BASIN INSERTS FOR ALL CATCH BASINS THAT WILL RECEIVE RUNOFF FROM THE PROJECT SITE. THE CONTRACTOR SHALL PERIODICALLY INSPECT THE CONDITION OF ALL INSERTS AND REPLACE AS NECESSARY.
19. ABANDONMENT OF EXISTING WATER SERVICES SHALL BE ACCOMPLISHED AS FOLLOWS:
(SEE W5-29 ABANDONING FACILITIES FOR OTHER FACILITY ABANDONMENT)
A. REMOVE EXISTING SERVICE SADDLE FROM WATER MAIN AND REPLACE WITH NEW STAINLESS STEEL REPAIR BAND, ROMAC SS2, FORD SERVICE SADDLE FC101, CC THREADED SADDLE AND A CC THREAD BRASS PLUG, OR APPROVED EQUAL (WILL NOT BE REQUIRED WHEN WATER MAIN IS TO BE ABANDONED).
B. REMOVE AND DISPOSE OF EXISTING SETTER AND METER BOX.
C. CAP OR CRIMP (IF COPPER) EXISTING SERVICE LINE TO BE ABANDONED IN PLACE, EACH END.
D. RETURN EXISTING METER TO CITY OF BELLEVUE UTILITIES INSPECTOR.
20. WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-8. WRAP DI PIPE AND COUPLINGS WITH 8-MIL POLYETHYLENE CONFORMING TO AWWA C105. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH SHALL BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO THE INVERT OF THE AC MAIN.
21. AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
22. WHERE WATER MAIN CROSSES ABOVE OR BELOW SANITARY SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED FOR MAXIMUM JOINT SEPARATION.
23. AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
24. WORKERS MUST FOLLOW CONFINED SPACE REGULATIONS AND PROCEDURES WHEN ENTERING OR DOING WORK IN COB OWNED CONFINED SPACES. COMPLETED PERMIT MUST BE GIVEN TO THE UTILITIES INSPECTOR PRIOR TO ENTRY.
25. MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
26. WHEN WORK IS TO OCCUR IN EASEMENTS, THE CONTRACTOR SHALL NOTIFY THE EASEMENT GRANTOR AND BELLEVUE UTILITIES IN WRITING A MINIMUM OF 48 HOURS IN ADVANCE OF BEGINNING WORK (NOT INCLUDING WEEKENDS OR HOLIDAYS). FAILURE TO NOTIFY GRANTOR AND BELLEVUE UTILITIES WILL RESULT IN A STOP WORK ORDER BEING POSTED UNTIL THE MATTER IS RESOLVED TO THE SATISFACTION OF BELLEVUE UTILITIES. A WRITTEN RELEASE FROM THE EASEMENT GRANTOR SHALL BE FURNISHED TO THE UTILITIES INSPECTOR PRIOR TO PERMIT SIGN-OFF.
27. THE CONTRACTOR SHALL RESTORE THE RIGHT-OF-WAY AND EXISTING PUBLIC UTILITY EASEMENT(S) AFTER CONSTRUCTION TO A CONDITION EQUAL OR BETTER THAN CONDITION PRIOR TO ENTRY. CONTRACTOR SHALL FURNISH A SIGNED RELEASE FROM ALL AFFECTED PROPERTY OWNERS AFTER RESTORATION HAS BEEN COMPLETED.

NOTICE: OUTSIDE-INSTALLED RPBA IS NOT ALLOWED IN BURIED VAULTS. DEVELOPER SHALL PROVIDE UTILITIES WITH A DESIGN FOR AN ABOVE-GROUND ENCLOSURE THAT DRAINS TO DAY LIGHT FOR APPROVAL. CLEARANCES SHOWN BELOW SHALL APPLY TO THE ENCLOSURE.



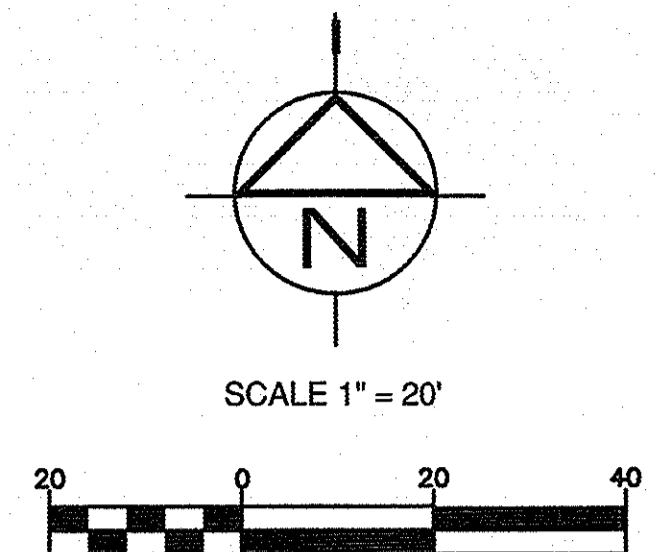
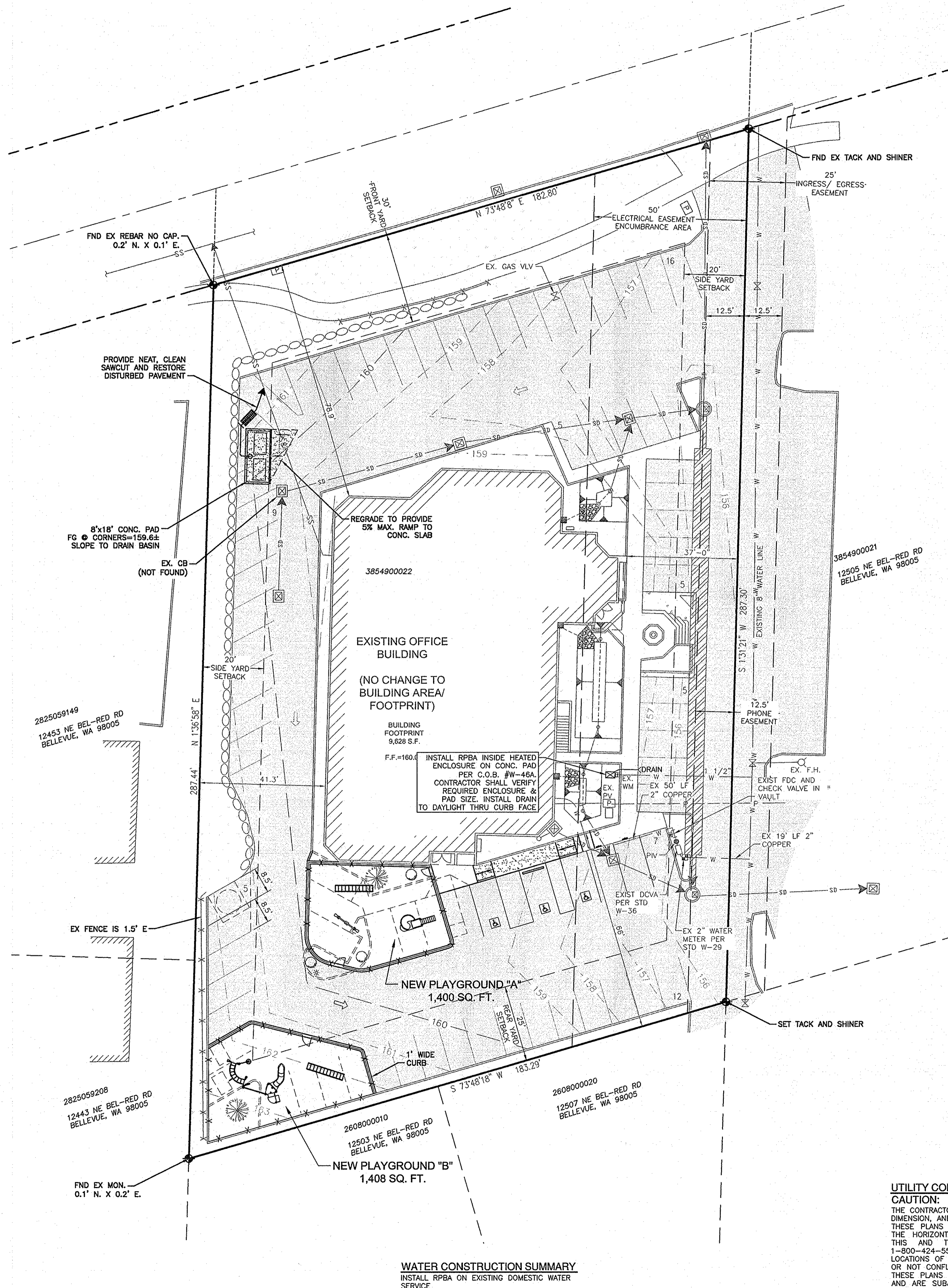
1. STATE APPROVED REDUCED PRESSURE BACKFLOW ASSEMBLY, COMPLETE WITH (2) RESILIENT SEATED O.S.&Y. VALVES (2\"/>
- 2. MEGALANGE (2\"/>
- 3. 4\"/>
- 4. APPROVED ENCLOSURE, CONTRACTOR TO VERIFY REQ'D RED SIZE.
- 5. 90\"/>
- 6. ENCLOSURE DRAIN, SIZED IN ACCORDANCE WITH PHWS-AWWA CROSS CONNECTION CONTROL MAN-LAL (7TH ADDITION) FIGURE 6-1.
- 7. TWO ADJUSTABLE PIPE STANCHIONS, BOLTED TO SLAB.
- 8. PVC SLEEVE THROUGH SLAB.
- 9. CL. 52 D.I. PEFL (2\"/>
- 10. EACH VALVE SHALL BE MARKED WITH MODEL NUMBER WITH DESIGNATION OF RESILIENT SEAT: SUCH AS 'RS' OR 'R', WHICH MUST BE CAST, MOLDED, OR AFFIXED ONTO THE BODY OR BONNET OF THE VALVE. ALL FERROUS BODIED VALVES SHALL BE COATED WITH A MINIMUM OF 40 MILS OF EXPOSURE TO SOLVENT RESISTANT POLYURETHANE COATING.
- 11. 90\"/>

- NOTES:**
1. PROVIDE ELECTRICAL HEAT TAPE FREEZE PROTECTION.
 2. WHEN THE REDUCED PRESSURE ASSEMBLY IS LOCATED INSIDE A BUILDING A SIZED DRAIN LINE SHALL BE PROVIDED FOR RELIEF PORT. THERE MUST BE AN APPROVED AIR GAP BETWEEN THE RELIEF PORT AND DRAIN.
 3. ALLOW 12\"/>
 - 4. REDUCED PRESSURE BACKFLOW ASSEMBLY WILL BE ALLOWED TO BE INSTALLED IN VAULTS ONLY IN CASES WHERE NO OTHER MEANS OF INSTALLATION IS AVAILABLE AND AS APPROVED BY A CITY OF BELLEVUE WATER QUALITY TECHNICIAN.
 - 5. TESTING IS REQUIRED BY A WASHINGTON STATE DEPARTMENT OF HEALTH CERTIFIED BACKFLOW ASSEMBLY TESTER UPON INSTALLATION AND ANNUALLY THEREAFTER. ASSEMBLY TO BE MAINTAINED BY OWNER.
 - 6. ALL CLEARANCES SHOWN ARE MINIMUM.
 - 7. ENCLOSURES SHALL NOT BE INSTALLED IN AREAS WITH VEHICULAR TRAFFIC.
 - 8. SEE AND GATE VALVES REQUIRED ON MAIN.
 - 9. IN CENTRAL BUSINESS DISTRICT, 3\"/>
 - 10. MINIMUM 2\"/>
 - 11. RPBA INSTALLATIONS THAT DIFFER FROM THE STANDARD DETAIL W-46A MUST BE APPROVED BY THE CROSS CONNECTION PROGRAM ADMINISTRATOR (425-452-5200) AND WILL BE REVIEWED ON A CASE-BY-CASE BASIS TO ENSURE THEY MEET CURRENT MINIMUM REQUIREMENTS FOR INSTALLATION AND FREEZE PROTECTION.

City of Bellevue WATER UTILITY

TITLE REDUCED PRESSURE BACKFLOW ASSEMBLY FOR DOMESTIC AND IRRIGATION SERVICE (OUTSIDE INSTALLATION) NO. W-46A

JANUARY 2014 NO SCALE



WATER CONSTRUCTION SUMMARY
INSTALL RPBA ON EXISTING DOMESTIC WATER SERVICE

UTILITY CONFLICT NOTE:
CAUTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS AND THEN SHALL INCLUDE CALLING UTILITY LOCATE @ 1-800-424-5555 POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT WITH INSIGHT ENGINEERING COMPANY TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

DATE: 08/06/2015
REVISION: 1
REV PER CITY REVIEW COMMENTS 10/20/14 09/06/2015 MWF

DESIGNED: JPO
CHECKED: KW
APPROVED: DKR

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WATER PLAN

CITY OF BELLEVUE

SHEET **W1** OF **1**

PERMIT #14-124283-LA

GRID NUMBER: H-6

MEMORANDUM

DATE: September 22, 2016

TO: Molly Johnson / Laurie Tyler
City of Bellevue

FROM: Jeff Schramm
TENW

SUBJECT: Krishna Temple and Primary School
Traffic and Parking Analysis FINAL
TENW Project No. 4836

This memorandum documents the final traffic and the parking analysis for the proposed Krishna Temple and Primary School. This version is intended to supersede the previous Memos and present updated traffic and parking analyses for the proposed Krishna Temple and Primary School. This document includes a project description, trip generation, evaluation of on-site circulation, parking demand calculations, review of City code parking requirements, and a summary.

Project Description

The Krishna Temple and Primary School site is located at 12501 Bel-Red Road in Bellevue. The existing site includes a 23,246 square foot office building which will remain.

The project proposal would convert most of the existing office use into remodeled space for the Temple and Primary School. The temple would utilize 10,946 square feet and the primary school 6,485 square feet. The school's estimated enrollment capacity is 100 students. An existing medical office use would continue to utilize 5,815 square feet of the current building. The total building area would remain at 23,246 sf.

Vehicular access to the site is provided via an existing driveway on Bel-Red Road located on the north end of the site. It is anticipated the existing access will remain a full access driveway. A preliminary site plan is provided in **Attachment A**.

Trip Generation

The weekday PM peak hour trip generation associated with the project was determined using established generation rates included in the City of Bellevue Transportation Impact Fee Program, 2013 Update. Daily trip generation was estimated based on the anticipated student enrollment, school start and end times, and anticipated temple attendance on a weekday. **Table 1** summarizes the daily and PM peak hour trip generation estimates for the Temple and School activities. The detailed trip generation calculations are included in **Attachment B**.

Table 1.
Krishna Temple and Primary School Trip Generation Summary

Time Period	Temple Trip Generation			School Trip Generation		
	In	Out	Total	In	Out	Total
Weekday Daily	39	39	78	180	180	360
Weekday PM Peak Hour	5	1	6	12	16	28

As shown in **Table 1**, the proposed Temple is estimated to generate about 78 weekday daily trips with 6 trips occurring during the weekday PM peak hour. The proposed school is estimated to generate about 360 daily trips with 28 generated during the weekday PM peak hour.

On-Site Circulation

The current site utilizes a main entrance that exits north to Bel-Red Road. This entrance is also shared with the adjacent property to the east. There is also a southern entrance that shares access to an adjacent property to the south, and allows access to NE 10th Place south of the site. This entrance allows access to NE 10th Place to the south of the site. There is a main drive aisle that connects the north and south access points of the site and separates the existing building to the building to the east.

The existing building has 74 standard parking stalls and 2 ADA stalls for a total of 76 stalls. Parking stalls on the north and the west sides of the building are angled to allow one-way, counterclockwise movement around the building. The main drive aisle to the east of the building supports two-way movement for parking stalls on the east and south sides of the building.

With the proposed development and site plan, the on-site parking would be modified to include a reduced total of 64 parking stalls (61 standard and 3 ADA). With the addition of the playground area, about 12 parking stalls would be lost.

Parent drop-off and pick-up for the School is anticipated to occur for about 75 percent of the students. The other 25 percent of the students (younger students) are anticipated to be dropped-off and picked-up by parents that park in the available stalls around the building, and walk into the building to drop-off and pick-up their student. An average vehicle occupancy (AVO) of 1.2 was assumed to account for parent drop-offs with multiple students, which results in 83 inbound and 83 outbound vehicle trips in the morning and afternoon/evening periods.

The pick-up/drop-off area for parents is anticipated to be located in the parking stalls adjacent to the south side of the building nearest the south entry doors and ADA stalls.

Parking Demand Analysis

To estimate parking demand for the proposed Temple and School, parking demand was calculated separately for the school (students/staff/visitors), church, and the existing medical office. Each land use has a different hourly variation throughout a normal weekday which has an effect on determining when the total peak parking demand for the building occurs. These hourly variations provide opportunities for shared parking use between the temple, school, and medical office. Furthermore, parking demand for parent pick-up and drop-offs were calculated separately, as the parking demand of student pick-up and drop-off occurs twice a day and is different than parking for school staff during the school day, and temple visitors in the evening.

The *ITE Parking Generation Manual, 4th Edition* was used to obtain a peak demand rate for the medical office and office based on the size of each use. Parking demand for the Temple was based on a single caretaker on site from 8:00 a.m. to 5:00 p.m. as well as evening activities (both large and small) which would only occur occasionally. The following assumptions were made to develop the peak demand estimate and hourly variation in parking demand throughout a typical weekday for each of the building uses:

School – Enrollment

1. The size of the school is based on total number of students (100 capacity).
2. School starts around 8:30 a.m., and ends around 3:30 p.m.
3. The peak demand rate is based on an activities-based approach that accounts for staff separately from parent pick-up and drop-offs.
4. The hourly variation is based on school hours and after-school activities.

School – Parent Drop-Offs/Pick-ups

1. The size is based on the number of students (100 capacity).
2. Average vehicle occupancy (AVO) is assumed to be 1.2 people per vehicle, which accounts for some vehicles with multiple students.
3. The peak demand rate is based on the assumption that 1 vehicle per student will be arriving/departing; assuming that one parent will pick up one student as a conservative estimate.
4. 75 percent of the students are expected will be dropped-off and picked-up by parents without parking. The remaining 25 percent are assumed to have parents park when dropping and picking up students, primarily for younger age students.
5. The hourly variation assumes that majority of drop-offs will occur near the school start time, and pick-ups will occur around 3:30 P.M. when school ends.

Temple

- The size of temple is based on 10,946 square feet.
- Peak demand based on single caretaker during the day from 8:00 a.m. to 5:00 p.m.
- Weekday evening activities at the temple are assumed to occur between 6:30 and 10:00 p.m. The largest anticipated typical weekday evening events will have up to 75 people with an average vehicle occupancy (AVO) of 2.0.

Medical Office

1. The size of the existing medical office to remain is 5,815 square feet.
2. The peak demand from ITE Parking Generation Manual is 3.20 vehicles per 1,000 sf
3. The hourly variation of office parking is based on hourly data in the ITE Parking Generation Manual.

The parking demand for all uses are calculated separately, and then combined to determine the cumulative parking demand for the building each hour throughout a typical weekday. This approach assumes shared parking and helps determine whether the existing parking is adequate for the proposed uses. **Table 2** summarizes the above assumptions for each land use type and combines each to determine the total peak parking demand by hour on a typical weekday. The table also shows the net parking spaces available after subtracting demand against the anticipated 64 on-site parking stalls. The detailed parking calculations are also provided in **Attachment C**.

Table 2.
Krishna Temple and Primary School – Weekday Parking Demand Estimate

Use	Primary School Staff & Visitors		Primary School Parent Pick/Drop		Temple Staff		Temple Event		Med. Office (LUC 720)	
	Staff+Volunt. ⁴	14	Students	100	SF	10,946	Visitors	75	SF	5,815
Size										
AVO	1.0		1.2		1.0		2.0		1.0	
Peak Demand Rate ¹	1.00		Park+drop	25%	n/a		n/a		ITE	3.20
Peak Demand	14		21		1		38		19	
Start Time	Hourly Variation ²	Hourly Parking Demand	Hourly Variation ²	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand
6:00 AM	25%	4	0%	0	0%	0	0%	0	0%	0
7:00 AM	75%	11	10%	2	0%	0	0%	0	18%	3
8:00 AM	85%	12	100%	21	100%	1	0%	0	64%	12
9:00 AM	85%	12	10%	2	100%	1	0%	0	85%	16
10:00 AM	100%	14	0%	0	100%	1	0%	0	100%	19
11:00 AM	100%	14	0%	0	100%	1	0%	0	100%	19
12:00 PM	85%	12	0%	0	100%	1	0%	0	88%	17
1:00 PM	85%	12	0%	0	100%	1	0%	0	81%	15
2:00 PM	85%	12	30%	6	100%	1	0%	0	90%	17
3:00 PM	85%	12	80%	17	100%	1	0%	0	93%	18
4:00 PM	70%	10	14%	3	100%	1	0%	0	86%	16
5:00 PM	45%	6	6%	2	100%	1	12%	5	52%	10
6:00 PM	20%	3	2%	0	0%	0	58%	22	63%	12
7:00 PM	0%	0	0%	0	0%	0	100%	38	0%	0
8:00 PM	0%	0	0%	0	0%	0	100%	38	0%	0
9:00 PM	0%	0	0%	0	0%	0	100%	38	0%	0
10:00 PM	0%	0	0%	0	0%	0	50%	19	0%	0
11:00 PM	0%	0	0%	0	0%	0	0%	0	0%	0
12:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0

Notes:

1. Rate for office and medical office from ITE's *Parking Generation manual*, 4th Edition, 2010.
Rate for Staff assume all drive alone. Parking rate for students assume 25% parents park and walk students in/out of school; 75% drop-off/pick-up.
2. Hourly variation estimated to include employees and visitors throughout day, and parent pick-up and drop-off before and after school.
3. The hourly variation in peak parking utilization based on studies for similar uses documented in ITE *Parking Generation manual*, 4th Edition, 2010.
4. Staff schedules assume 10 teacher and 2 administrators from 8:00am-4:00pm; 2 parent volunteers on-site between 10:30-11:30am each day.

Based on the parking demand calculated in **Table 2**, on a typical weekday the parking supply is anticipated to meet demand during the day, and assuming a typical event at the Temple on a weeknight.

In anticipation of accommodating a larger weeknight event and parking demand during the weekend, a shared parking agreement with Bel Red Properties, LLC has been acquired to accommodate additional demand during those time periods. The agreement grants 30 leased parking spaces in addition to the parking supply on site. It is anticipated that these additional spaces will adequately meet the parking demand during larger weeknight and weekend activities. Details of the agreement can be found in **Appendix D**.

City Parking Code

The City of Bellevue’s City Code 20.20.590 specifies minimum and maximum parking requirements for specified land uses. For office land use, the minimum requirement is 4 stalls per 1,000 net square feet. City Code does not include a minimum parking requirement for school and temple uses. However, this report documents the estimated demand for these uses, which is intended to satisfy parking requirement of the unspecified land uses in the City Code.

Parking Demand Analysis – Weekend

To estimate parking demand for the proposed building uses on a typical weekend day (Saturday or Sunday), parking demand was calculated separately for the temple and medical office. This analysis assumes no Krishna school activities on weekends, and that temple use is similar on Saturdays and Sundays. The parking analysis assumes shared parking on the 64 on-site parking stalls for both the temple and medical office.

Information for weekend activities was provided for the temple, and the current tenant of the medical office for a typical Saturday. It is expected weekend activities (both large and small) would only occur occasionally at the temple, while a morning class is held at the medical office. The following assumptions were made to develop the peak demand estimate and hourly variation in parking demand on a typical weekend day:

Temple

- Sat. and Sun. activities are assumed to occur between 5:00 a.m. and 10:00 p.m.
- 3 services times are anticipated on Saturdays and Sundays from 5:00–8:00 a.m., Noon–3:00 p.m., and 6:00–10:00 p.m.
- At any one time there are anticipated to be between 100 and 150 people at the Temple on a typical weekend day with a peak of 150 people during any one of the 3 service times.
- An average vehicle occupancy (AVO) of 2.5 is assumed for Temple activities.

Medical Office

- The size of the existing medical office to remain is 5,815 square feet.
- The parking demand and hourly variation of medical office parking is based on a morning class with up to 6 people from 7:00 a.m. to 12:00 p.m.
- Average vehicle occupancy (AVO) is assumed to be 1.0.

The parking demand for the Temple and Medical Office uses are calculated separately, and then combined to determine the cumulative parking demand for the building each hour throughout the day on a typical weekend day. This approach assumes shared parking and helps determine whether the existing parking is adequate for the proposed uses. **Table 3** summarizes the above assumptions for each land use type and combines each to determine the total peak parking demand by hour on a typical weekend day. The table also shows the net parking spaces available after subtracting demand against the anticipated 64 on-site parking stalls.

Table 3.
Krishna Temple & MOB – Weekend Parking Demand Estimate

Use	<u>Temple Event</u>		<u>Med. Office (LUC 720)</u>		Parking Summary	
	Visitors	150	SF	5,815		
Size			class ³	6.00		
Peak Demand Rate ¹		0.40				
Peak Demand		60		6		
Start Time	Hourly Variation ²	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand	Total Parking Demand	Deficiency or Excess
5:00 AM	25%	15	0%	0	15	49
6:00 AM	50%	30	0%	0	30	34
7:00 AM	75%	45	50%	3	48	16
8:00 AM	50%	30	100%	6	36	28
9:00 AM	25%	15	100%	6	21	43
10:00 AM	25%	15	100%	6	21	43
11:00 AM	50%	30	100%	6	36	28
12:00 PM	75%	45	100%	6	51	13
1:00 PM	100%	60	50%	3	63	1
2:00 PM	100%	60	0%	0	60	4
3:00 PM	75%	45	0%	0	45	19
4:00 PM	25%	15	0%	0	15	49
5:00 PM	50%	30	0%	0	30	34
6:00 PM	75%	45	0%	0	45	19
7:00 PM	100%	60	0%	0	60	4
8:00 PM	100%	60	0%	0	60	4
9:00 PM	75%	45	0%	0	45	19
10:00 PM	50%	30	0%	0	30	34
11:00 PM	0%	0	0%	0	0	64
12:00 AM	0%	0	0%	0	0	64

Notes:
 1. Temple Event Average Vehicle Occupancy = 2.5
 2. The hourly variation in peak parking utilization based on activity information for a typical Saturday.
 3. The hourly variation in peak parking utilization based a Saturday morning class from 7 a.m. to 12 p.m.

Based on the parking demand calculated in **Table 3** above for a typical weekend day (Saturday or Sunday), the parking supply is anticipated to meet demand throughout the day.

A shared parking agreement with adjacent Bel Red Properties, LLC has also been established to accommodate additional demand during those time periods. The agreement grants 30 leased parking spaces in addition to the parking supply on site. It is anticipated that these additional spaces will adequately meet the parking demand during weekend activities.

Summary and Conclusions

The proposed Temple is estimated to result in an addition of 78 weekday daily trips with 6 trips generated during the weekday PM peak hour. The proposed School is estimated to generate approximately 360 daily trips with 28 generated during the weekday PM peak hour.

Based on the on-site circulation analysis and parking demand and supply calculations, the site layout and parking would be adequate for the proposed school, office, and small temple event with up to 75 people.

If parking demand for an occasional large event at the temple on a weekday evening or weekend exceeds the 64-stall supply, excess demand will be shared by the adjacent parking lots through a shared parking agreement. The existing parking with these proposed mitigations is expected to satisfy Bellevue Parking Code requirements.

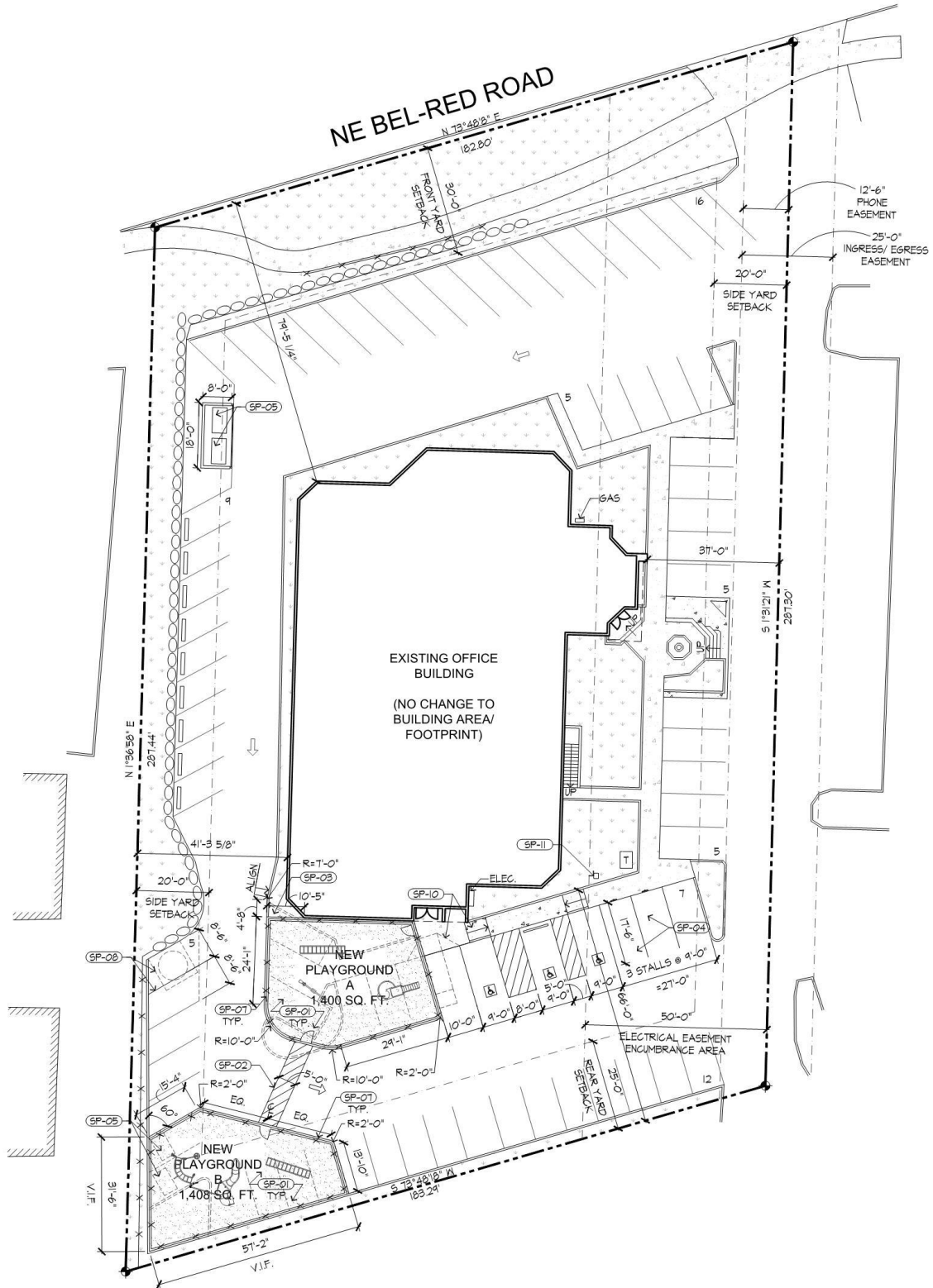
If you have any questions regarding the information presented in this analysis, please call me at 425-250-0581 or email at schramm@tenw.com.

copy: Jamie Trendera – Freiheit & Ho Architects

- Attachments:
- A. Site Plan
 - B. Trip Generation Calculations
 - C. Parking Calculations
 - D. Shared Parking Agreement

ATTACHMENT A

Site Plan



ATTACHMENT B

Trip Generation Calculations

Krishna Temple and School Trip Generation Estimate

Land Use	Size	Units ¹	ITE LUC ²	Trip Rate ^{3,4}	Vehicle Trip Generation		
					Enter	Exit	Total
DAILY							
Church	10,946	GFA	560	n/a	39	39	78
School	100	students	520,522	n/a	180	180	360
PM PEAK HOUR							
Church	10,946	GFA	560	0.55	5	1	6
School	100	students	520,522	n/a	12	16	28

¹ GFA = Gross Floor Area

² Land Use Code from ITE 9th Edition *Trip Generation* Manual, updated 2012.

³ Daily trips for a Church and School based on user trip generation estimate provided on page 2.

⁴ PM peak hour trips for Church are based on trip rates from City of Bellevue Impact Fee Program Rates. Daily trips are activity based. Daily and PM peak hour trips for School are based on activities-based trip generation with after-school activities. See Table 2.

Krishna Temple & Primary School

Hourly Trip Generation Estimate (page 2)

Start Time	Temple		School	
	includes 1 caretaker staff, and 75-person evening event		includes Staff, Parent Volunteers, Parent pick-up and drop-off	
	In	Out	In	Out
6:00 AM	0	0	4	0
7:00 AM	1	0	12	0
8:00 AM	0	0	77	76
9:00 AM	0	0	2	7
10:00 AM	0	0	2	0
11:00 AM	0	0	0	2
12:00 PM	0	0	0	0
1:00 PM	0	0	0	0
2:00 PM	0	0	6	0
3:00 PM	0	0	60	68
4:00 PM	0	0	12	16
5:00 PM	5	1	5	7
6:00 PM	17	0	0	4
7:00 PM	16	0	0	0
8:00 PM	0	0	0	0
9:00 PM	0	38	0	0
Total	39	39	180	180

Notes:
 Temple event starts at 7:00pm, with most arrivals starting after 6:30pm and continuing to 8:00pm.
 School ends at 3:30pm with 80% students departing. Remaining 20% in after-school program.
 After-school Enrichment Program 3:30-4:30pm, estimated 14 students picked-up 4:30-4:45pm.
 Remaining 6 students picked-up between 5:00-6:00pm. All after-school activities end by 6:00pm.

School					
Staff		Parent Volunteers		Parents Drop/Pickup	
(12 total)		(2 total)		(100 total, 1.2 AVO)	
In	Out	In	Out	In	Out
4	0	0	0	0	0
7	0	0	0	5	0
1	0	0	0	76	76
0	0	0	0	2	7
0	0	2	0	0	0
0	0	0	2	0	0
0	0	0	0	0	0
0	0	0	0	0	0
0	0	0	0	6	0
0	2	0	0	60	66
0	4	0	0	12	12
0	3	0	0	5	4
0	3	0	0	0	1
0	0	0	0	0	0
0	0	0	0	0	0
0	0	0	0	0	0
12	12	2	2	166	166

ATTACHMENT C

Parking Calculations

Weekday Parking Demand Estimate

Supply = 64 stalls

Use	Primary School Staff & Visitors		Primary School Parent Pick/Drop		Temple Staff		Temple Event		Med. Office (LUC 720)		Parking Summary	
	Staff+Volunt. ⁴	14	Students	100	SF	10,946	Visitors	75	SF	5,815		
Size												
AVO	1.0		1.2		1.0		2.0		1.0			
Peak Demand Rate ¹	1.00		25%		n/a		n/a		ITE	3.20		
Peak Demand	14		21		1		38		19			
Start Time	Hourly Variation ²	Hourly Parking Demand	Hourly Variation ²	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand	Total Parking Demand	Deficiency or Excess
6:00 AM	25%	4	0%	0	0%	0	0%	0	0%	0	4	60
7:00 AM	75%	11	10%	2	0%	0	0%	0	18%	3	16	48
8:00 AM	85%	12	100%	21	100%	1	0%	0	64%	12	46	18
9:00 AM	85%	12	10%	2	100%	1	0%	0	85%	16	31	33
10:00 AM	100%	14	0%	0	100%	1	0%	0	100%	19	34	30
11:00 AM	100%	14	0%	0	100%	1	0%	0	100%	19	34	30
12:00 PM	85%	12	0%	0	100%	1	0%	0	88%	17	30	34
1:00 PM	85%	12	0%	0	100%	1	0%	0	81%	15	28	36
2:00 PM	85%	12	30%	6	100%	1	0%	0	90%	17	36	28
3:00 PM	85%	12	80%	17	100%	1	0%	0	93%	18	48	16
4:00 PM	70%	10	14%	3	100%	1	0%	0	86%	16	30	34
5:00 PM	45%	6	6%	2	100%	1	12%	5	52%	10	24	40
6:00 PM	20%	3	2%	0	0%	0	58%	22	63%	12	37	27
7:00 PM	0%	0	0%	0	0%	0	100%	38	0%	0	38	26
8:00 PM	0%	0	0%	0	0%	0	100%	38	0%	0	38	26
9:00 PM	0%	0	0%	0	0%	0	100%	38	0%	0	38	26
10:00 PM	0%	0	0%	0	0%	0	50%	19	0%	0	19	45
11:00 PM	0%	0	0%	0	0%	0	0%	0	0%	0	0	64
12:00 AM	0%	0	0%	0	0%	0	0%	0	0%	0	0	64

Notes:

- Rate for office and medical office from ITE's *Parking Generation manual*, 4th Edition, 2010.
Rate for Staff assume all drive alone. Parking rate for students assume 25% parents park and walk students in/out of school; 75% drop-off/pick-up.
- Hourly variation estimated to include employees and visitors throughout day, and parent pick-up and drop-off before and after school.
- The hourly variation in peak parking utilization based on studies for similar uses documented in ITE *Parking Generation manual*, 4th Edition, 2010.
- Staff schedules assume 10 teacher and 2 administrators from 8:00am-4:00pm; 2 parent volunteers on-site between 10:30-11:30am each day.

Saturday Parking Demand Estimate

Supply = 64 stalls

Use	<u>Temple Event</u>		<u>Med. Office (LUC 720)</u>		Parking Summary	
	Visitors	150	SF	5,815		
Size						
Peak Demand Rate ¹		0.40	class ³	6.00		
Peak Demand		60		6		
	Hourly Variation ²	Hourly Parking Demand	Hourly Variation ³	Hourly Parking Demand	Total Parking Demand	Deficiency or Excess
Start Time						
5:00 AM	25%	15	0%	0	15	49
6:00 AM	50%	30	0%	0	30	34
7:00 AM	75%	45	50%	3	48	16
8:00 AM	50%	30	100%	6	36	28
9:00 AM	25%	15	100%	6	21	43
10:00 AM	25%	15	100%	6	21	43
11:00 AM	50%	30	100%	6	36	28
12:00 PM	75%	45	100%	6	51	13
1:00 PM	100%	60	50%	3	63	1
2:00 PM	100%	60	0%	0	60	4
3:00 PM	75%	45	0%	0	45	19
4:00 PM	25%	15	0%	0	15	49
5:00 PM	50%	30	0%	0	30	34
6:00 PM	75%	45	0%	0	45	19
7:00 PM	100%	60	0%	0	60	4
8:00 PM	100%	60	0%	0	60	4
9:00 PM	75%	45	0%	0	45	19
10:00 PM	50%	30	0%	0	30	34
11:00 PM	0%	0	0%	0	0	64
12:00 AM	0%	0	0%	0	0	64

Notes:

1. Temple Event Average Vehicle Occupancy = 2.5
2. The hourly variation in peak parking utilization based on activity information for a typical Saturday.
3. The hourly variation in peak parking utilization based a Saturday morning class from 7 a.m. to 12 p.m.

ATTACHMENT D

Shared Parking Agreement

PARKING AGREEMENT

This Parking Agreement ("Agreement") is hereby executed on this ____ day of July, 2015, by and between 12505 **BEL RED PROPERTIES, LLC**, a Washington limited liability company, as Grantor, and **INTERNATIONAL SOCIETY FOR KRISHNA CONSCIOUSNESS OF WASHINGTON**, a Washington nonprofit corporation, as Grantee. Grantor and Grantee may be referred to individually as "party" and collectively as "parties."

WHEREAS, Grantor owns an office building located at 12505 Bel Red Road, Bellevue, WA 98005 and legally described on **Exhibit A** attached hereto ("Grantor's Property");

WHEREAS, Grantee owns an office building located at 12501 Bell-Red Road, Bellevue WA 98005 ("Grantee Property");

WHEREAS, Grantee is interested in leasing parking spaces located on Grantor's Property during weekends and non-business hours and Grantor is willing to lease said parking places;

NOW, THEREFORE, in consideration of the terms and conditions set forth below, the parties agree as follows:

1. Lease Provisions: Grantor hereby leases on a nonexclusive basis thirty (30) parking spaces ("Leased Parking Spaces") located on the parking area of Grantor's Property. The Grantor shall have the right to designate the Leased Parking Spaces by sending said designation to Grantee and Grantee will use only the Leased Parking Spaces identified by Grantor. The Leased Parking Spaces shall be for the non-exclusive use of Grantee and its respective employees, customers, guests, patrons and invitees subject to the following limitations:

1.1 The Leased Parking Spaces shall be used for surface parking only of automobiles by Grantee's employees, tenants, customers, guests, patrons and invitees, together with the right of ingress and egress thereto, and for no other purpose whatsoever.

1.2 The foregoing lease rights may be exercised only on **weekdays from 7:00 p.m. to 10:00 p.m.** and from **6:00 am to 10:00 pm on weekends**. Grantor reserves all rights to use the Grantor's Property for any use or purpose- including, without limitation, the right to grant additional parking rights to other parties - not inconsistent with the rights granted to Grantee hereunder.

1.3 Grantee shall have no obligation to repair, maintain, clean, alter, improve, or restore any portion of Grantor's Property or any improvements thereon. However, Grantee shall keep the Leased Parking Spaces free of any waste or trash caused by Grantee's use of the Leased Parking Spaces.

2. Term: The term of this Agreement shall commence upon issuance by the City of Bellevue of the occupancy permit to operate a temple and a school at the Grantee's Property. Grantee anticipates that this will be 3rd quarter of 2016. The Lease shall remain in effect indefinitely unless terminated in accordance with this Agreement. After the commencement date, either party shall have the right to terminate this Agreement upon thirty (30) days written notice to the other party. Grantee shall notify the City of Bellevue Development Services Department within ten (10) business days of receiving or issuing written notification to cancel this Agreement.

3. Lease Payments by Grantee: Grantee agrees to pay Grantor the sum of Seven Hundred and Fifty (\$750.00) per month ("Lease Payment") for the lease of the aforementioned Leased

Parking Spaces. Grantee agrees to make the Lease Payment to Grantor or Grantor's Agent in person (or by mail) at the Grantor's address set forth below. The Lease Payment shall be made by Grantee on the first day of each month. If the first month is a partial month, then the first Lease payment shall be made on the commencement date and shall be prorated for the partial month.

4. Items Left in Vehicle: Grantor shall not be responsible for damage or loss to possessions or items left in Grantees vehicle.

5. Damage to Vehicle: Grantor shall not be responsible for damage to Grantees vehicle, whether or not such damage is caused by other vehicle(s) or person(s) in the parking lot and surrounding area.

6. Parking Lot Attendants: Grantor shall not provide parking lot attendants. In the event that Grantor provides such attendants, any use of such attendant by Grantee to park or drive Grantees vehicle shall be at Grantee's request, direction and sole risk of any resulting loss and Grantee shall indemnify Grantor for any loss resulting from such use.

7. Indemnity and Insurance.

7.1 Indemnity. Grantee agrees that it shall use the Leased Parking Spaces at its sole risk, and agrees to indemnify, defend, and hold the Grantor harmless from and against any and all claims for physical injury to any person or property related directly or indirectly to: (a) Grantee's use of the Leased Parking Spaces; (b) any default by Grantee in the observance or performance of any of the terms, covenants, or conditions of this Agreement, (c) or any acts, omissions, or negligence of a Grantee, or Grantee's contractors, tenants, agents, servants, employees, visitors or Grantees. Grantee's indemnity and defense liability shall be limited to the degree of fault attributable to Grantee.

7.2 Insurance. Grantee agrees to add the Leased Parking Spaces as additional property to be covered under Grantee's commercial general liability insurance policy that it has on Grantee's Property. Grantor shall be endorsed as an additional insured.

8. Sale of Property: If the Grantor sells or transfers the Grantor's Property, then the purchaser or transferee of the Grantor's Property shall be subject to the terms of this Agreement.

9. Miscellaneous

9.1 Assignment. Grantee may not assign or transfer in any way, by operation of law, changes in control, or otherwise, this Agreement or any of the rights hereunder without Grantor's prior written consent, which Grantor may withhold in its sole discretion.

9.2 Default and Termination. Any failure of Grantee to comply with the terms of this Agreement shall constitute a default and, in addition to all other rights and liabilities, shall entitle Grantor to terminate this Agreement, consistent with paragraph 2 (Term), if not cured within ten (10) days' written notice by Grantor.

9.3 Notices. Any notices required or permitted by this Agreement shall be delivered by e-mail or fax with acknowledgment of receipt, by first class mail, postage prepaid, or by established express delivery service (e.g., Federal Express) that regularly provides next business day delivery charge prepaid, addressed to the appropriate party at the address set forth below, or at such other address as any party may in writing from time to time

specify. Any such notice shall be deemed effective upon date of delivery or, if mailed, upon the third business day following deposit in the U.S. Mail. The addresses of the parties are as follows:

Grantor:

12505 Bel Red Road, Suite
Bellevue, WA 98005

Grantee:

1420 228th Ave. SE
Sammamish, WA 98075

City of Bellevue:

450 110th Ave. NE
P.O. Box 90012
Bellevue, WA 98009

9.4 Counterparts. This Agreement may be executed in counterparts, each of which, when combined, shall constitute one single binding agreement.

9.5 Attorneys Fees; Law. If either party shall bring any action for any relief against the other, declaratory or otherwise, arising out of this Agreement, each party shall, and hereby does, to the extent permitted by law, agrees that the losing party shall pay the prevailing party a reasonable sum for attorney's fees in such suit, at trial and on appeal, and such attorney's fees shall be deemed to have accrued on the commencement of such action. This Agreement shall be governed and construed in accordance with the laws of the State of Washington. Venue in any action to enforce this Agreement shall be in King County, Washington.

9.6 Subordination and Attornment. This Agreement and all rights of Grantee therein, and all interest or estate of Grantee in the Grantor's Property and the Lease Parking Spaces shall be subject and subordinate to the lien of any mortgage, deed of trust, or other document of like nature ("Mortgage"), which at any time may be placed upon the Grantor's Property, or any portion thereof, by Grantor, and to any replacements, renewals, amendments, modifications, extensions or refinancing thereof, and to each and every advance made under any Mortgage. Grantee agrees at any time hereafter, and from time to time on demand of Grantor, to execute and deliver to Grantor any instruments, releases or other documents that may be reasonably required for the purpose of subjecting and subordinating this Agreement to the lien of any such Mortgage.

EXECUTED AND AGREED on the date first above written.

Grantor:
BEL RED PROPERTIES, LLC

Craig Chuckz

Its: Member

Grantee:
International Society For Krishna
Consciousness of Washington

Its: _____

STATE OF WASHINGTON)

:SS.

COUNTY OF KING)

I certify that I know or have satisfactory evidence that Craig Chuckz is the person who appeared before me, signed this instrument, on oath stated that he is authorized to execute said instrument as the Manager of **BEL RED PROPERTIES, LLC**, a Washington limited liability company and acknowledged said instrument as the Manager of said company to be the free and voluntary act of said company, for the uses and purposes mentioned in said instrument.

DATED July 20, 2015.



Carol R. Newman

Notary Public in and for the
State of Washington, residing
at Lake Stevens, WA
My Appointment Expires 6/15/19
Print Name: Carol R. Newman

STATE OF WASHINGTON)

:SS.

COUNTY OF KING)

I certify that I know or have satisfactory evidence that Harry Terhanian is the person who appeared before me, signed this instrument, on oath stated that he is authorized to execute said instrument as the President of **INTERNATIONAL SOCIETY FOR KRISHNA CONSCIOUSNESS OF WASHINGTON**, a Washington nonprofit and acknowledged said instrument as the President of said company to be the free and voluntary act of said company, for the uses and purposes mentioned in said instrument.

DATED _____, 2015.

Notary Public in and for the
State of Washington, residing
at _____
My Appointment Expires _____
Print Name: _____

Exhibit A
Legal Description to Grantor's Property

PARCEL A: LOT 1, CITY OF BELLEVUE SHORT PLAT NUMBER 77-51, RECORDED AUGUST 13, 1977 UNDER RECORDING NO. 7708130879, IN KING COUNTY, WASHINGTON.

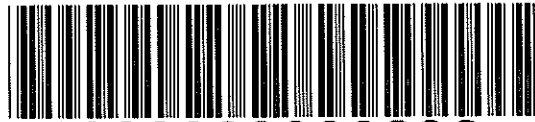
PARCEL B: AN EASEMENT FOR INGRESS AND EGRESS OVER A STRIP OF LAND 25 FEET IN WIDTH, LYING 12.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4;
THENCE SOUTH $0^{\circ}20'48''$ WEST ALONG THE EAST LINE OF SAID LOT 4, A DISTANCE OF 287.29 FEET;
THENCE PARALLEL WITH THE NORTH LINE OF LOT 4, SOUTH $71^{\circ}56'10''$ WEST 182.75 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE ;
THENCE NORTH $0^{\circ}20'48''$ EAST , 287.29 FEET TO THE NORTH LINE OF LOT 4 AND THE TERMINUS OF SAID CENTERLINE;
EXCEPT THAT PORTION LYING WITHIN THE HEREINABOVE DESCRIBED MAIN TRACT.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

Return Address:

Harry Terhanian
c/o ISKCON
1420 228th Ave SE
Sammamish, WA 98075



20160303000892

TERHANIAN, HARR AG
PAGE-001 OF 007
03/03/2016 13:18
KING COUNTY, WA

79.00

Please print or type information WASHINGTON STATE RECORDER'S Cover Sheet (RCW 65.04)

Document Title(s) (or transactions contained therein): (all areas applicable to your document must be filled in)

1. Parking Agreement 2. _____
 3. _____ 4. _____

Reference Number(s) of Documents assigned or released:
 Additional reference #'s on page _____ of document

Grantor(s) Exactly as name(s) appear on document

1. Bel Red Properties, LLC, _____
 2. _____
 Additional names on page _____ of document.

Grantee(s) Exactly as name(s) appear on document

1. International Society for Krishna Consciousness of Washington
 2. _____
 Additional names on page _____ of document.

Legal description (abbreviated: i.e. lot, block, plat or section, township, range)

Parcel A - Lot 1, City of Bellevue Short Plat Number 77-51, Recorded August 13, 1977 # 7708130879 in King County, WA
 Additional legal is on page _____ of document.

Assessor's Property Tax Parcel/Account Number Assessor Tax # not yet assigned

385490-0021 / 385490-0022

The Auditor/Recorder will rely on the information provided on this form. The staff will not read the document to verify the accuracy or completeness of the indexing information provided herein.

"I am signing below and paying an additional \$50 recording fee (as provided in RCW 36.18.010 and referred to as an emergency nonstandard document), because this document does not meet margin and formatting requirements. Furthermore, I hereby understand that the recording process may cover up or otherwise obscure some part of the text of the original document as a result of this request."

 Signature of Requesting Party

Note to submitter: Do not sign above nor pay additional \$50 fee if the document meets margin/formatting requirements

PARKING AGREEMENT

This Parking Agreement ("Agreement") is hereby executed on this 21 day of July, 2015, by and between 12505 **BEL RED PROPERTIES, LLC**, a Washington limited liability company, as Grantor, and **INTERNATIONAL SOCIETY FOR KRISHNA CONSCIOUSNESS OF WASHINGTON**, a Washington nonprofit corporation, as Grantee. Grantor and Grantee may be referred to individually as "party" and collectively as "parties."

WHEREAS, Grantor owns an office building located at 12505 Bel Red Road, Bellevue, WA 98005 and legally described on **Exhibit A** attached hereto ("Grantor's Property");

WHEREAS, Grantee owns an office building located at 12501 Bell-Red Road, Bellevue WA 98005 ("Grantee Property");

WHEREAS, Grantee is interested in leasing parking spaces located on Grantor's Property during weekends and non-business hours and Grantor is willing to lease said parking places;

NOW, THEREFORE, in consideration of the terms and conditions set forth below, the parties agree as follows:

1. Lease Provisions: Grantor hereby leases on a nonexclusive basis thirty (30) parking spaces ("Leased Parking Spaces") located on the parking area of Grantor's Property. The Grantor shall have the right to designate the Leased Parking Spaces by sending said designation to Grantee and Grantee will use only the Leased Parking Spaces identified by Grantor. The Leased Parking Spaces shall be for the non-exclusive use of Grantee and its respective employees, customers, guests, patrons and invitees subject to the following limitations:

1.1 The Leased Parking Spaces shall be used for surface parking only of automobiles by Grantee's employees, tenants, customers, guests, patrons and invitees, together with the right of ingress and egress thereto, and for no other purpose whatsoever.

1.2 The foregoing lease rights may be exercised only on **weekdays from 7:00 p.m. to 10:00 p.m.** and from **6:00 am to 10:00 pm on weekends**. Grantor reserves all rights to use the Grantor's Property for any use or purpose- including, without limitation, the right to grant additional parking rights to other parties - not inconsistent with the rights granted to Grantee hereunder.

1.3 Grantee shall have no obligation to repair, maintain, clean, alter, improve, or restore any portion of Grantor's Property or any improvements thereon. However, Grantee shall keep the Leased Parking Spaces free of any waste or trash caused by Grantee's use of the Leased Parking Spaces.

2. Term: The term of this Agreement shall commence upon issuance by the City of Bellevue of the occupancy permit to operate a temple and a school at the Grantee's Property. Grantee anticipates that this will be 3rd quarter of 2016. The Lease shall remain in effect indefinitely unless terminated in accordance with this Agreement. After the commencement date, either party shall have the right to terminate this Agreement upon thirty (30) days written notice to the other party. Grantee shall notify the City of Bellevue Development Services Department within ten (10) business days of receiving or issuing written notification to cancel this Agreement.

3. Lease Payments by Grantee: Grantee agrees to pay Grantor the sum of Seven Hundred and Fifty (\$750.00) per month ("Lease Payment") for the lease of the aforementioned Leased

Parking Spaces. Grantee agrees to make the Lease Payment to Grantor or Grantor's Agent in person (or by mail) at the Grantor's address set forth below. The Lease Payment shall be made by Grantee on the first day of each month. If the first month is a partial month, then the first Lease payment shall be made on the commencement date and shall be prorated for the partial month.

4. Items Left in Vehicle: Grantor shall not be responsible for damage or loss to possessions or items left in Grantee's vehicle.

5. Damage to Vehicle: Grantor shall not be responsible for damage to Grantee's vehicle, whether or not such damage is caused by other vehicle(s) or person(s) in the parking lot and surrounding area.

6. Parking Lot Attendants: Grantor shall not provide parking lot attendants. In the event that Grantor provides such attendants, any use of such attendant by Grantee to park or drive Grantee's vehicle shall be at Grantee's request, direction and sole risk of any resulting loss and Grantee shall indemnify Grantor for any loss resulting from such use.

7. Indemnity and Insurance.

7.1 Indemnity. Grantee agrees that it shall use the Leased Parking Spaces at its sole risk, and agrees to indemnify, defend, and hold the Grantor harmless from and against any and all claims for physical injury to any person or property related directly or indirectly to: (a) Grantee's use of the Leased Parking Spaces; (b) any default by Grantee in the observance or performance of any of the terms, covenants, or conditions of this Agreement, (c) or any acts, omissions, or negligence of a Grantee, or Grantee's contractors, tenants, agents, servants, employees, visitors or Grantees. Grantee's indemnity and defense liability shall be limited to the degree of fault attributable to Grantee.

7.2 Insurance. Grantee agrees to add the Leased Parking Spaces as additional property to be covered under Grantee's commercial general liability insurance policy that it has on Grantee's Property. Grantor shall be endorsed as an additional insured.

8. Sale of Property: If the Grantor sells or transfers the Grantor's Property, then the purchaser or transferee of the Grantor's Property shall be subject to the terms of this Agreement.

9. Miscellaneous

9.1 Assignment. Grantee may not assign or transfer in any way, by operation of law, changes in control, or otherwise, this Agreement or any of the rights hereunder without Grantor's prior written consent, which Grantor may withhold in its sole discretion.

9.2 Default and Termination. Any failure of Grantee to comply with the terms of this Agreement shall constitute a default and, in addition to all other rights and liabilities, shall entitle Grantor to terminate this Agreement, consistent with paragraph 2 (Term), if not cured within ten (10) days' written notice by Grantor.

9.3 Notices. Any notices required or permitted by this Agreement shall be delivered by e-mail or fax with acknowledgment of receipt, by first class mail, postage prepaid, or by established express delivery service (e.g., Federal Express) that regularly provides next business day delivery charge prepaid, addressed to the appropriate party at the address set forth below, or at such other address as any party may in writing from time to time

specify. Any such notice shall be deemed effective upon date of delivery or, if mailed, upon the third business day following deposit in the U.S. Mail. The addresses of the parties are as follows:

Grantor:
12505 Bel Red Road, Suite
Bellevue, WA 98005

Grantee:
1420 228th Ave. SE
Sammamish, WA 98075

City of Bellevue:
450 110th Ave. NE
P.O. Box 90012
Bellevue, WA 98009

9.4 Counterparts. This Agreement may be executed in counterparts, each of which, when combined, shall constitute one single binding agreement.

9.5 Attorneys Fees; Law. If either party shall bring any action for any relief against the other, declaratory or otherwise, arising out of this Agreement, each party shall, and hereby does, to the extent permitted by law, agrees that the losing party shall pay the prevailing party a reasonable sum for attorney's fees in such suit, at trial and on appeal, and such attorney's fees shall be deemed to have accrued on the commencement of such action. This Agreement shall be governed and construed in accordance with the laws of the State of Washington. Venue in any action to enforce this Agreement shall be in King County, Washington.

9.6 Subordination and Attornment. This Agreement and all rights of Grantee therein, and all interest or estate of Grantee in the Grantor's Property and the Lease Parking Spaces shall be subject and subordinate to the lien of any mortgage, deed of trust, or other document of like nature ("Mortgage"), which at any time may be placed upon the Grantor's Property, or any portion thereof, by Grantor, and to any replacements, renewals, amendments, modifications, extensions or refinancing thereof, and to each and every advance made under any Mortgage. Grantee agrees at any time hereafter, and from time to time on demand of Grantor, to execute and deliver to Grantor any instruments, releases or other documents that may be reasonably required for the purpose of subjecting and subordinating this Agreement to the lien of any such Mortgage.

[Faint handwritten signatures and text, likely representing the Grantor and Grantee.]



EXECUTED AND AGREED on the date first above written.

Grantor:
BEL RED PROPERTIES, LLC

Craig Chuckz
Its: Member

Grantee:
International Society For Krishna
Consciousness of Washington

Harry Terhanian
Its: President

STATE OF WASHINGTON)

:SS.

COUNTY OF KING)

I certify that I know or have satisfactory evidence that Craig Chuckz is the person who appeared before me, signed this instrument, on oath stated that he is authorized to execute said instrument as the Manager of **BEL RED PROPERTIES, LLC**, a Washington limited liability company and acknowledged said instrument as the Manager of said company to be the free and voluntary act of said company, for the uses and purposes mentioned in said instrument.

DATED July 20, 2015.



Carol R. Newman

Notary Public in and for the
State of Washington, residing
at Lake Stevens, WA
My Appointment Expires 6/15/19
Print Name: Carol R. Newman

STATE OF WASHINGTON)

:SS.

COUNTY OF KING)

I certify that I know or have satisfactory evidence that Harry Terhanian is the person who appeared before me, signed this instrument, on oath stated that he is authorized to execute said instrument as the President of **INTERNATIONAL SOCIETY FOR KRISHNA CONSCIOUSNESS OF WASHINGTON**, a Washington nonprofit and acknowledged said instrument as the President of said company to be the free and voluntary act of said company, for the uses and purposes mentioned in said instrument.

DATED July 21, 2015.



Patrick J. McGowan

Notary Public in and for the
State of Washington, residing
at Redmond
My Appointment Expires 7-15-2018
Print Name: Patrick J. McGowan

EXECUTED AND AGREED on the date first above written.

Grantor:
BEL RED PROPERTIES, LLC

Its: _____

Grantee:
International Society For Krishna
Consciousness of Washington

AP
Its: Treasurer

STATE OF WASHINGTON)
) :ss.
COUNTY OF KING)

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, signed this instrument, on oath stated that he is authorized to execute said instrument as the Manager of **BEL RED PROPERTIES, LLC**, a Washington limited liability company and acknowledged said instrument as the Manager of said company to be the free and voluntary act of said company, for the uses and purposes mentioned in said instrument.

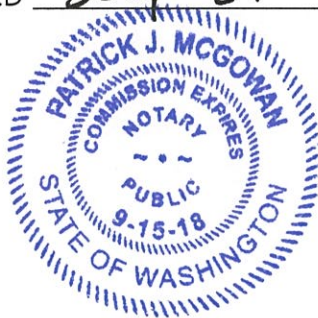
DATED _____, 2015.

Notary Public in and for the
State of Washington, residing
at _____
My Appointment Expires _____
Print Name: _____

STATE OF WASHINGTON)
) :ss.
COUNTY OF KING)

I certify that I know or have satisfactory evidence that Anurag Pareek is the person who appeared before me, signed this instrument, on oath stated that he is authorized to execute said instrument as the Treasurer of **INTERNATIONAL SOCIETY FOR KRISHNA CONSCIOUSNESS OF WASHINGTON**, a Washington nonprofit and acknowledged said instrument as the President of said company to be the free and voluntary act of said company, for the uses and purposes mentioned in said instrument.

DATED July 21, 2015.



[Signature]
Notary Public in and for the
State of Washington, residing
at Redmond, WA
My Appointment Expires 9-15-2018
Print Name: Patrick J. McGowan

Exhibit A
Legal Description to Grantor's Property

PARCEL A: LOT 1, CITY OF BELLEVUE SHORT PLAT NUMBER 77-51, RECORDED AUGUST 13, 1977 UNDER RECORDING NO. 7708130879, IN KING COUNTY, WASHINGTON.

PARCEL B: AN EASEMENT FOR INGRESS AND EGRESS OVER A STRIP OF LAND 25 FEET IN WIDTH, LYING 12.50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 4;
THENCE SOUTH 0°20'48" WEST ALONG THE EAST LINE OF SAID LOT 4, A DISTANCE OF 287.29 FEET;

THENCE PARALLEL WITH THE NORTH LINE OF LOT 4, SOUTH 71°56'10" WEST 182.75 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE ;

THENCE NORTH 0°20'48" EAST , 287.29 FEET TO THE NORTH LINE OF LOT 4 AND THE TERMINUS OF SAID CENTERLINE;

EXCEPT THAT PORTION LYING WITHIN THE HEREINABOVE DESCRIBED MAIN TRACT.

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

Exhibit B
Drawing of Leased Parking Spaces
(see attached)

Parcel

Area: 80-70

Levy: 0330

Spec Area:

Block:

QSTR: SE-28-25-5

Lot: 4

Folio: 07349A

Type: C

Resp: C

Property Desc: THE FORUM

Property Address: 12505 NE BELLEVUE-REDMOND RD

Legal Desc: => KIETZ HOME ACRES ADD PARCEL 1 BELLEVUE SHORT PLAT NO
77-51 REC NO 7707130879

Account	Owner	Address
385490-0021-07	12505 BEL RED PROPERTIES	600 108TH AVE NE #540 BELLEVUE WA 98004

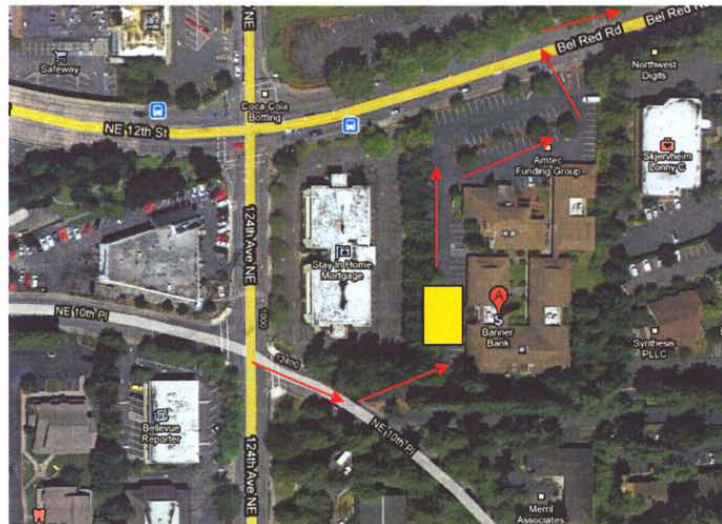
Example of Parent Agreement

Eastside Learning Community Drop Off and Pick Up Procedure

- Please arrive through the South driveway off NE 10th Place (accessible via 124th Ave NE or NE 8th)
- Wait until you are directly in front of our entry door in the designated Unloading Zone before allowing your student to get out. This area is marked by lime green traffic cones and signs.
 - Teachers will be positioned in this drop off area to supervise students entering and exiting the school
- Once your child is dropped off, continue through the parking lot to the north exit
- Exit eastward onto Bel-Red Road (only right-hand turns are permitted)
- Please use the map below as a reference

Please Note

- This system must be executed Monday through Friday from 8:30 a.m.–8:45 a.m. and from 3:00p.m.–3:15 p.m.
- Cars should never be left unattended during drop off or pick up. If you need to come into the school, please use one of our designated parking spots.



Key:



Drop Off/Pick Up Route



Loading Zone Area

Updated 10/2010

Example of Parent Agreement

Eastside Learning Community Drop Off and Pick Up Procedure Agreement

Please sign and date the agreement below. Once both parents/guardians have signed this agreement, please return it to the front desk.

I, _____, have read and understand the Drop Off and Pick Up Procedure. I agree to comply with this procedure at all times.

Parent / Guardian

Date

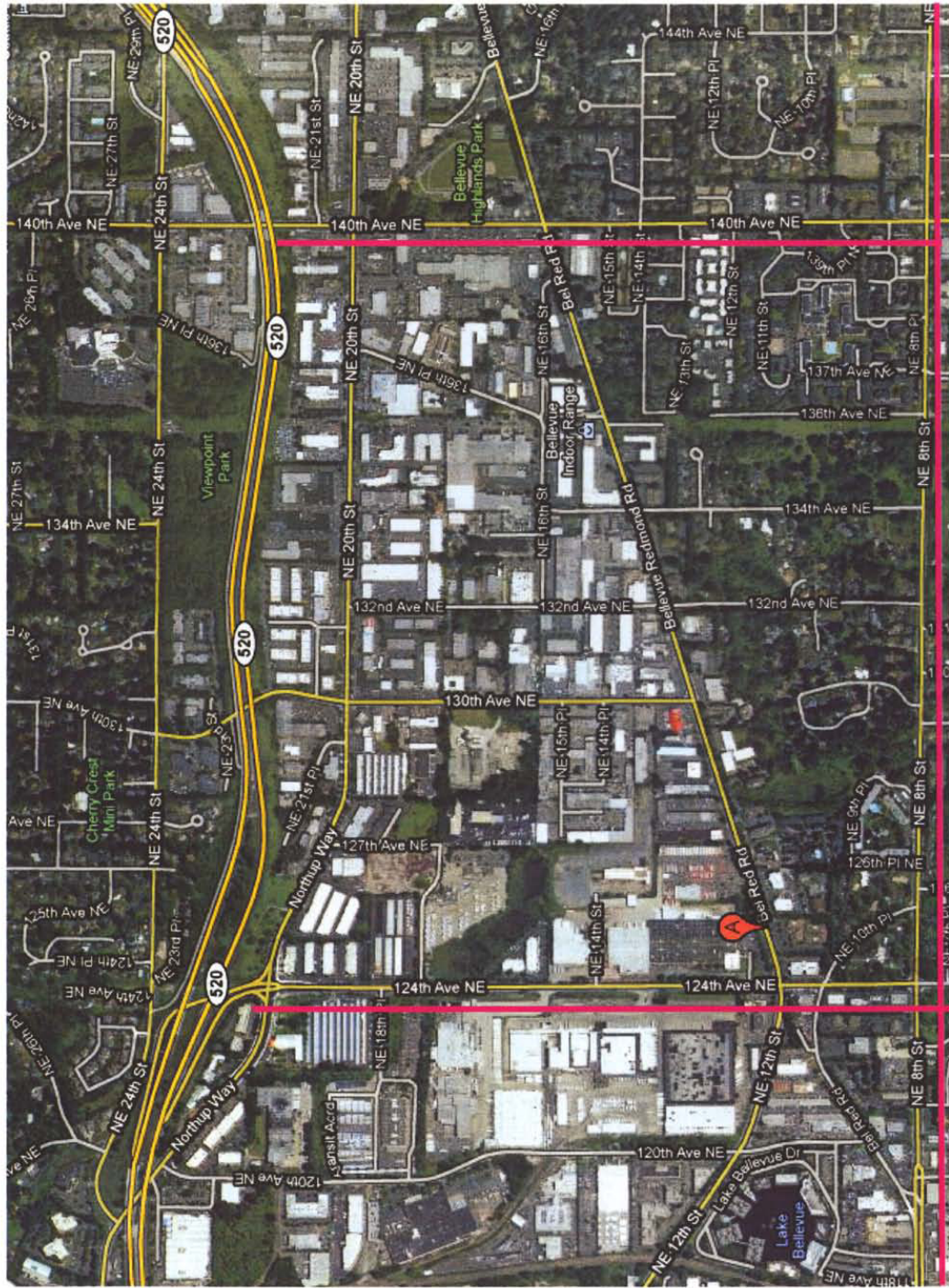
I, _____, have read and understand the Drop Off and Pick Up Procedure. I agree to comply with this procedure at all times.

Parent / Guardian

Date

Example of Parent Agreement

Major Arterials for Access to Eastside Learning Community



CERTIFICATE OF CONCURRENCY
INTERNATIONAL SOCIETY FOR KRISHNA CONCIIOUSNESS

This certificate documents the Transportation Department Director's decision that the development project at 12501 NE Bellevue-Redmond Road (Administrative Conditional Use File No. 14-124283 LA) complies with the requirements of the Traffic Standards Code (BCC 14.10). This decision reserves 317 net new p.m. peak hour trips to that project, subject to Process II appeal of either the concurrency determination or the Design Review decision. This reservation will expire one year from the land use decision date unless a complete building permit application is filed prior to that date (BCC 14.10.040F). At the time of a complete building permit application, the concurrency reservation will remain in effect for the life of that application (BCC 23.05.090H). Upon issuance of the building permit, concurrency is reserved for one year; the applicant may request up to two one-year extensions (BCC 23.05.100E).



Director, Transportation Department

Date March 3, 2017

Certificate No. 107